



ORDINARY MEETING OF
BATHURST REGIONAL COUNCIL

14 February 2018

His Worship the Mayor & Councillors

**Notice of Ordinary Meeting of Bathurst Regional Council - Wednesday,
21 February 2018**

I have to advise that an **Ordinary Meeting** of Bathurst Regional Council will be held in the Council Chambers on Wednesday, 21 February 2018 commencing at 6.00 pm.

From 6.00 pm to 6.15 pm there will be an opportunity for members of the public to raise matters with Council and staff.

D J Sherley
GENERAL MANAGER

BUSINESS AGENDA

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

TO BE HELD ON WEDNESDAY, 21 FEBRUARY 2018

1. 6:00 PM - MEETING COMMENCES

2. PUBLIC QUESTION TIME

3. PRAYER

Almighty God, Give wisdom to those in authority and guide all peoples in the way of righteousness and peace, so that we may share with justice the resources of the earth, work together in trust and seek the common good. Amen.

4. APOLOGIES

5. MINUTES

* MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL - 7 FEBRUARY 2018

6. DECLARATION OF INTEREST

To assist the Councillors and committee members in their correct consideration of business before them at the meeting, please give consideration to Section 451 of the Local Government Act, in relation to Declaration of Interest at meetings.

7. MAYORAL MINUTE

Nil

8. RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

* DIRECTOR ENVIRONMENTAL PLANNING & BUILDING SERVICES' REPORT

* DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT

* DIRECTOR ENGINEERING SERVICES' REPORT

* DIRECTOR CULTURAL & COMMUNITY SERVICES' REPORT

9. REPORTS OF OTHER COMMITTEES

* MINUTES - TRAFFIC COMMITTEE MEETING - 6 FEBRUARY 2018

10. NOTICES OF MOTION

Nil

11. RESCISSION MOTIONS

Nil

12. COUNCILLORS/ DELEGATES REPORTS

Nil

13. RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS

Recommendation: That:

- (a) Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.
- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005,:

1. In accordance with Section 9(2A) of the Local Government Act 1993, it is the opinion of the General Manager that the following business is of a kind as referred to in section 10A(2) of the Act and should be dealt with in a part of the meeting closed to the media and public.
2. In accordance with Section 10B(1) it is considered that discussion of the matter in open meeting, would on balance, be contrary to the public interest.
3. In accordance with Section 10A(4) members of the public are invited to make representations to the Council as to whether the matters should or should not be dealt with in Confidential Committee.

* DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT

ITEM	SUBJECT	REASON FOR CONFIDENTIALITY
1	PURCHASE OF PROPERTY - WILLIAM STREET, BATHURST	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
2	PURCHASE OF PROPERTY - BENTINCK STREET, BATHURST	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
3	PURCHASE OF PROPERTY - LAFFING WATERS LANE, LAFFING WATERS.	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who

supplied it.

*** DIRECTOR ENGINEERING SERVICES' REPORT**

ITEM	SUBJECT	REASON FOR CONFIDENTIALITY
1	TENDER FOR DEMOLITION OF HARGRAVES HOUSE	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

14. RESOLVE INTO OPEN COUNCIL

15. ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

16. MEETING CLOSE

MINUTE

1 MEETING COMMENCES

Present: Councillors Hanger (Chair), Aubin, Bourke, Christian, Fry, Jennings, Morse, North, Rudge.

MINUTE

2 MEDIA - PHOTOGRAPHS (11.00005)
MOVED: Cr B Bourke SECONDED: Cr J Fry

RESOLVED: That Council allow photographs to be taken during the meeting.

MINUTE

3 PUBLIC QUESTION TIME

J Grima – Applicant - Item #6 of the Director Environmental, Planning & Building Service's report

Noted issues, especially regarding the koala population. The development is not a "puppy farm", spoke to the RSPCA definition. Noted large yards included in the development, conditions of the facility and the demand for small breeds of dogs. Spoke of the shortage of reliably bred dogs. Noted matters raised by animal activists, which are largely false in relation to this DA. Asks Council to vote in support of the development.

D Leslie – Item #4 of the Director Environmental, Planning & Building Service's report

Representing Raglan residents. Requests Council to defer the decision. The estimate of truck movements (around 400) in the DA is not a true reflection of the DA. It is more like 1,130. Requests an engineering audit be undertaken of the DA to confirm the real number of truck movements and noise levels by an independent traffic engineer.

A Hiskins – Animal welfare advocate - Item #6 of the Director Environmental, Planning & Building Service's report

We often do not listen to animals or consider their welfare. Opposes the development and all intense breeding facilities. Council should be looking after the concerns of the animals and work with re-homing organisations. Spoke of ethical concerns; just because it is legal does not make it ethical. Where is the benefit to the animals and the Bathurst community? For sustainable development, the community needs should be the priority, not the individual or developer. Feels intensive breeding is not acceptable.

L Ryan – Animal Justice Party NSW - Item #6 of the Director Environmental, Planning & Building Service's report

An active activist for animals. Supports the submission from Animal Liberation. Noted she has read the full Council report and the applicants documents. Believes Council report has not adequately addressed risks, especially in relation to the koala population. There is no benefit to the community. The development may be legal but Council must consider what the NSW and local community want. Requests Council not to approve development.

W Gosling – Town Planner for the Applicant - Item #6 of the Director Environmental, Planning & Building Service's report

Supports the Council recommendation. The site was chosen as the best choice from a number that were considered. Mentioned the noise levels of the development and noted the conditions will cover this. Spoke to other issues such as water quality, and koala population. Outlined safe guards to be installed to protect koalas. Noted the specific dogs being bred at the facility are not aggressive breeds. The proposal is permissible in the planning zone and complies with planning controls. The applicant agrees that dogs should not be put into pounds.

G Willard – resident of Lansdowne Drive - Item #4 of the Director Environmental, Planning & Building Service's report

Spoke to container movements, believes log truck movements will be over 1,100. Spoke to concerns with the noise report. The report has not considered residents in the area. Requests a proper noise assessment to be done.

J Byrne – resident - Item #4 of the Director Environmental, Planning & Building Service's report

Noted containers from other two transport facilities in Bathurst do not go on road. This development will put containers on the road unnecessarily. Egress onto highway will be impeded and not safe. RMS response did not consider risks to cars at risk from trucks. Requests Council look closely at the DA.

D Larnach – Geds Enterprises representative - Item #4 of the Director Environmental, Planning & Building Service's report

Feels the Ceramic Avenue site is a good site for this DA. The RMS indicates the road is adequate and they are the experts. Current business fills five trains per week, which removed 10,000 truck movements from road network. The proposal is needed to fill supply chain shortages. The business group is local and invested in Bathurst. Requests Council approve the development.

K McNab – Mitre/Suttor/Lambert Street intersection

Noted 5,147 people have signed the petition for a roundabout to be built. Spoke to comments on social media in relation to this issue. Currently following up with Government representatives on funding decision. It has been 21 years of inaction by Council. Noted 1,926 children attend three schools in the area. If there is no Government funding, Council needs to get on with the job.

D McNab – Mitre/Suttor/Lambert Street intersection

Lives close to the intersection. Is fearful travelling through the intersection. Councillors who have children should understand why the intersection needs fixing. Spoke to petition, 17.5% of eligible voters have signed the petition. Spoke of new roundabout in Orange. Questioned why Orange site is suitable for Government funding and Suttor Street is not. Spoke of Councillors supporting the cause.

Congratulated Engineers on limiting parking to one side of street on Alamein Walk.

B Trimming – Bathurst Regional Access Committee

Spoke to submission on support for a roundabout at the intersection of Mitre, Suttor and Lambert Streets.

Suggested there is a need for a layback at the intersection of Pacific Way.

Feels the front of the Civic Centre building needs a spruce up. The tourist attraction out the front of Civic Centre needs attention, particularly the plaques, there is decaying concrete and the flagpoles need painting.

G Crisp – ratepayer

Spoke to Code of Conduct and sexual relations between Councillors and staff. Made submission to South Australian Water Inquiry. Spoke to harassment by Council. Why is there no change to irregularities at development on Howick Street? Has not received a

letter.

C Schubert – Architect - Item #7 of the Director Environmental, Planning & Building Service's report

Spoke of the brief for the development, to make the house work for a family. Believes the house would rate highly on a heritage review. Spoke of consideration of heritage in development of proposal, particularly window sills and roof lines. Disagrees with fake heritage, requests Council approve development.

MINUTE

4 APOLOGIES

Nil.

MINUTES

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

1 MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL - 7 FEBRUARY 2018 (11.00005)

Recommendation: That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 7 February 2018 be adopted.

Report: The Minutes of the Ordinary Meeting of Bathurst Regional Council held on 7 February 2018, are **attached**.

Financial Implications: N/A

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 32: To ensure Council is supported by an adequate workforce and appropriate governance procedures. Strategy 32.2

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

5 Item 1 MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL
- 7 FEBRUARY 2018 (11.00005)

MOVED: Cr B Bourke SECONDED: Cr J Rudge

RESOLVED: That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 7 February 2018 be adopted.

**MINUTES OF THE ORDINARY MEETING OF BATHURST REGIONAL COUNCIL
HELD ON 7 FEBRUARY 2018**

MEETING COMMENCES

1 MEETING COMMENCES 6:00 PM

Present: Councillors Hanger (Chair), Aubin, Bourke, Christian, Fry, Jennings, Morse, North, Rudge.

PUBLIC QUESTION TIME

2 PUBLIC QUESTION TIME

K McNab - ratepayer – Intersection Mitre/Suttor/Lambert Streets

Spoke to concerns about the intersection. Queried about Black Spot funding, has it been advised of? Spoke to process for the funding application. Asks Council to get on with the construction.

L Lucano - ratepayer – Sale of Water to Regis

Asked if Council is still looking at sale of water to Regis Resources?

The General Manager noted Regis is now seeking access to water from Lithgow. The Bathurst proposal is not being progressed.

G Crisp - ratepayer

Spoke of advice to the Director Environmental, Planning & Building Services of land fenced off for construction in Bathurst and concerns expressed about illegal fencing. Noted Mr Triming also wrote about his concerns. Mr Crisp then raised further concerns about people being forced to cross the road. Noted also his concerns about advertising on fencing along Howick Street which has not been addressed and how these obstructed views of traffic along Howick Street. Made allegation of vehicle crashes at the intersection, requests signage be removed.

The Director Environmental, Planning & Building Services responded to the representations.

B Triming - Bathurst Regional Access Committee

Spoke to Peel/Howick Street Development. Noted extensive negotiations with Council have occurred on the matter. Responses have been received and further discussions on the issue are continuing with Council and the Access Committee.

APOLOGIES**3 APOLOGIES**

Nil.

MINUTES**4 Item 1 MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL - 13 DECEMBER 2017 (11.00005)**

MOVED Cr I North

and **SECONDED** Cr J Rudge

RESOLVED: That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 13 December 2018 be adopted.

DECLARATION OF INTEREST**5 DECLARATION OF INTEREST 11.00002**

MOVED Cr I North

and **SECONDED** Cr W Aubin

RESOLVED: That the following Declarations of Interest be noted.

Cr Rudge

Item #6 of the Director Environmental, Planning & Building Services report

Manager Corporate Governance

Item #3 of the Director Engineering Services report

RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS**General Manager's Report****6 Item 1 CENTROC JOINT ORGANISATIONS (07.00017 & 18.00300)**

MOVED Cr B Bourke

and **SECONDED** Cr J Fry

RESOLVED: In accordance with Part 7 of Chapter 12 of the Local Government Act, Bathurst Regional Council resolves:

1. *That the Council inform the Minister for Local Government (Minister) of the*

Council's endorsement of the Minister recommending to the Governor the establishment of a Joint Organisation (Joint Organisation) in accordance with this resolution.

2. *To approve the inclusion of the Council's area in the Joint Organisation's area.*
3. *That the Joint Organisation be established to cover the Council's area and any one or more of the following council areas:*
 - a. *Blayney Shire Council, Cabonne Council, Cowra Shire Council, Forbes Shire Council, Lachlan Shire Council, Lithgow City Council, Oberon Council, Orange City Council, Parkes Shire Council and Weddin Shire Council.*
4. *That, on the expiry of a period of 28 days from the making of this resolution, the General Manager provide the Minister:*
 - a. *with a copy of this resolution including the date on which Council made this resolution, and*
 - b. *inform the Minister that this resolution has not been rescinded,*

for the purpose of the Minister issuing a certificate under section 400P of the Act.

Director Environmental Planning & Building Services' Report

7 Item 1 SECTION 79C OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (03.00053)

MOVED Cr M Morse and **SECONDED** Cr J Rudge

RESOLVED: That the information be noted.

8 Item 2 GENERAL REPORT (03.00053)

MOVED Cr B Bourke and **SECONDED** Cr W Aubin

RESOLVED: That the information be noted.

9 Item 3 DEVELOPMENT APPLICATION NO 2017/405, SHED AT 24 STATION STREET, BREWONGLE. APPLICANT: MR D BURTON. OWNER: MR D BURTON (DA2017/405)

MOVED Cr I North and **SECONDED** Cr B Bourke

RESOLVED: That Council:

- (a) support the variation to Clause 6.2.3 Setbacks – RU1 Primary Production Zone development standards prescribed in the Bathurst Regional Development Control Plan 2014;
- (b) as the consent authority, grant consent pursuant to section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/405, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
 - i) A landscape plan is submitted prior to the issuing of a Construction Certificate that effectively screens the shed from Station Street and the adjoining neighbours.
 - ii) Landscaping is to be carried out and maintained in accordance with the certified landscape plan.
 - iii) The landscaping is to be completed prior to Occupation Certificate being issued.
 - (iv) The shed is not to be used for commercial or industrial purposes or for the storage of goods associated with industrial or commercial undertakings.
- (c) notify those that made submissions of its decision; and
- (d) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge,

Against the motion - Nil

Absent - Nil

Abstain - Nil

10

Item 4 NAMING OF PUBLIC ROADS – CAMPBELL CLOSE AND JARVIS STREET (20.00024)

MOVED Cr I North

and **SECONDED** Cr W Aubin

RESOLVED: That Council:

- (a) adopt the names Campbell Close and Jarvis Street; and
- (b) direct the Director Environmental, Planning & Building Services to undertake procedures pursuant to the requirements of the Roads Act 1993, to have the names gazetted, should no objections be received.

- 11** **Item 5 NAMING OF PUBLIC ROADS – JACKS CLOSE (20.00024)**
MOVED Cr B Bourke and **SECONDED** Cr J Jennings

RESOLVED: That Council:

- (a) adopt the name Jacks Close; and
- (b) direct the Director Environmental Planning and Building Services to undertake procedures pursuant to the requirements of the Roads Act 1993, to have the name gazetted, should no objections be received.

- 12** **Item 6 NAMING OF PUBLIC ROADS - PEATES LANE (20.00024)**
MOVED Cr I North and **SECONDED** Cr A Christian

Cr Rudge declared a non-pecuniary interest in this item, left the Chamber and took no part in discussion or voting.

Reason: Proposed the name for the road and is a direct descendant

RESOLVED: That Council:

- (a) adopt the name Peates Lane; and
- (b) direct the Director Environmental Planning and Building Services Department to undertake procedures pursuant to the requirements of the Roads Act 1993, to have the name gazetted, should no objections be received.

- 13** **Item 7 ELECTRICITY DEMAND RESPONSE PROGRAM (16.00007)**
MOVED Cr B Bourke and **SECONDED** Cr I North

RESOLVED: That Council:

- (a) Participate in the Demand Response program
- (b) Select AGL as the preferred provider for the Demand Response Program
- (c) Delegate authority to the General Manager to sign the agreement with AGL

- 14** **Item 8 ENVIRONMENTAL PLANNING AND BUILDING SERVICES -**

DEVELOPMENT ACTIVITY STATISTICS (03.00053)**MOVED** Cr J Rudge and **SECONDED** Cr I North**RESOLVED:** That the information be noted.**15 Item 9 PLANNING LEGISLATION CHANGES (02.00018)****MOVED** Cr J Rudge and **SECONDED** Cr B Bourke**RESOLVED:** That the information be noted.**16 Item 10 DECEMBER 2017 BUY LOCAL GIFT CARD RESULTS (20.00313)****MOVED** Cr I North and **SECONDED** Cr B Bourke**RESOLVED:** That the information be noted.**Director Corporate Services & Finance's Report****17 Item 1 STATEMENT OF INVESTMENTS (16.00001)****MOVED** Cr B Bourke and **SECONDED** Cr M Morse**RESOLVED:** That the information be noted.**18 Item 2 MONTHLY REVIEW - 2017/2021 DELIVERY PLAN AND OPERATIONAL PLAN 2017-2018 (16.00148)****MOVED** Cr A Christian and **SECONDED** Cr W Aubin**RESOLVED:** That the information be noted.**19 Item 3 SUNDRY SECTION 356 DONATIONS, BATHURST MEMORIAL ENTERTAINMENT CENTRE COMMUNITY USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY (18.00004)****MOVED** Cr J Rudge and **SECONDED** Cr W Aubin**RESOLVED:** That the information be noted and any additional expenditure be voted.

- 20** **Item 4 POWER OF ATTORNEY (11.00007)**
MOVED Cr I North and **SECONDED** Cr A Christian

RESOLVED: That the information be noted.

- 21** **Item 5 2018 HI-TEC OILS BATHURST 6 HOUR EVENT (04.00097)**
MOVED Cr W Aubin and **SECONDED** Cr J Jennings

RESOLVED: That Council act in accordance with the Director of Corporate Services and Finance report and provide one three (3) day entry pass per permanent employee to attend the 2018 Hi-Tec Oils Bathurst 6 Hour held at Easter.

- 22** **Item 6 REQUEST FOR FINANCIAL ASSISTANCE - CHARLES STURT UNIVERSITY (18.00004-33/132)**
MOVED Cr I North and **SECONDED** Cr B Bourke

RESOLVED: That Council provide support of \$400 for the Commemorations Service for Nurses at All Saints Cathedral from the 2017/2018 Budget.

- 23** **Item 7 ITEMS INCLUDED IN CONFIDENTIAL COMMITTEE OF THE WHOLE (11.00005, 21.00037-06, 04.00042, 2017/459, 36.00623, 18.00004-33)**
MOVED Cr I North and **SECONDED** Cr J Fry

RESOLVED: That the information be noted.

Director Engineering Services' Report

- 24** **Item 1 FLYING FOXES - MACHATTIE PARK (04.00012)**
MOVED Cr B Bourke and **SECONDED** Cr J Rudge

RESOLVED: That the information be noted.

- 25** **Item 2 DEREGULATION OF LICENCED AERODROME ROUTE (21.00008)**
MOVED Cr I North and **SECONDED** Cr J Jennings

RESOLVED: That the information be noted.

- 26** **Item 3 COUNCIL SPORTING ASSOCIATION GRANTS PROGRAM YEAR ENDING 30 JUNE 2018 (18.00279)**
MOVED Cr I North and **SECONDED** Cr A Christian

Manager Corporate Governance declared a non-pecuniary interest in this item and left the Chamber.

Reason: Member of Eglinton Tennis Club

RESOLVED: That Council approve the following sporting grants totalling \$20,000.00 for the 2017/2018 financial year as followed;

ORGANISATION	PROPOSED
GRANT	
Bathurst BMX Club	\$2,250
Bathurst City Croquet Club	\$1,000
Bathurst Pan Dragons	\$2,000
Bathurst Pony Club	\$2,250
Bathurst Netball Association	\$2,250
Bathurst Basketball Association	\$2,500
Central Tablelands Rowing Club	\$2,000
Bathurst Pistol Club	\$2,250
Bathurst Hockey Association	\$1,500
Panorama Motorcycle Club	\$2,000

- 27** **Item 4 PROPOSED TRANSFER OF SECTIONS OF NAPOLEON REEF ROAD FROM THE CROWN AND BOUNDARY ADJUSTMENT AT LOT 96 DP755784 AT NAPOLEON REEF (25.00273)**
MOVED Cr I North and **SECONDED** Cr J Fry

RESOLVED: That Council:

- (a) approve the transfer of 2 sections of Crown Road on Napoleon Reef Road Napoleon Reef from The Crown to Council.
- (b) following the transfer, approve the preparation and registration of a plan of subdivision for boundary adjustment of Lot 96 DP755784

subject to the information contained in the Director Engineering Services' report.

28 Item 5 ITEMS INCLUDED IN CONFIDENTIAL COMMITTEE OF THE WHOLE (22.00358)**MOVED** Cr I North and **SECONDED** Cr W Aubin**RESOLVED:** That the information be noted.**Director Cultural & Community Services' Report****29 Item 1 BATHURST REGION TOURISM REFERENCE GROUP - MEETINGS HELD 16 OCTOBER & 20 NOVEMBER 2017 (07.00116)****MOVED** Cr J Jennings and **SECONDED** Cr I North**RESOLVED:** That the information be noted.**30 Item 2 LOCAL GOVERNMENT NSW TOURISM CONFERENCE 2018 (18.00074)****MOVED** Cr B Bourke and **SECONDED** Cr I North**RESOLVED:** That Council nominate Crs Rudge and Jennings as delegates to the Local Government NSW Tourism Conference 2018 and authorise their attendance.**31 Item 3 BATHURST REGIONAL YOUTH COUNCIL - YOUTH COUNCIL REVIEW (11.00020)****MOVED** Cr B Bourke and **SECONDED** Cr I North**RESOLVED:** That the information be noted.**REPORTS OF OTHER COMMITTEES****Policy Committee Meeting****32 Item 1 MINUTES - POLICY COMMITTEE MEETING - 6 DECEMBER 2017 (07.00064)****MOVED** Cr I North and **SECONDED** Cr B Bourke**RESOLVED:** That the recommendations of the Policy Committee Meeting held on 6 December 2017 be adopted.

COUNCILLORS/ DELEGATES REPORTS**33 Item 1 MINUTES - AUSTRALIA DAY WORKING PARTY - 16 JANUARY 2018 (23.00033)****MOVED** Cr A Christian and **SECONDED** Cr I North**RESOLVED:** That the information be noted.**RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS****34 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS****MOVED** Cr I North and **SECONDED** Cr J Rudge

The Mayor invited members of the public to make submissions on whether the matter should or should not be dealt with in Confidential Committee.

There were no representations from the public.

RESOLVED: That:

- (a) Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.
- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

*** DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT**

ITEM	SUBJECT	REASON FOR CONFIDENTIALITY
1	SPORTING LICENCE AGREEMENT - LOT 234 IN DP750357 KNOWN AS THE BATHURST INDOOR SPORTS STADIUM LOCATED ON VITTORIA STREET, BATHURST	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
2	REQUEST FOR FINANCIAL ASSISTANCE - BATHURST	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of

	BUSHRANGERS ARFC	the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
3	PROPOSED TRAINING FACILITY - BATHURST HARNESS RACING CLUB - COLLEGE ROAD	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
4	REQUEST FOR FINANCIAL ASSISTANCE	10A (2) (b) – contains advice concerning hardship of a resident or ratepayer, disclosure of which would not be in the public interest as it would prejudice the personal position of the individual concerned.

*** DIRECTOR ENGINEERING SERVICES' REPORT**

ITEM	SUBJECT	REASON FOR CONFIDENTIALITY
1	CONSTRUCTION OF TRUNK DRAINAGE SYSTEM TO SERVICE FUTURE DEVELOPMENTS ON LIMEKILNS ROAD KELSO	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

Director Corporate Services & Finance's Report

- a** **Item 1 SPORTING LICENCE AGREEMENT - LOT 234 IN DP750357 KNOWN AS THE BATHURST INDOOR SPORTS STADIUM LOCATED ON VITTORIA STREET, BATHURST (21.00037-06)**
MOVED Cr B Bourke and **SECONDED** Cr I North

That Council approves the sporting Licence Agreement for Lot 234 in DP750357 known as the Bathurst Indoor Sports Stadium with Sports Stadium Management Pty Ltd, a wholly owned subsidiary of Basketball New South Wales Ltd until 31 December 2019 as detailed in the report.

- b** **Item 2 REQUEST FOR FINANCIAL ASSISTANCE - BATHURST BUSHRANGERS ARFC (04.00042)**
MOVED Cr I North and **SECONDED** Cr J Rudge

That Council act in accordance with the recommendations of this report.

- c** Item 3 PROPOSED TRAINING FACILITY - BATHURST HARNESS RACING CLUB - COLLEGE ROAD (2017/459/001)
MOVED Cr B Bourke and SECONDED Cr J Rudge

That Council act in accordance with the recommendations of the report.

- d** Item 4 REQUEST FOR FINANCIAL ASSISTANCE (36.00623)
MOVED Cr B Bourke and SECONDED Cr J Rudge

That Council act in accordance with the recommendations of this report.

Crs Christian, Morse & North asked for their negative votes to be recorded.

Director Engineering Services' Report

- e** Item 1 CONSTRUCTION OF TRUNK DRAINAGE SYSTEM TO SERVICE FUTURE DEVELOPMENTS ON LIMEKILNS ROAD KELSO (22.00358)
MOVED Cr I North and SECONDED Cr W Aubin

That the information be noted.

RESOLVE INTO OPEN COUNCIL

- 35** RESOLVE INTO OPEN COUNCIL
MOVED Cr J Rudge and SECONDED Cr I North

RESOLVED: That Council resume Open Council.

ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

- 36** ADOPT REPORT OF THE COMMITTEE OF THE WHOLE
MOVED Cr W Aubin and SECONDED Cr J Rudge

RESOLVED: That the Report of the Committee of the Whole, Items (a) to (e) be adopted.

MEETING CLOSE

37 **MEETING CLOSE**

The Meeting closed at 7.57 pm.

CHAIRMAN: _____

MINUTE

6 DECLARATION OF INTEREST 11.00002
MOVED: Cr B Bourke SECONDED: Cr I North

RESOLVED: That the Declaration of Interest be noted.

**DIRECTOR ENVIRONMENTAL PLANNING & BUILDING SERVICES'
REPORT AND MINUTES**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

1 SECTION 79C OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (03.00053)

Recommendation: That the information be noted.

Report: Section 79C of the Environmental Planning and Assessment Act 1979 is provided below to assist Council in the assessment of Development Applications.

79C Evaluation

(1) Matters for consideration—general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a) the provisions of:

(i) any environmental planning instrument, and

(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

(iii) any development control plan, and

(iiia) any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F, and

(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and

(v) any coastal zone management plan (within the meaning of the [Coastal Protection Act 1979](#)),

that apply to the land to which the development application relates,

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

(c) the suitability of the site for the development,

(d) any submissions made in accordance with this Act or the regulations,

(e) the public interest.

Note.

See section 75P (2) (a) for circumstances in which determination of development application to be generally consistent with approved concept plan for a project under Part 3A.

(2) Compliance with non-discretionary development standards—development other than complying development

If an environmental planning instrument or a regulation contains non-discretionary development standards and development, not being complying development, the subject of a development application complies with those standards, the consent authority:

(a) is not entitled to take those standards into further consideration in determining the development application, and

(b) must not refuse the application on the ground that the development does not comply with those standards, and

(c) must not impose a condition of consent that has the same, or substantially the same, effect as those standards but is more onerous than those standards, and the discretion of the consent authority under this section and section 80 is limited accordingly.

(3) If an environmental planning instrument or a regulation contains non-discretionary development standards and development the subject of a development application does not comply with those standards:

(a) subsection (2) does not apply and the discretion of the consent authority under this section and section 80 is not limited as referred to in that subsection, and

(b) a provision of an environmental planning instrument that allows flexibility in the application of a development standard may be applied to the non-discretionary development standard.

Note.

The application of non-discretionary development standards to complying development is dealt with in section 85A (3) and (4).

(3A) Development control plans

If a development control plan contains provisions that relate to the development that is the subject of a development application, the consent authority:

- (a) if those provisions set standards with respect to an aspect of the development and the development application complies with those standards—is not to require more onerous standards with respect to that aspect of the development, and
- (b) if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards—is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development, and
- (c) may consider those provisions only in connection with the assessment of that development application.

In this subsection, **standards** include performance criteria.

(4) Consent where an accreditation is in force

A consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the *Building Code of Australia* if the building product or system is accredited in respect of that requirement in accordance with the regulations.

(5) A consent authority and an employee of a consent authority do not incur any liability as a consequence of acting in accordance with subsection (4).

(6) Definitions

In this section:

- (a) reference to development extends to include a reference to the building, work, use or land proposed to be erected, carried out, undertaken or subdivided, respectively, pursuant to the grant of consent to a development application, and
- (b) **non-discretionary development standards** means development standards that are identified in an environmental planning instrument or a regulation as non-discretionary development standards.

Financial Implications: Nil

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region’s environmental, economic, social and cultural assets. Strategy 28.8

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

7 Item 1 SECTION 79C OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (03.00053)

MOVED: Cr A Christian SECONDED: Cr J Rudge

RESOLVED: That the information be noted.

MINUTE

8 Item 1.01 SUSPENSION OF STANDING ORDERS (11.00005)
MOVED: Cr I North SECONDED: Cr B Bourke

RESOLVED: That Standing Orders be suspended to allow Council to deal with Item 6 of the Director Environmental, Planning & Building Services report - Development Application No. 2017/394 - Dog Breeding Facility at 1557 Rockley Road, Rockley.

MINUTE

9 Item 1.02 DEVELOPMENT APPLICATION NO. 2017/394 – DOG BREEDING FACILITY AT 1557 ROCKLEY ROAD, ROCKLEY. APPLICANT: ROCKLEY VALLEY PARK PTY LTD. OWNER: GREENFIELD PROPERTY NOMINEES PTY LTD (DA/2017/394)

MOVED: Cr M Morse SECONDED: Cr W Aubin

RESOLVED: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/394, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
- (i) A complaints management plan is to be established, including a record for verbal and telephone complaints, investigation and relevant testing measures, timeline for action to be completed and confirmation of follow up with complainant. The record of complaints and actions is to be submitted to Council at least quarterly during the first year of operation and then annually thereafter.
 - (ii) The vegetation screening along Rockley Road and Black Mountain Road is to be native species other than koala feed species to limit likelihood of koala interactions, and is to be extended along Black Mountain Road to provide a more effective barrier with neighbours. The screening is to be a distance of 200m (along the southern and eastern security fence) so that the facility is less visible to Black Mountain Road.
 - (iii) Regular water and soil testing be conducted on site annually.
 - (iv) Noise levels at the nearest non-associated residences are not to exceed the following:

Rated Background Level	Intrusive Criteria	Daytime Noise Penalty	Evening/ Night noise penalty	Acceptable Noise Criteria Day	Acceptable Noise Criteria Evening/ Night
30dBA	35dBA	-5dBA	-10dBA	30dBA	25dBA

- (v) Management procedures to be put in place to prevent the emission of avoidable barking or other noise.
- (vi) All animals to be wholly contained within their breeding and inner yard enclosure between the hours of 6.00pm and 7.00am.
- (vii) Shade cloth, or similar (1800mm in height and a colour conducive to the landscape features) is to be erected along the security fence to reduce barking caused by external stimulus.
- (viii) Acoustic compliance monitoring of not less than 1 week duration is to occur within:
 - (i) 6 months of the facility's operation and

- (ii) at not less than 80% of the operational capacity.

Acoustic assessment is to take place within 30 metres of the receivers residences, or if permission is not granted, within 1557 Rockley Road at the closest point to the receiver.

- (b) notify those that made submissions of its decision; and
(c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

Against the motion - Nil

Absent - Nil

Abstain - Nil

MINUTE

10 **Item 1.03 RESUMPTION OF STANDING ORDERS (11.00005)**
MOVED: Cr I North SECONDED: Cr B Bourke

RESOLVED: That Council resume Standing Orders.

2 GENERAL REPORT (03.00053)

Recommendation: That the information be noted.

Report: The following reports are provided for Council's information.

- (a) Applications approved using authority delegated to the Director Environmental Planning & Building Services during January 2018 (**attachment 1**).
- (b) Applications refused during January 2018 (**attachment 2**).
- (c) Applications under assessment as at the date of compilation of this report (**attachment 3**).
- (d) Applications pending determination for greater than 40 days as at the date of compilation of this report (**attachment 4**).
- (e) Applications with variations to development standards under State Environmental Planning Policy No. 1 or Clause 4.6 of Bathurst Regional LEP 2014 approved in January 2018 (**attachment 5**).
- (f) No political disclosure statements have been received in relation to any "planning applications" being considered at this meeting.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.8

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

- 11 Item 2 GENERAL REPORT (03.00053)
MOVED: Cr B Bourke SECONDED: Cr W Aubin

RESOLVED: That the information be noted.

3 DEVELOPMENT APPLICATION NO. 2017/484 – THREE STOREY DWELLING WITH ATTACHED GARAGE, RETAINING WALLS, SWIMMING POOL WITH SAFETY BARRIER & PERGOLA AT 40 GOVERNORS PARADE, WINDRADYNE. APPLICANT: REGIONAL CONSTRUCTIONS PTY LTD. OWNER: REGIONAL CONSTRUCTIONS (DA/2017/484)

Recommendation: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/484, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
 - (i) Prior to the issue of any Construction Certificate the applicant is to submit to Council for approval amended plans showing fixed louvered screens on the whole of the northern end of the first floor balcony and for at least 2 metres along the eastern side of the balcony in order to screen the direct view into the rear yard of 38 Governors Parade; and
- (b) call a division.

Report: The Site

Council has received a Development Application (DA) for the construction of a three storey dwelling with attached garage, retaining walls, swimming pool with safety barrier and pergola at 40 Governors Parade, Windradyne, described as Lot 1124, DP 1215618.

See location plan at **attachment 1** and aerial photo at **attachment 2**.

The subject site is on the corner of Governors Parade and Colville Street. The subject site is currently vacant. The adjoining property to the north contains a single storey dwelling with attached garage. The adjoining property to the east contains a single storey dwelling with attached garage.

The site has an area of 789.4m².

The site slopes from the south-east corner down to the north-west corner and there is approximately 3.5 metres fall across the site.

History of the Site

In July 2016 a Development Application was lodged for a dual occupancy and two lot subdivision on the subject site. The application was lodged with a variation to the LEP under Clause 4.6 because the minimum lot size for dual occupancies is prescribed as 850m² and the site area is 789.4m².

Council, at its Ordinary Meeting held 21 September 2016, resolved to:

- (a) not support the variation to the development standard prescribed in Clause 4.1B Minimum lot sizes for dual occupancies, multi dwelling houses and residential flat buildings of Bathurst Regional Local Environmental Plan 2014 and the variation to the development standard prescribed in Section 4.3 Minimum lot size of

Bathurst Regional DCP 2014; and

- (b) as the consent authority, refuse consent pursuant to section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2016/240 for the following reason:
- (i) that it is in the public interest to maintain the integrity of the development standards in Clause 4.1B of the Bathurst Regional LEP 2014 and Section 4.3 of the Bathurst Regional DCP 2014 in relation to the minimum lot size for the erection of a dual occupancy development.

The applicant lodged an appeal in the Land and Environment Court on 24 January 2017. A court hearing was held on 10 April 2017. On 20 April 2017 the appeal was dismissed by the Land and Environment Court.

This background is provided for Council's information purposes only. It does not impact upon the consideration of this Development Application.

The proposal

The proposal involves:

- Three storey dwelling with garage in the basement level;
- Retaining walls;
- Swimming pool with safety barrier; and
- Pergola.

See plans of the proposed development at **attachment 3**.

Planning Context

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned R1 General Residential under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. A *dwelling house* is permissible with consent in the R1 General Residential zone. The proposal is consistent with the objectives of the zone.

Clause 4.3 Height of buildings

The Height of Buildings Map for this locality indicates a maximum building height of 9 metres. The proposed building will have a maximum overall height above natural ground level of approximately 8.3 metres which therefore complies.

The submitted plans provide a representation of the height of the dwelling relative to the 9m height restriction across the site.

Clause 7.3 Airspace operations

While the subject site is within the Bathurst airport environs the proposed dwelling, with an approximate overall height of 8.3 metres, will not penetrate the Limitation or Operations Surface.

Clause 7.5 Essential services

Reticulated water, sewer, stormwater, telecommunications and electricity services are

already available to the subject site.

Bathurst Regional Development Control Plan 2014

Chapter 4 Residential Development

The following table outlines the principle development standards for dwelling houses.

Development Standard	Compliance/Comment
Section 4.3 Minimum Lot Size	
Council shall not grant consent to development for the purpose of a dwelling house unless the area of the allotment is no less than the minimum set in Clause 4.1 Minimum subdivision lot size and on the Lot Size Map (LSZ).	The Lot Size Map indicates that the minimum subdivision lot size in this locality is 550m ² . The subject site has an area of 789.4m ² and therefore a dwelling house is permissible.
Section 4.4 General Siting Considerations	
Section 4.4.2 Front Building Line Setback – Corner Allotments	
The combined distance of the 2 building line setbacks to the 2 roads is to be not less than 8 metres, provided that neither is less than 2 metres.	The proposed dwelling will have a 5.5 metre setback from Governors Parade and a 2.5 metre setback from Colville Street therefore achieving a combined total setback of 8.0 metres.
Section 4.4.2 Side and Rear Building Line Setbacks	
In accordance with National Construction Code (NCC)	The proposed dwelling will have a 1.0 metre setback from the northern boundary which exceeds the NCC prescribed minimum of 0.9 metres.
All applications for development (except single storey dwelling houses) must show the location of neighbouring buildings, neighbouring windows, balconies and outdoor living areas in relation to the proposed development.	Site plans for the proposed development identify the neighbouring dwellings to the north and east. Elevations for the proposed development identify the rear bedroom window of the neighbouring dwelling to the north.
Applications for two storey development (including 2 storey additions) are to provide an assessment of overshadowing to all adjoining properties on the winter solstice in June.	Shadow diagrams for each hour between 9.00am and 3.00pm at the winter solstice (21 June) have been submitted with the Development Application. The submitted shadow diagrams demonstrate that there will be very minimal impact on the adjoining properties to the north and east. Shadows are predominantly cast within the subject property and onto Governors Parade and Colville Street. See shadow diagrams at attachment 4 .
Section 4.8 Height of Buildings	
A building containing more than 2 floors shall not be erected on land within Zone R1 - General Residential or Zone R2 Low Density Residential. Notwithstanding the above, allowance can be made for rooms within the roof line (eg. attic rooms) or rooms/garages within a basement area generally below ground level where Council is satisfied that the privacy of adjoining properties is not adversely affected. Notwithstanding the above, allowance can be made for a building of more than 2 floors on	The site slopes from the south-east corner down to the north-west corner and there is approximately 3.5 metres fall across the site. The proposed dwelling has three floors. The basement level is predominantly below natural ground level and then two floors above natural ground level. One master bedroom window on the top floor faces towards the adjoining property to the north – 38 Governors Parade. The sill height of this window will be well above the eave height of the

<p>heavily sloping land where Council is satisfied that the dwelling height is consistent with the slope of the land and that the privacy of adjoining owners is not adversely affected.</p>	<p>dwelling at 38 Governors Parade. Further, the window is off-set from the rear bedroom window of the dwelling at 38 Governors Parade. The view from this window will be of the roof of the dwelling at 38 Governors Parade and beyond.</p> <p>The balcony on the top floor, accessed via the master bedroom, will provide a direct line of sight into the rear yard of 38 Governors Parade. It is therefore recommended that a condition be imposed requiring the installation of fixed louvered screens on the whole of the northern end of the balcony and for at least 2 metres along the eastern side of the balcony in order to screen the direct view into the rear yard of 38 Governors Parade.</p> <p>One living room window on the middle floor faces towards the adjoining property to the north – 38 Governors Parade. This window is setback 3.0 metres from the northern boundary and is level with the blank garage wall of 38 Governors Parade.</p>
<p>Section 4.9 Parking, Access and Manoeuvring Areas</p>	
<p>Single dwelling house – 1 covered car parking space</p>	<p>The proposed development includes a basement garage that will accommodate two vehicles.</p> <p>Two stacked visitor parking spaces will be available on the driveway in front of the garage.</p>

Chapter 2 Exhibition & Notification of Development Applications

In accordance with Chapter 2 *Exhibition and Notification of Development Applications* in the Bathurst Regional Development Control Plan 2014, the Development Application was notified to adjoining property owners from 8 January 2018 to 17 January 2018.

At the completion of the notification period no submissions were received.

Conclusion

Council has received a Development Application (DA) for a three storey dwelling with attached garage, retaining walls, swimming pool with safety barrier and pergola at 40 Governors Parade, Windradyne. The subject site is on the corner of Governors Parade and Colville Street. The subject site is currently vacant. The adjoining property to the north contains a single storey with attached garage. The adjoining property to the east contains a single storey dwelling with attached garage. The site slopes from the south-east corner down to the north-west corner and there is approximately 3.5 metres fall across the site. The slope of the land means that the basement floor is largely below ground level. The Development Application was notified to adjoining property owners from 8 January 2018 to 17 January 2018. At the completion of the notification period no submissions were received. Issues of privacy identified in the body of this report can be overcome by imposing appropriate conditions of consent. Approval of the application is recommended.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets.

Strategy 28.8

Community Engagement

- Consult To obtain public feedback on alternatives and/or decisions

MINUTE

12 Item 3 DEVELOPMENT APPLICATION NO. 2017/484 – THREE STOREY DWELLING WITH ATTACHED GARAGE, RETAINING WALLS, SWIMMING POOL WITH SAFETY BARRIER & PERGOLA AT 40 GOVERNORS PARADE, WINDRADYNE. APPLICANT: REGIONAL CONSTRUCTIONS PTY LTD. OWNER: REGIONAL CONSTRUCTIONS (DA/2017/484)

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/484, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
- (i) Prior to the issue of any Construction Certificate the applicant is to submit to Council for approval amended plans showing fixed louvered screens on the whole of the northern end of the first floor balcony and for at least 2 metres along the eastern side of the balcony in order to screen the direct view into the rear yard of 38 Governors Parade; and
- (b) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

Against the motion - Nil

Absent - Nil

Abstain - Nil

4 DEVELOPMENT APPLICATION NO. 2017/410 - TRANSPORT TERMINAL AT 148 CERAMIC AVENUE, RAGLAN. APPLICANT: GEDS ENTERPRISES PTY LTD. OWNER: BORAL CSR BRICKS PTY LTD (DA/2017/410)

Recommendation: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/410, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
 - (i) The development is to comply at all times with the recommendations made in the Air Quality Assessment, prepared by GHD, dated December 2017.
 - (ii) The development is to comply at all times with the recommendations made in the Noise Impact Assessment, prepared by GHD, dated October 2017;
- (b) notify those that made submissions of its decision; and
- (c) call a division.

Report: The Site

Council has received a Development Application (DA) for the use of existing premises at 148 Ceramic Avenue as a transport terminal, described as Lot 1 DP 806465. Refer to location plan and aerial photo at **attachment 1**.

The site is accessed off Ceramic Avenue and is 9.823 hectares. The site is adjacent to the Bathurst Airport and Allied Timber Products to the east.

Rural-lifestyle blocks are located to the south of the site. Agricultural land is located beyond the subject site.

The site contains an existing site office and sheds remaining from the previous use.

The nearest residential dwelling is 310m from the nearest part of the property boundary of the subject site and 380m from the proposed working areas of the site.

History of the Site

The site was historically occupied by CSR Boral Bricks for many years and used for the manufacturing, storage and transporting of bricks. The large scale use of the site ceased approximately twelve (12) years ago.

The proposal

The proposal seeks consent for the use of part of the site as a transport terminal.

The transport terminal involves receipt and storage of materials, including timber, and the package of materials into shipping containers for transportation. The shipping containers containing logs are fumigated with methyl bromide through the use of a mobile fumigator. This is necessary to comply with quarantine restrictions associated with the transport and exporting of timber materials. Whilst the application is focussed on timber it does not

exclude the receipt and containerisation of other materials on the site.

The shipping containers are then loaded on trucks for distribution.

The applicant currently operates a rail freight terminal at 25 Stockland Drive. The shipping containers from the Stockland Drive site are loaded onto a chartered train and sent to Sydney approximately three to four times per week.

Other machinery required on site includes two front end wheel loaders, one 18 tonne forklift, and 2 container handlers. The applicant anticipates there will be 400 truck movements per week.

The site requires six full time staff and three casual staff, totalling nine (9) staff required.

Refer to **attachment 2** for a plan of proposed development.

Planning Context

Environmental Planning and Assessment Act 1979 (EP&A)

The proposed development is Integrated Development pursuant to Section 91A(2) of the EP&A Act, as the fumigation of containers carrying logs requires a licence from the NSW Environment Protection Authority (EPA) under the Protection of the Environment Operations Act.

Council has received the General Terms of Approval (GTA) from the EPA. The conditions of the GTA will be included as Conditions of Consent. A copy of the GTA's are provided at **attachment 3**.

It should be noted that the EPA were provided with copies of the public submissions received during the consultation process.

The GTA's require the applicant to undertake works and monitoring inclusive of:

- Preparation (in consultation with the EPA) and implementation of an Air Quality Management Plan inclusive of key performance indicators, monitoring and management issues.
- Installation of a visual warning system to inform any airport personnel working on the airport grounds adjacent to the premises, that the containers are in the process of being ventilated.
- Establishment of a communication protocol with Council.
- Restrictions on general site operations to 7am to 10pm Monday to Friday, 8am to 5 pm Saturday and at no time on Sunday or public holidays.
- Venting of containers to be limited to between 7am and 6pm.

State Environmental Planning Policy (Infrastructure)

In accordance with Clause 104 of SEPP (Infrastructure) freight intermodal facilities and freight terminals require referral to the Roads & Maritime Services (RMS) and require the following to be taken into consideration:

- (i) any submission that the RMS provides in response to that notice within 21 days after the notice was given (unless, before the 21 days have passed the RMS advises that it will not be making a submission), and

- (ii) the accessibility of the site concerned, including:
 - a. the efficiency of movement of people and freight to and from the site and the extent of multi-purpose trips, and
 - b. the potential to minimise the need for travel by car and to maximise movement of freight in containers or bulk freight by rail, and
- (iii) any potential traffic safety, road congestion or parking implications of the development.

The RMS has provided advice in relation to the application. The RMS note that the existing treatments at the intersection of the Great Western Highway and Ceramic Avenue are adequate to accommodate traffic generated by the proposal and the RMS will not object to the proposal.

State Environmental Planning Policy 55 – Remediation of Land

The subject site has historically been used for industrial purposes which may have the potential for land contamination. The proposal is for the continuation of the use of the land for industrial purposes. Further investigation and/or remediation of the site is therefore not considered necessary.

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned IN1 General Industrial under the provisions of the *Bathurst Regional Local Environmental Plan 2014*.

The proposal would be defined as a *freight transport facility* being:

Freight transport facility means a facility used principally for the bulk handling of goods for transport by road, rail, air or sea, including any facility for the loading and unloading of vehicles, aircraft, vessels or containers used to transport those goods and for the parking, holding, servicing or repair of those vehicles, aircraft or vessels or for the engines or carriages involved.

A freight transport facility is permissible with consent in the IN1 General Industrial zone. The proposal is consistent with the objectives of the zone.

Clause 7.3 Airspace operations

Clause 7.3 applies to land within the vicinity of Bathurst Airport. The principal parts of the Clause are as follows:

- (1) *The objectives of this clause are as follows:*
 - (a) *to provide for the effective and ongoing operation of the Bathurst Airport by ensuring that the operation of the airport is not compromised by proposed development that penetrates the Limitation or Operations Surface for that airport,*
 - (b) *to protect the community from undue risk from that operation.*
- (2) *If a development application is received and the consent authority is satisfied that the proposed development will penetrate the Limitation or Operations Surface,*

the consent authority must not grant development consent unless it has consulted with the relevant Commonwealth body about the application.

The adopted Limitation or Operations Surface Plan applies to the site and provides an overall height of operations that can be undertaken without breaching the Limitation or Operations Surface. This ranges from 4m at the northern end of the site through to in excess of 24 metres at the southern end of the site. These limitations have been illustrated graphically on the submitted plans. This analysis indicates that the proposed operations can occur without impacting on airport safety operations.

Bathurst Regional Development Control Plan 2014

Chapter 5 Business and Industrial Development

Development Standard	Proposed	Permissible	Compliance
Floor area	NA	NA	NA
Setback - front	15m	10m	YES
Setback - rear	>10m	5m	YES
Setback - side	>7m	5m	YES
Floor space ratio	NA	1:1	NA
Height	8m maximum	8m	YES
Car parking	NA	NA	NA*
Bicycle Parking	NA	NA	NA*
Accessway Width	>6m	6m	YES
12.5m vehicle manoeuvring	Yes	YES	YES
Landscaping	YES	Yes	YES
Appropriate signage	NA	Yes	NA

* There is ample location for car parking and bicycle parking on site however there are no retail sales or other reasons for members of the general public to come to the site. There are at least 19 car parking spaces on site available for use by employees.

Submissions

The development application was advertised and notified to adjoining property owners from 6 November 2017 to 5 December 2018. Following the advertising and notification period a total of four (4) submissions were received. One submission was a petition with twelve signatories. Refer to **attachment 4** for submissions.

A discussion forum was convened by the Director of Environmental, Planning & Building Services on 21 December 2017. Refer **attachment 5** for the discussion forum minutes. Issues raised in the submissions and at the discussion forum are outlined and addressed below:

- **Traffic impact**

There were concerns raised regarding the potential impact on the local traffic network and the capability of the road for large truck movements.

A Traffic Report was submitted with the DA, refer **attachment 6**. The applicant anticipates there will be 400 truck movements per week, which includes inwards and outwards movement. The travel routes are east and west along Ceramic Avenue and should have no impact on Melrose Drive or PJ Moodie Drive. Allied Timber Products adjacent to the site generates approximately 125 truck movements per week.

The Development Application was referred to NSW Roads and Maritime Services who confirmed Ceramic Road and the Great Western Highway could accommodate the traffic levels generated from the proposal. Refer **attachment 7**.

Some of the submissions raised concerns that the traffic numbers anticipated are too low and do not adequately reflect the likely traffic impact. The available figures are based upon existing traffic generation levels from existing operations being undertaken elsewhere. They therefore provide a reasonable basis for estimation of traffic generation levels.

Ceramic Avenue has a long term history of use for industrial purposes. It is recognised by the National Heavy Vehicle Regulator map as a B – double route.

The rural residential properties maintain their primary accesses to PJ Moodie Drive, Melrose Drive and internally to Lansdowne Drive. There is limited scope for conflict between the residential road users and heavy vehicle usage.

- Health impacts

The fumigation of containers for timber prior to export is a quarantine requirement. The industry currently uses Methyl Bromide which is regulated by NSW Environmental Protection Authority (EPA). Methyl bromide has historically been used at other timber handling facilities in the Bathurst LGA. The General Terms of Approval issued by the NSW EPA (refer **attachment 3**) confirm acceptable operation of the site, subject to conditions.

Fumigation of the containers is proposed to occur on the existing hardstand areas at the northern end of the site. Approximately 200 containers will be fumigated per week. The nearest affected dwelling is 310 metres from the nearest part of the site boundary and 380 metres in from the proposed working areas.

Methyl bromide is a toxic air pollutant commonly used for fumigating goods in cargo containers prior to export. It is colourless and odourless. It is used to completely fill a container to control pests such as insects, rodents or fungi. At the completion of fumigation (typically 24 hours) the containers are opened and the residue dissipates into the atmosphere.

An Air Quality Assessment was submitted with the DA documentation (refer **attachment 8**). The Air Quality Assessment uses a number of standards including the criteria in the EPA Approved Methods and the assessment criteria of workplace exposure standards for methyl bromide. The AUSPLUME plume dispersal model was used to predict off-site pollutant concentration which includes assessing meteorology.

A number of different scenarios have been modelled. The Air Quality Assessment predicts, in the worst case scenario, that the methyl bromide will exceed the Approved Methods criterion of 0.35mg/m³ at the western and northern site boundaries when 10 containers are opened close to the boundary of the airport. This scenario only impacts upon the airport and does not extend onto any other adjoining properties or the surrounding rural and rural residential properties. The Assessment recommends site specific recommendations as follows:

1. Container opening should be staggered with a three minute waiting time period between two containers being opened to reduce the instantaneous methyl bromide emissions.

2. Container Area 2 ventilation should not be undertaken during periods when:
 - a. Wind speeds are below 11km/h and wind directions are between 70 and 90 degrees (BoM compass directions – East North East and East)
 - b. Wind speeds are below 22km/h and wind directions are between 140 and 230 degrees (BoM compass directions – South East, South South East, South, South South West and South West).
 - c. Wind speeds are below 9km/h and wind directions are between 245 and 275 degrees (BoM compass directions – West South West and West).
3. Container Area 3 ventilation should not be undertaken during periods when:
 - a. Wind speeds are below 11km/h and wind directions are between 85 and 120 degrees (BoM compass directions – East North East and East)
 - b. Wind speeds are below 17km/h and wind directions are between 145 and 185 degrees (BoM compass directions – South East, South South East, South, South South West and South).
 - c. Wind speeds are below 5km/h and wind directions are between 255 and 265 degrees (BoM compass directions – West South West and West).
4. Weather data from the Bathurst Airport AWS is to be used to exclude the above mentioned periods.
5. Methyl bromide measurements at the container door once opened must show levels below 48 g/m³. If levels are recorded above 48 g/m³ then additional site specific management may be required.
6. Measurements of Methyl Bromide concentrations after 24 hours should be undertaken to establish the residual levels upon container opening to refine the site specific mitigation measures.

It should be noted the NSW EPA supports the proposal by issuing General Terms of Approval. The General Terms of Approval and subsequent licence imposes strict conditions to ensure safe operation and use of methyl bromide.

- Hours of operation

Hours of operation was raised by persons who lodged a submission and the potential impact this could have on nearby residents. The NSW EPA General Terms of Approval specified the hours of operation to be as follows:

Operational activities related to the Proposal may only be undertaken during the following hours:

General site operations (including log and container deliveries/dispatch, log and container handling operations and container fumigation);

- 7:00am to 10:00 pm, Monday to Friday;
- 8:00am to 5:00pm, Saturday; and
- at no time on Sundays or Public Holidays.

Venting of containers;

- 7:00 am to 6:00 pm.

Conclusion

The proposed development seeks consent for a transport terminal at 148 Ceramic Avenue. The proposal involves receiving freight (primarily involving logs), packing to shipping containers and fumigation of containers for distribution.

The subject site is currently unused and is appropriately zoned for the proposed use. The site is adjacent to an adjoining timber processing facility and the Bathurst Airport and is

suitable for the proposed industrial nature of the development.

The nearby rural-lifestyle allotments are not considered to be significantly impacted by traffic and truck movements, noise and chemical impact. The NSW Environmental Protection Authority granted the General Terms of Approval for the development on the basis that safe levels of emissions were to occur at the site. The NSW EPA determined it was able to issue the General Terms of Approval for the site, with appropriate conditions. Approval is therefore recommended.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.8

Community Engagement

- Consult To obtain public feedback on alternatives and/or decisions

MINUTE

13 Item 4 DEVELOPMENT APPLICATION NO. 2017/410 - TRANSPORT
TERMINAL AT 148 CERAMIC AVENUE, RAGLAN. APPLICANT: GEDS ENTERPRISES
PTY LTD. OWNER: BORAL CSR BRICKS PTY LTD (DA/2017/410)
MOVED: Cr W Aubin SECONDED: Cr J Fry

RESOLVED: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/410, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
- (i) The development is to comply at all times with the recommendations made in the Air Quality Assessment, prepared by GHD, dated December 2017.
 - (ii) The development is to comply at all times with the recommendations made in the Noise Impact Assessment, prepared by GHD, dated October 2017;
 - (iii) If the number of truck movements are to exceed the threshold, a revised traffic study be submitted;
- (b) notify those that made submissions of its decision; and
- (c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

Against the motion - Nil

Absent - Nil

Abstain - Nil

5 DEVELOPMENT APPLICATION NO. 2017/445 – CONSOLIDATION OF LOTS, CONSTRUCTION OF THREE X TWO BEDROOM UNITS AND FOUR LOT RESIDENTIAL SUBDIVISION AT 216 HAVANNAH STREET, BATHURST. APPLICANT: LR CUTLER PTY LTD. OWNER: MR JW SIMONS (DA/2017/445)

Recommendation: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/445, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended; and include conditions to the effect:
 - i) The Applicant is to arrange a Tree Protection Zone for the English Elm tree in accordance with AS4790-2009 or converse with the landholder of 34 Rocket Street for removal. The applicant is to provide to Council, in writing, the preferred method for handling the tree prior to the issue of any Construction Certificate;
- (b) notify those that made submissions of its decision; and
- (c) call a division.

Report: The Site

Council has received a Development Application (DA) for the consolidation of lots, construction of three x two bedroom units and resubdivision at 216 Havannah Street, described as Lot 8 and 9 DP 1130486. A location plan and aerial photo are provided at **attachment 1**.

The site contains one existing single storey dwelling on the southern side known as 216 Havannah. The site has a combined area of 1,471m².

The site is surrounded by residential dwellings, with the South Bathurst Convenience Store and South Bathurst Butcher on the corner of Havannah Street and Rocket Street. The site has a direct line of less than 200m from Milltown Park and 300m from Centennial Park.

History of the Site

The site contains an existing single storey dwelling. The remainder of the site is vacant and appears to have been so for many years.

A Preliminary Contamination Investigation was undertaken (3 October 2017) identifying the site is suitable for residential use.

The proposal

The proposal involves:

- Consolidation of the existing lots;
- Construction of three x two bedroom units;
- Construction of a carport for the existing dwelling; and
- A four lot residential subdivision.

See plans of proposed development at **attachment 2**.

Planning Context

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned R1 General Residential under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. Residential Units and subdivision are permissible with consent in the R1 General Residential zone. The proposal is consistent with the objectives of the zone.

4.1B Minimum Lot Size for dual occupancies, multi dwelling housing and residential flat buildings

Multi dwelling housing (residential units) requires a Minimum Lot Size, as shown on the Lot Size Map, of 1,300m². The site is 1,471m² and therefore complies with the minimum lot size for multi dwelling housing in Precinct 2.

4.3 Height of buildings

The proposed development will have a maximum height of 5.1m. The Maximum Height of Buildings specified on the Height of Buildings Map is 9m and therefore the proposed development complies with the maximum height of buildings.

5.10 Heritage Conservation

The subject site is within the Bathurst Heritage Conservation Area but is not individually listed as a Heritage Item. The existing dwelling is Late Victorian (1875-1901) and has a BCAMs rating of Contributory. There are no changes proposed to the existing dwelling, other than the erection of a carport proposed on the southern side, behind the building line. The carport will not adversely impact upon the existing building.

The proposed infill development is single storey with a 25 degree roof pitch. It will be set back 7.5m at the front, similar to the existing dwelling on site. The proposed fencing is 900mm high picket fencing, sympathetic to the heritage character of the area. The proposed infill dwelling to the Havannah Street streetscape will be face brick work in strong autumn tones.

The two rear dwellings will have limited visibility to the streetscape, having no impact on the streetscape of Havannah Street.

Bathurst Regional Development Control Plan 2014

Chapter 2 Notification and Exhibition

The development application was advertised and notified to adjoining property owners from 27 November 2018 to 11 December 2018. Following the advertising and notification period a total of 1 submission was received (see submission at **attachment 3**).

A discussion forum was arranged but the person who lodged the submission could not attend. Issues raised in the submission are outlined and addressed below.

- A tree partially exists within the property of 36 Rocket Street, (Lot 1 DP 150662) and removal is not supported.

Comment

The applicant was requested to provide a survey plan to show the exact site boundary and the location of the English Elm tree (*Ulmus procera*). The survey determined the tree is actually located within 34 Rocket Street, Lot C DP 159826, refer **attachment 4**.

The tree, based on the information available to Council, is therefore located on neither the applicant nor the objectors land.

It is noted that Council has previously approved plans for redevelopment of 34 Rocket Street for residential units. Those plans, approved by Council in 2010, showed the retention of the tree.

It is acknowledged the level of cut and necessary retaining wall for the proposed development is likely to impact on the health of the tree. An assessment was made by Council's Operations Manager Parks and Senior Heritage Planner who determined that the loss of the tree would not be a significant impact on the locality. A condition of consent will be imposed that either a tree protection zone is to be established or discussions are to be held with the landholders of 34 Rocket Street to seek its removal. Should the landholders of 34 Rocket Street wish to remove the tree, Council approval is required in accordance with Council's Tree Preservation and Management Policy.

- Does not want a boundary fence between the subject site and 36 Rocket Street to include a retaining wall. It is preferred this is a separate structure to the fence.

The plans show that the masonry retaining wall, up to 800mm high, with a 1.8m high colorbond fence above the retaining wall. This will improve privacy for both Residence 2 of 216 Havannah Street and 36 Rocket Street. There are no changes to the ground level of 36 Rocket Street. Further, the retaining wall will not be visible from 36 Rocket Street. The retaining wall is required on the eastern and southern boundaries.

- Potential impact on privacy from the new fence.

The new fence will be 1.8m high colorbond fence on the rear and side boundaries. An 800mm high masonry retaining wall will be internal to this colorbond fence. The existing fence between the subject site and 36 Rocket Street is an unstable approximately 1m high timber fence. The proposed development will provide a safer and higher fence, improving privacy for 36 Rocket Street. The construction of the fence will be the responsibility of the developer for 216 Havannah Street.

Chapter 4 Residential Development

The site is contained within Precinct 2 pursuant to the *Bathurst Regional Development Control Plan 2014* (DCP). Residential Units are permissible with consent in the precinct. The proposal complies with the objectives of the Precinct and the development standards for residential units as shown in the table below:

Development Standard	Proposed	Permissible	Compliance
Minimum lot size	1,471m ²	1300m ²	YES
Density	59.82 persons	60 persons	YES
Site Coverage	48%	50% max	YES
Height	5.1m	Two- storey maximum	YES

Setback - front	7.4m	complement existing	YES
Setback - rear	1m	In accordance with BCA	YES
Setback - side	1.1m	In accordance with BCA	YES
Car parking	1 covered per dwelling	1 covered per dwelling	YES
Resident	1 per dwelling	1 per dwelling	YES
Visitor	1 space	1 space	YES
Accessway width	6m	3-6m wide	YES
Open space area	>40m ² per dwelling	30m ² per dwelling	YES
Open space width	4m/dwelling	4m wide	YES
Garage doors	0%	50% of façade or 70% of façade	YES
Battle-axe allotment(P2/P3 only)	Regular	Regular allotments only	YES
Frontage width (P2/P3 only)	24.5m	Minimum 20 metres	YES
Frequency (P2/P3 only)	NA	Corner allotment or 40m separation	NA
Floor area (secondary dwelling)	NA	60m ² or 20% of floor area of principle	NA

Chapter 16 Earthworks

The table below outlines the development's compliance with the standards for earthworks under the DCP.

	Compliance	Comment
Extent of cut and fill shown on plans	YES	<i>Yes, 800mm of cut is shown on the plans.</i>
Height and location of retaining walls shown on plans	YES	<i>Retaining walls are proposed to be up to 800mm high and constructed of masonry.</i>
Cut and fill on boundary 1 meter or less	YES	<i>No cut and fill is proposed on the boundary.</i>
Retaining walls on boundary of material other than timber	YES	<i>Retaining walls are proposed to be up to 800mm high and constructed of masonry.</i>

Conclusion

The proposed development seeks consent for the construction of 3 x 2 bedroom units, a carport to the existing dwelling, and a four lot residential subdivision.

The proposed development complies with Council's planning controls and contributes positively to housing supply within Bathurst.

The existing vacant site is identified to have an intrusive impact on the streetscape of the Heritage Conservation Area. The proposed use of face brick work, 25 degree roof pitch and consistent setback from the streetscape is acceptable. The proposed infill development is considered to relate well to the existing Late Victorian dwelling. The proposed front fencing is 900mm high picket fencing, sympathetic to the Heritage character of the area.

The proposed development will provide generous private open space and off-street car parking. The site is close to public open space and local neighbourhood shops. Approval of the development is recommended.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.8

Community Engagement

- Consult To obtain public feedback on alternatives and/or decisions

MINUTE

14 Item 5 DEVELOPMENT APPLICATION NO. 2017/445 – CONSOLIDATION OF LOTS, CONSTRUCTION OF THREE X TWO BEDROOM UNITS AND FOUR LOT RESIDENTIAL SUBDIVISION AT 216 HAVANNAH STREET, BATHURST. APPLICANT: LR CUTLER PTY LTD. OWNER: MR JW SIMONS (DA/2017/445)
MOVED: Cr I North SECONDED: Cr B Bourke

RESOLVED: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/445, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended; and include conditions to the effect:
 - i) The Applicant is to arrange a Tree Protection Zone for the English Elm tree in accordance with AS4790-2009 or converse with the landholder of 34 Rocket Street for removal. The applicant is to provide to Council, in writing, the preferred method for handling the tree prior to the issue of any Construction Certificate;
- (b) notify those that made submissions of its decision; and
- (c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

Against the motion - Nil

Absent - Nil

Abstain - Nil

6 DEVELOPMENT APPLICATION NO. 2017/394 – DOG BREEDING FACILITY AT 1557 ROCKLEY ROAD, ROCKLEY. APPLICANT: ROCKLEY VALLEY PARK PTY LTD. OWNER: GREENFIELD PROPERTY NOMINEES PTY LTD (DA/2017/394)

Recommendation: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2017/394, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
- (i) A complaints management plan is to be established, including a record for verbal and telephone complaints, investigation and relevant testing measures, timeline for action to be completed and confirmation of follow up with complainant. The record of complaints and actions is to be submitted to Council annually.
 - (ii) The vegetation screening along Rockley Road and Black Mountain Road is to be native species other than koala feed species to limit likelihood of koala interactions, and is to be extended along Black Mountain Road to provide a more effective barrier with neighbours. The screening is to be a distance of 200m (along the southern and eastern security fence) so that the facility is less visible to Black Mountain Road.
 - (iv) Noise levels at the nearest non-associated residences are not to exceed the following:

Rated Background Level	Intrusive Criteria	Daytime Noise Penalty	Evening/ Night noise penalty	Acceptable Noise Criteria Day	Acceptable Noise Criteria Evening/ Night
30dBA	35dBA	-5dBA	-10dBA	30dBA	25dBA

- (v) Management procedures to be put in place to prevent the emission of avoidable barking or other noise.
- (vi) All animals to be wholly contained within their breeding and inner yard enclosure between the hours of 6.00pm and 7.00am.
- (vii) Shade cloth, or similar (1800mm in height and a colour conducive to the landscape features) is to be erected along the security fence to reduce barking caused by external stimulus.
- (viii) Acoustic compliance monitoring of not less than 1 week duration is to occur within:
 - (i) 6 months of the facility's operation and
 - (ii) at not less than 80% of the operational capacity.

Acoustic assessment is to take place within 30 metres of the receivers residences, or if permission is not granted, within 1557 Rockley Road at the closest point to the receiver.

- (b) notify those that made submissions of its decision; and
- (c) call a division.

Report: The Site

Council has received a Development Application (DA) for a dog breeding facility at 1557 Rockley Road, Fosters Valley, described as Lot 2190 DP 846322. A location plan is provided at **attachment 1**.

The subject site currently contains one dwelling and associated farm infrastructure. The site is bound by Black Mountain Road to the south, Rockley Road to the west, and agricultural land to the north and east. Land to the east is heavily vegetated. The site contains a 2nd order stream that later feeds into Davy's Creek (a 3rd order stream) off site.

The site has an area 101.9ha.

The nearest non-associated dwellings are located as follows

- 1605 Rockley Road, 420 metres from the location of the proposed development;
- 1796 Rockley Road, 480 metres from the location of the proposed development.

History of the Site/Proposal (if applicable)

The site is understood to have a long history of agricultural use. It was subdivided from a larger rural holding in 1994.

The proposal

The proposal involves a dog breeding facility for capacity of 60 dogs, comprising 8 males and 52 females. The facility proposes:

- 15 kennels and associated fenced dog run;
- A building containing 20 whelping kennels and outdoor fenced space;
- 8 mating kennels and associated dog run; and
- 2 central dog socialisation areas which include shade structures and a small pool (250mm deep).
- Grooming shed;
- 1.8m high chain wire fencing;
- Refurbishment of existing shed to be used for dog hospital and quarantine room; and
- Effluent disposal system.

The Development Application has been accompanied by the following reports:

- Statement of Environmental Effects (SoEE) and plans of proposed development at **attachment 2**.
- Geotechnical Report at **attachment 3** (Amended since initial application)
- Acoustic assessment at **attachment 4** (Amended since initial application)
- Draft Plan of Management at **attachment 5**

Staffing

There is no general access by the public to the site, which will be managed by one caretaker

who will reside in the existing dwelling on site. Two employees will frequent the site each week and a veterinarian will visit the site approximately once per week.

The dog breeding facility will provide the occasional training course where there is expected to be 12 persons in attendance. Training courses are anticipated to occur 6-10 times per year with no accommodation on site.

Waste management

The site proposes an effluent disposal system for the cleaning out of kennel areas, whelping areas, and mating areas (refer to Geotechnical Report at **attachment 3**), which has been amended since the initial application. The waste water collected during the washing out of these facilities will be drained through a swale to a biocycle sewerage treatment system.

Faeces will be collected by staff and disposed of at a licenced commercial waste facility by the caretaker.

Acoustics

The applicant has provided an amended acoustic report during the assessment process, included at **attachment 4**. The amended acoustic report addresses issues surrounding the potential offensive nature of barking dogs by applying a penalty of 5dBA for daytime noise and 10dBA for night time noise taking into account intermittency and potential sleep disturbance. The amended report also corrected some references to the nearest dwellings being 1796 Rockley Road and 1605 Rockley Road.

The acoustic report adopts the Industrial Noise Policy 2000 which states that, should background noise levels be determined to be less than 30dBA, then 30dBA should be used as the RBL. The usual approach to addressing intrusive noise levels would be to add 5 dB to these levels resulting in the project noise level of 35 dBA.

Consistent with the approach adopted by the Land and Environment Court for the Dunkled Pet Hotel, penalties have been applied to the development to address the character and intermittency of barking dogs. When the character penalty is applied, a sufficiently strict noise criteria of 30dBA (-5dBA penalty day time) and 25dBA (-10dBA penalty evening/night time) is set. It is noted that the Industrial Noise Policy 2000 was recently reviewed and replaced by the Noise Policy for Industry in October 2017 (ie at around the same time the Development Application was lodged). The submitted report is consistent with the 2000 Policy. Whilst some aspects of the amended report are not wholly consistent with the 2017 Policy (e.g. provision of noise modelling details, meteorological conditions, using the new RBL standard) it is noted that the 2017 Policy generally adopts a higher background level of 35 dBA as opposed to 30dBA. Notwithstanding, by using the 30dBA RBL, the consultant has provided a sufficient, and more strict, baseline for noise criteria to be established.

It is recognised that through good design of the facility and its compliance with best practice management procedures, there is a reduced likelihood of noise from barking becoming an issue. However, to be consistent with recent conditions imposed on similar developments, in light of the rural locality and to reinforce mitigation actions proposed in the acoustic report, precautionary conditions have been added. This includes monitoring of noise once operational.

If Council approves the development, a complaints handling management plan will be implemented as a condition of consent. The management plan and results will be required to be submitted to Council annually.

Planning Context

State Environmental Planning Policy 44 – Koala Habitat Protection

An assessment prepared by the applicant to satisfy the requirements of State Environmental Planning Policy 44 – Koala Habitat Protection (SEPP 44) has been submitted with the Development Application as part of the Statement of Environmental Effects. The assessment did not identify the site as a core koala habitat.

A core koala habitat is identified as *an area of land with a resident population of koalas, evidenced by attributes such as breeding females (that is, females with young) and recent sightings of and historical records of a population.*

Under this definition, whilst there are koalas in the vicinity of the development or on the property, the provisions of SEPP 44 requiring a specific Plan of Management do not apply in this instance.

Notwithstanding this, the proposed development is seeking to minimise potential impact to koala fauna by planting trees other than koala feed trees to meet landscaping requirements, installing a 1.8 metres high external fence and installing a 1.5 metres high internal fence. The Statement of Environmental Effects (SoEE) has identified that should a koala be seen within the vicinity of the animal breeding facility, WIRES will be contacted immediately for appropriate relocation. It is suggested that such relocation be required to be in the vicinity of the site.

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned RU1 Primary Production under the provisions of the *Bathurst Regional Local Environmental Plan 2014*.

Zone RU1 - Primary Production

Objectives of zone

- *To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.*
- *To encourage diversity in primary industry enterprises and systems appropriate for the area.*
- *To minimise the fragmentation and alienation of resource lands.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To maintain the rural and scenic character of the land.*
- *To provide for a range of compatible land uses that are in keeping with the rural character of the locality, do not unnecessarily convert rural land resources to non-agricultural land uses, minimise impacts on the environmental qualities of the land and avoid land use conflicts.*

The proposed development is for a dog breeding facility. This use of the land is most closely characterised as an *animal boarding or training establishment* under Bathurst Region Local Environmental Plan 2014.

An *animal boarding or training establishment* is defined as *a building or place used for the breeding, boarding, training, keeping or caring of animals for commercial purposes (other than for the agistment of horses), and includes any associated riding school or ancillary veterinary hospital.*

An animal boarding or training establishment is not prohibited in the RU1 Zone and is therefore permitted with consent.

The use of the land this way is not inconsistent with the objectives of the zone provided the land remains available for agricultural use, impacts on the environment are minimised and land use conflicts are avoided.

Clause 4.3 Height of Buildings

There is no maximum height of buildings specified for the subject site, however the kennels will be a maximum of 2.1 metres high, and the whelping building is a maximum of 4.5 metres high.

Clause 7.2 Bushfire Prone Land

The subject site is considered bushfire prone. Conditions can be imposed to ensure adequate firefighting water supply is available and the access is compliant with Planning for Bushfire Protection guidelines.

Bathurst Regional Development Control Plan 2014

Development Standard	Proposed	Permissible	Compliance
Setback - Front	12.25m	50m	Yes*
Setback - Side (nearest side)	75m	50m	Yes
Setback - Rear	>200m	50m	Yes
Domestic Water Supply	N/A	15,000 litres per/bedroom	N/A
Fire Fighting Water Supply	20,000 litres	20,000 litres	Yes

**The Bathurst Regional DCP 2014 does not prescribe a minimum setback for this specific land use. The DA has been assessed against the criteria for farm buildings for lots greater than 20ha. The proposal is generously set back from the rear and side boundaries. The kennels boundary fence setback of 12.25m from the front boundary is considerably less than the other setbacks but is acceptable in this instance. This is because the development can be as far as possible from Davys Creek and adequate area for vegetation screening is provided.*

- a) *The materials used must be naturally textured and coloured, sympathetic to the natural environment and must be non-reflective.*

The proposed fencing uses materials consistent with other rural fencing in the vicinity. The high fencing and kennels will be adequately screened by vegetation on Black Mountain Road and Rockley Road.

The design of the proposed whelping building is consistent with that of a rural dwelling. The whelping area has been designed to be non-reflective and sympathetic to the surrounding area and natural environment.

It is considered there will be no adverse impact of the buildings and materials proposed on the natural environment.

- b) *The bulk and scale of the building must not adversely impact on the visual amenity from neighbouring properties or the visual amenity from other significant locations in the City or the Region.*

The proposed development is not considered to create an adverse bulk and scale on the rural landscape. The proposed structures are appropriately set back from boundaries despite the front fence setback being 12.25 metres. The main structure, the whelping building, is set back generously from the front setback and presents a rural dwelling appearance, similar to surrounding rural dwellings.

- c) *The height of the building must relate to the topography of the land so that on steeper sites at least part of the roof plane is parallel to the slope and the overall building height sits below any ridgeline/s.*

The proposed kennels are 2.1 metres high. The proposed building heights are consistent with surrounding agricultural infrastructure (i.e. sheds) and other rural dwellings. The proposed infrastructure is appropriate within the topography having limited impact on the rural views from Rockley Road. This is due to the slope of the land of Rockley Road and the location of the kennels being more than 30 metres off the front boundary.

- d) *The design of the building must be in keeping with the rural character of the area.*

The proposed whelping building is considered to be in keeping with the rural area. The whelping building presents a rural dwelling appearance, with the use of colorbond roofing and façade, and a face brickwork dado wall. The proposed buildings utilise high quality design and materials creating a high standard development.

- e) *Rural structures such as outbuildings must be adequately screened with vegetation and setback from any road.*

Outbuildings including shade structures are proposed. Landscaping is proposed to screen the entire facility, along Rockley Road and Black Mountain Road. Conditions will be imposed for appropriate tree species that are suitable for the area and will not attract koalas.

Chapter 9 Environmental Considerations

Sensitive Land Areas – DCP Map No. 29 Land Resources		
Environmentally Sensitive Area	Identified on Subject Site?	Comment
Land Capability Class 7	NO	Plans and documentation submitted with the Development Application indicate that the proposed development will not result in significant disruption to sensitive land areas.
Land Capability Class 8	NO	
Karst Extent	NO	
Salting	NO	
Severe or Extreme Sheet or Rill Erosion	NO	
Sensitive Waterways – DCP Map No. 30 Riparian Land & Waterways		
Environmentally Sensitive Area	Identified on Subject Site?	Comment
Sensitive Waterways	YES*	*The development site is more than 400m from the sensitive waterway, Davys Creek. The implementation of a waste management plan and erosion and sediment control plan are considered sufficient to

		minimise any adverse impact on the sensitive waterways.
High or Moderate Biodiversity – DCP Map No. 31 Biodiversity		
Environmentally Sensitive Area	Identified on Subject Site?	Comment
DECC Estate	NO	*The locality is identified to contain areas of high biodiversity sensitivity. The proposed development site has been strategically located to be clear of the land identified as high sensitivity biodiversity. The proposal is unlikely to generate disruption to sensitive land areas.
High Biodiversity Sensitivity	Yes*	
Moderate Biodiversity Sensitivity	No	

Submissions

The Development Application was notified to adjoining property owners from 20 October 2017 to 30 October 2017. Following the notification period a total of 37 submissions were received.

The Application was put before the Policy Committee meeting on 6 December 2017. After the Policy Meeting, another 4 submissions were received (one of which was a petition with 5,190 signatories at the time), bringing a total of 41 submissions. Refer to **attachment 6** for complete list of submissions. Issues raised in the submissions and at the Policy Committee meeting included:

- Impact on waterways from runoff

Comment: The submissions included concerns regarding the potential cumulative impact of runoff from urine and uncollected faeces into Davys Creek. Davys Creek is identified as a sensitive waterway.

The development site is located a distance of more than 400 metres from Davys Creek. The substantial distance and implementation of appropriate waste, erosion and sediment control measures will result in minimal impact on the waterways. It is considered likely the prior historical use of the agricultural land as a livestock farm would also have some impact on sensitive waterways.

Submissions also describe an unnamed drainage line that should also be protected from effluent discharge. Conditions of consent can be included to address these concerns.

The dog faeces removal management plan is proposed as an appropriate approach to minimising impact on any water ways. The faeces are proposed to be collected constantly during daylight hours whilst the dogs are being socialised. The faeces will be disposed of at an appropriate waste facility.

- Appropriateness of effluent disposal to cater for development

Comment: The proposed effluent disposal system is an aerated wastewater treatment system. The Effluent Disposal Investigation provided (prepared by Calare Civil 15 September 2017) estimated the design flow for the animal breeding facility to be 400 litres per day. This includes the whelping building which will be cleaned out daily. This does not include staff toilets and kitchen facilities which has not been included.

Council requested an amended Effluent Disposal Investigation, prepared by Calare Civil and submitted 23 January 2018. The amended Effluent Disposal Investigation increased total water consumption to 1220 litres per day. It is recommended a surface irrigation system would be capable to treat the daily water consumption via an aerated wastewater treatment system. The effluent disposal system would be inspected regularly by Council staff as part of general practise.

- Noise generation

Comment: The noise generation levels, as noted earlier in this report, were raised as a concern from surrounding landholders. The concerns relate mostly to impact on residences and adjoining agricultural activities (e.g. lambs) and the possibility that dogs barking at the facility, even at low noise levels, would initiate barking of other dogs in the locality, such as working dogs on nearby farms. It is also unclear if additional noise will be generated by the dog training activity. There were further questions arising from the noise logging as the nearby residents had not observed testing being undertaken at their property.

The amended acoustic assessment addresses several of these concerns by including character penalty of 5dBA for daytime noise and 10dBA for night time noise taking into account intermittency and potential sleep disturbance. The acoustic assessment submitted demonstrated compliance with the acceptable noise level of background noise +5dBA and -5dBA for character penalty. This approach is consistent with the Dunkeld Park Pet Hotel and is considered to provide a satisfactory noise criterion. Further, the noise assessment submitted by the applicant illustrates that because the dogs will know each other very well and be socialised daily, the facility is unlikely to generate excessive barking. Further, the setup of the facility in a circular arrangement limits random visual stimulation for the dogs that could trigger barking. A condition of consent is to be included for shade cloth to act as an additional visual barrier to prevent random visual stimulation.

The complaints handling management plan is considered an acceptable way to ensure complaints and responses are adequately recorded, should they arise.

- Treatment of animals within the facility and after purchase

Comment: Concerns were raised in submissions over the potential treatment of dogs in the facility, once rehomed after purchase, dogs not able to be rehomed, and the fate of breeding animals at the end of their breeding capability.

The proposed use of the site for a dog breeding facility is a legal use in NSW and permissible with consent in the zone. Council's obligation in assessing this application is to take into account planning concerns in accordance with its obligations under the Environmental Planning and Assessment Act. These planning considerations do not extend to many aspects associated with the regulation of the industry other than the public interest.

In that regard, the development proposes to apply best industry practice at the facility and refers to the implementation of the Pet Industry Association Standards and Guidelines for Best Practice for Breeding Establishments.

Other concerns raised by the submissions are related to ethical issues surrounding animal breeding facilities in general, and not necessarily specific elements of this proposal.

- Inadequate flora and fauna study

A submission argues that because of koala sightings in the vicinity of the development site a more detailed assessment of koala habitat should have been undertaken.

Comment: The site for the development infrastructure is fully cleared and the proposal attempts to manage the interface with koala activity by exclusion fencing and management of the site.

- The precautionary principle should lead to refusal

A submission argues that in the absence of full information (i.e. where there is uncertainty), the Council should refuse the application because the consequences of environmental impact are significant.

Comment: The applicant has described how foreseeable impacts can be mitigated. Although the precautionary principle is well established for environmental protection, development proposals dealing with or located within the natural environment are rarely completely free of uncertainty. It is the responsibility of Council, if inclined to approve the application to be satisfied foreseeable risks can be mitigated by appropriate conditions of consent. In so far as it might apply to the development, the Council is also to consider the public interest in making its determination.

Conclusion

The proposed development seeks consent for an animal breeding facility for a total of 60 adult dogs. The proposal intends to provide a high quality facility at 1557 Rockley Road, Fosters Valley.

The concerns raised by submissions related to the function of the site can be adequately mitigated. The implementation of erosion and sediment control and appropriate effluent disposal will mitigate potential for impact on sensitive waterways nearby. The noise assessment provides an acceptable level of noise generation and an appropriate complaints system can be implemented to ensure any complaints are being addressed. Separation from koalas and koala habitat has been proposed.

Council can request the annual submission of complaints and responses and the post breeding animal management plan. The annual submission of these reports will provide Council an update on the operation of the facility and review management practices.

Some of the concerns raised by submissions related to animal breeding facilities generally are not specific to this proposal and are addressed to the industry in general. Whilst unregulated dog breeding is occurring in Australia, the proposal intends to provide a high quality facility ensuring accountability within the local community. Submissions have argued however that the proposed facility is not in the public interest by failing to ensure animal welfare.

If Council is inclined to approve this application, a draft set of conditions is provided at **attachment 7**.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the Strategy 28.8

protection of the region's environmental, economic, social and cultural assets.

Community Engagement

- Consult To obtain public feedback on alternatives and/or decisions

MINUTE

15 Item 6 DEVELOPMENT APPLICATION NO. 2017/394 – DOG BREEDING FACILITY AT 1557 ROCKLEY ROAD, ROCKLEY. APPLICANT: ROCKLEY VALLEY PARK PTY LTD. OWNER: GREENFIELD PROPERTY NOMINEES PTY LTD (DA/2017/394)

This Item was dealt with at Minute #9

7 DEVELOPMENT APPLICATION NO. 2017/314 – PARTIAL DEMOLITION, ALTERATIONS AND TWO STOREY ADDITION TO DWELLING AND FRONT FENCE AT 118 MITRE STREET, BATHURST. APPLICANT: MR M & MRS C YEOMAN. OWNER: MR M & MRS C YEOMAN (DA2017/314)

Recommendation: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2016/314, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended.
- (b) call a division.

Report: The Site

Council has received a Development Application (DA) for partial demolition, alterations and two storey addition to dwelling and front fence at 118 Mitre Street, described as Lot 1, DP 744886 and Lot A, DP 347292.

See location plan at **attachment 1** and aerial photo at **attachment 2**.

The site currently contains a single storey dwelling with attached garage, a separate shed and a swimming pool. The main part of the dwelling was constructed circa 1943. It is likely that the enclosed verandah and garage were slightly later additions.

As the dwelling currently straddles the boundary of two allotments a condition will be imposed to require the consolidation of the two lots prior to the issue of an Occupation Certificate.

The proposal

The proposal involves:

- Demolition of the attached garage, laundry, study and front deck;
- Construction of a two storey addition to the dwelling;
- Internal alterations;
- Increasing windows openings in enclosed verandah;
- Replacement of tiled roof with sheet metal;
- Painting of external brickwork; and
- Front fence.

See plans of proposed development at **attachment 3**.

After an initial assessment of the proposal by Council's Planning Officers and Heritage Advisor, Council wrote to the applicant to raise concerns about some elements of the proposal. These are summarised as follows:

- Preference for windows in enclosed verandah to not be increased in size;
- Preference for tiled roof to remain;
- Suggestion for inclusion of horizontal cross-bars in new windows to reflect proportions of original windows in the dwelling; and
- Preference for brickwork not to be painted.

In this letter Council's Planning Officers did however acknowledge general acceptance of the overall design of the proposed two storey addition including the mono-pitch roof design on the basis that this would minimise the height of the new development.

The applicant subsequently submitted a written response with an additional elevation plan attached. See applicant's response at **attachment 4**.

The additional elevation plan submitted with the applicant's response incorporated the following elements:

- A complete elevation of the Keppel Street side showing 1800mm high timber paling fence along the Keppel Street frontage of the site, in front of the enclosed verandah;
- A timber handrail with woven wire balustrade in front of the new windows on the Mitre Street elevation (in the existing enclosed verandah and the proposed two storey addition); and
- A complete elevation of the Keppel and Mitre Street sides showing the proposed low brick and metal front fence and associated gates.

Planning Context

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned R1 General Residential under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. Dwellings, and therefore dwelling additions and alterations, are permissible with consent in the R1 General Residential zone. The proposal is consistent with the objectives of the zone.

Clause 4.3 Height of buildings

The Height of Buildings Map for this locality indicates a maximum building height of 9 metres. The proposed two storey addition will have an overall height of approximately 7 metres which therefore complies.

Clause 5.10 Heritage conservation

The subject site is within the Bathurst Heritage Conservation Area but is not an individually listed Heritage Item. The proposal was referred to Council's Heritage Advisor for comment. See discussion in relation to Heritage Advisor's comments below under "Development Control Plan".

Clause 7.3 Airspace operations

While the subject site is within the Bathurst airport environs, the proposed building with an overall height of approximately 7 metres will not penetrate the Limitation or Operations Surface.

Bathurst Regional Development Control Plan 2014

Chapter 10 – Urban Design and Heritage Conservation

As the subject site is within the Bathurst Heritage Conservation Area the proposal was referred to Council's Heritage Advisor for comment.

The table below outlines the initial concerns of Council's Heritage Advisor in relation to the proposed development.

Please see applicant's response to these concerns at [attachment 4](#).

Concern	Comment
<p>The existing window openings in the Keppel Street and Mitre Street elevations of the enclosed verandah be retained rather than being increased to much larger openings.</p>	<p>The applicant has provided an additional elevation indicating a 1800mm high timber paling fence along the Keppel Street frontage of the site. This fence will screen the proposed larger window openings on the Keppel Street elevation.</p> <p>It is noted that the existing windows in the enclosed verandah are already of a different design and proportion to those in the original dwelling.</p> <p>The additional plan submitted (1702-DA07) includes a handrail and balustrade in front of the window in the Mitre Street elevation of the enclosed verandah. These elements give the enlarged window opening proportional representation to the original windows in the dwelling. This amendment has been included to reasonably address this concern.</p>
<p>The tiled roof on the existing dwelling be retained (and the tiles replaced with new ones if necessary). It is however considered appropriate to use Colorbond for the skillion roof of the two storey addition.</p>	<p>The existing roof is in poor condition and is reaching the end of its lifespan.</p> <p>The use of one roof material across the whole dwelling will unify the old and new construction.</p> <p>Colorbond roofing is common in the immediate surrounds.</p>
<p>The windows in the Mitre Street elevation of the proposed two storey addition include horizontal cross-bars or similar to reflect the proportions of the original windows in the existing dwelling.</p>	<p>The additional plan submitted (1702-DA07) includes a handrail and balustrade in front of the windows in the Mitre Street elevation of the proposed two storey addition. These elements give the new windows proportional representation to the original windows in the dwelling. This amendment has been included to reasonably address this concern.</p>
<p>The brickwork on the existing dwelling not be painted. It is however considered appropriate to paint or render the two storey addition in a warm tone that will complement the brickwork.</p>	<p>Painting the brickwork will unify the old and new construction.</p> <p>Painting the brickwork rather than rendering the brickwork will ensure that the textured effect of the brick, the mortar joints and the soldier course is maintained.</p> <p>Painted brickwork is common in the immediate surrounds.</p> <p>Despite being painted in the same colour, the old and new construction will be distinguishable with obvious variations in window design, roof design and height.</p>

Council's Heritage Advisor had also previously requested that the mono-pitch roof on the

proposed two storey addition be changed to a pitched hip or gable roof to be more sympathetic to the original dwelling. It was however agreed in a meeting between the applicants and Council's Planning Officers that a pitched hip or gable roof would make the proposed two storey addition considerably higher and therefore visually intrusive and more likely to overshadow the neighbouring property.

Council's Heritage Advisor raised no objection to the other components of the proposed development – being the partial demolition, the front fence and the internal alterations.

It is noted that the design of the proposed front fence (low brick wall with metal rail) reflects the design of fences from the 1940's and 1950's (being the period of construction of the original dwelling) and is therefore considered appropriate.

Overshadowing

A shadow diagram for 21 June (the winter solstice) has been submitted with the application. The shadow diagram demonstrates that the proposed addition will not cast a greater shadow than the shadow already cast by the existing trees between 118 Mitre Street and 268 Keppel Street. Should the trees be removed the private open space of the neighbouring dwelling would achieve a minimum of 2 hours of sunlight at the winter solstice.

Public Notification

In accordance with Chapter 2 *Exhibition and Notification of Development Applications* in the Bathurst Regional Development Control Plan 2014, the Development Application was notified to adjoining property owners from 31 August 2017 to 11 September 2017.

At the completion of the notification period no submissions were received.

Conclusion

Council has received a Development Application (DA) for partial demolition, alterations and two storey addition to dwelling and front fence at 118 Mitre Street. After an initial assessment of the proposal by Council's Planning Officers and Heritage Advisor, Council wrote to the applicant to raise concerns about some elements of the proposal. The applicants subsequently responded and provided an additional plan. It is considered that the application, in its current form, can be supported for the reasons outlined in the applicant's response and in the assessment within this report.

Financial Implications: Nil

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.8

Community Engagement

- Consult To obtain public feedback on alternatives and/or decisions

MINUTE

16 Item 7 DEVELOPMENT APPLICATION NO. 2017/314 – PARTIAL DEMOLITION, ALTERATIONS AND TWO STOREY ADDITION TO DWELLING AND FRONT FENCE AT 118 MITRE STREET, BATHURST. APPLICANT: MR M & MRS C YEOMAN. OWNER: MR M & MRS C YEOMAN (DA2017/314)

MOVED: Cr I North SECONDED: Cr B Bourke

RESOLVED: That Council:

- (a) as the consent authority, grant consent pursuant to Section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2016/314, subject to conditions able to be imposed pursuant to Section 80(A) of the Environmental Planning and Assessment Act 1979, as amended.
- (b) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr J Jennings, Cr I North, Cr J Rudge

Against the motion - Cr G Hanger, Cr M Morse

Absent - Nil

Abstain - Nil

8 REQUEST FOR WORKS IN KIND ARRANGEMENT AND SUBSEQUENT REDUCTION OF CONTRIBUTIONS PAID UNDER SECTION 94 CONTRIBUTIONS PLAN – JORDAN CREEK STORMWATER DRAINAGE MANAGEMENT (DA/2017/239)

Recommendation: That Council:

- (a) accept the works in kind arrangement "in principle" for the upgrading of Jordan Creek as required by Development Application No. 2017/239 in lieu of Section 94 Contributions for Jordan Creek Stormwater Management; subject to satisfactory contractual arrangements
- (b) contribute \$60,262.90 towards the upgrading of Jordan Creek;
- (c) deem the contribution required by condition 6 of Development Application No. 2017/239 estimated to be \$41,858.10 will be satisfied by the works in kind arrangement; and
- (d) call a division.

Report: Council at its meeting held 27 September 2017 resolved to approve Development Application No. 2017/239 for the construction of ten residential units (4 x 3 bedroom two storey units, 4 x 3 bedroom single storey units and 2 x 2 bedroom single storey units) at 133 – 141 Keppel Street, Bathurst.

A location plan and aerial photo are provided at **attachment 1**.

The site is subject to Council's Section 94 Contribution Plan - Jordan Creek Stormwater Drainage Management. The Section 94 Contribution Plan requires developments within the catchment to make financial contributions towards the upgrading of Jordan Creek.

Consistent with the Plan, the development consent is subject to a condition requiring a monetary contribution of \$41,858.10 (based on 3771m² of impervious area at \$11.10 per square metre).

The Section 94 Plan identifies the construction of an open concrete lined channel between Russell and Keppel Streets. The aim of the channel is to accommodate the 1 in 100 year flood event plus appropriate freeboard. The current channel, whilst it is concrete lined, does not provide the required level of protection. Accordingly it requires raising, on the development side, to provide this protection.

The applicants have provided a quote of \$102,121.00 for the construction of the raised retaining wall, refer **attachment 2**. The quote was reviewed by Council's Engineering Section who considered it reasonable given the scope of works.

Council has received a written request from Mr C and Ms D Sarah, the owners of the land which has the benefit of the consent to accept the works in kind in lieu of Section 94 Contributions for Raglan Creek Stormwater Management. The remaining \$60,262.90 is proposed to be funded by Council from the funds available in the S94 reserve, to support the required works.

Works in kind arrangements are permitted under the Section 94 Plan.

Financial Implications: Council's financial contribution will be \$60,262.90 from funds already collected from Section 94 Plan – Jordan Creek Stormwater Drainage Management. The fund currently has a balance of \$673,439.50.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.2

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

17 Item 8 REQUEST FOR WORKS IN KIND ARRANGEMENT AND SUBSEQUENT REDUCTION OF CONTRIBUTIONS PAID UNDER SECTION 94 CONTRIBUTIONS PLAN – JORDAN CREEK STORMWATER DRAINAGE MANAGEMENT (DA/2017/239)

MOVED: Cr B Bourke SECONDED: Cr I North

RESOLVED: That Council:

- (a) accept the works in kind arrangement "in principle" for the upgrading of Jordan Creek as required by Development Application No. 2017/239 in lieu of Section 94 Contributions for Jordan Creek Stormwater Management; subject to satisfactory contractual arrangements
- (b) contribute \$60,262.90 towards the upgrading of Jordan Creek;
- (c) deem the contribution required by condition 6 of Development Application No. 2017/239 estimated to be \$41,858.10 will be satisfied by the works in kind arrangement; and
- (d) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

Against the motion - Nil

Absent - Nil

Abstain - Nil

9 SMART CITY PROJECT (20.00315)

Recommendation: That the report be noted.

Report: A Smart City is an urban development vision to integrate Information and Communication Technology (ICT) and the Internet of Things (IoT) technology in a secure fashion to provide technology based services to the public and manage a city's assets. Council is currently scoping the development of a Smart City Plan which will guide Bathurst to become a more productive, accessible, liveable city that attracts talent, encourages innovation, creates jobs and integrates emerging technologies into everyday life. Council has established an internal Smart Cities Project Group to guide the development of Bathurst into a Smart City.

Both the State and Federal Government have dedicated significant resources and funding to encourage the emergence of smart cities and Council has been heavily involved in this process. Council also recently joined ASCA (Australian Smart Communities Association), one of the leading national associations in Smart City development.

Bathurst is well positioned to become a national leader in Smart City development and with the combined efforts of Council and the community, a number of significant milestones have already been achieved:

- \$152,500 grant from the Federal Government to roll out a CBD Free Wi-Fi Network
- \$100,000 digital media prize in the Ooh! Media Smart Cities competition
- Founding contributor to the development of the Upstairs Start-Up Hub to launch new small businesses
- lobbying for successful NBN rollout
- Installation of a Tesla Supercharger
- Australia's first experiential Technology Hub, Gunthers Lane

Council has also commenced additional smart city projects such as smart controls for CBD street lighting and CCTV network scoping.

The development of Bathurst into a Smart City has numerous benefits, including:

- Increased business investment and relocations
- Increased residential relocation and visitation
- Cost saving energy efficiencies
- The emergence of innovative local businesses and new products
- New skills for local business professionals
- Analytics that provide Council with real time and accurate data to inform planning decisions

Due to the efforts of Council and the community, Bathurst is well on the way to becoming a national leader in Smart City development.

Conclusion

Bathurst is well positioned to become a national leader in Smart City development. A number of Smart City projects have already been completed with many more in development.

Financial Implications: Funding for this item is contained within existing budgets.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 5: To facilitate and foster partnerships, networks and infrastructure to support and attract knowledge, innovation and research. Strategy 5.1, 5.3

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

- 18 Item 9 SMART CITY PROJECT (20.00315)
MOVED: Cr I North SECONDED: Cr A Christian

RESOLVED: That the report be noted.

10 COUNCIL APPOINTMENT AS AN ENFORCEMENT AGENCY UNDER THE FOOD ACT 2003 (14.00002)

Recommendation: That the report be noted.

Report: Bathurst Regional Council's appointment as a category B enforcement agency under the Food Act 2003 will commence on 1 July 2018. This will replace the existing appointment which commenced in 2008. The new appointment is consistent with the previous appointment of Council, however, an update to the original appointment was deemed necessary to:

1. Check relevance, as appointments were originally issued nearly a decade ago (2008).
2. Address recommendations made in the NSW Auditor-General's 2016 performance audit report Monitoring Food Safety Practices in Retail Food Businesses, to clarify council roles and responsibilities and to complete development of risk-based inspection guidelines.
3. Specifically appoint amalgamated councils.
4. Recognise and clarify councils' role in regulating the evolving retail food sector (e.g. small scale retail from domestic kitchens, farmers markets and websites marketing home made food to the public).

There are no changes to the daily activities carried out by Council officers or Council's ability to recover costs associated with food inspections. Support by the NSW Food Authority will be maintained at existing levels.

Bathurst Regional Council employs two full time Environmental Health Officers (EHO's) who spend at least 50 percent of their time on food regulation activities. There are approximately 360 registered food businesses in the Local Government area. Further, Councils EHO's inspect a large number of mobile and temporary food premises each year. For example, during the recent Bathurst 12 hour event, inspections were conducted of 27 temporary food outlets. The balance of duties includes inspections of skin penetration premises (hairdressers, beauty therapists, tattoo parlours and acupuncturists), existing onsite sewage management systems and provision of specialist technical advice on Development Applications.

The instrument of appointment has been updated to clarify the following:

- Confirm that councils must carry out retail food business inspections
- Recognise the status of the existing mandatory protocols
- Require authorised officers to maintain a current knowledge of guidelines
- Encourage councils to make authorised officers available for training and networking.

The main change is that Council is now responsible for "home based" food businesses. Previously the NSW Food Authority were the responsible entity. There are approximately 15 to 20 home based businesses listed in the Local Government Area. Environmental Health Officers currently do an initial inspection of the home based business prior to granting an approval. All current home based businesses are classified as low risk and as such council are not obliged to carry out ongoing inspections. Unless Council approves home based businesses which are classified as medium or high risk this provision should not change.

The NSW Food Authority has previously indicated ongoing training and networking of Authorised Officers was important and now this has been included in the instrument of appointment. It is hoped by encouraging more training and networking opportunities the aim of the authority is to have a more consistent approach and outcomes across all Local

Government Areas in NSW.

Financial Implications: Minimal. Council's revenue policy includes fees for inspections of food premises, including home based businesses.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 3: To protect a vibrant CBD and support and grow retail diversity. Strategy 3.2
- Objective 22: To improve community safety. Strategy 22.11
- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.8

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

19 Item 10 COUNCIL APPOINTMENT AS AN ENFORCEMENT AGENCY UNDER THE FOOD ACT 2003 (14.00002)

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED: That the report be noted.

Yours faithfully



N Southorn
DIRECTOR
ENVIRONMENTAL, PLANNING & BUILDING SERVICES

**DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT AND
MINUTES**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

1 STATEMENT OF INVESTMENTS (16.00001)

Recommendation: That the information be noted.

Report: \$86,250,000 was invested at 31 January, 2018 in accordance with Council's investment policies, the Minister's Investment Order dated 12 January 2011, the Local Government Act 1993 and associated regulations. All investments have been reconciled with Council's general ledger and are listed below:

	<u>Rating</u>	<u>Balance</u>	<u>Average Return</u>
<u>Short Term 1 – 365 Days</u> (comprising Commercial Bills, Term Deposits, Debentures and Certificates of Deposits):			
National Australia Bank Limited	A1+	\$9,000,000.00	2.54%
Bankwest	A1+	\$3,000,000.00	2.52%
CBA	A1+	\$1,500,000.00	2.54%
Bank of Queensland Limited	A2	\$17,000,000.00	2.46%
Maritime, Mining & Power Credit Union Ltd	A2	\$4,500,000.00	2.70%
People's Choice Credit Union	A2	\$6,000,000.00	2.66%
IMB	A2	\$1,500,000.00	2.61%
G & C Mutual Bank Limited	A3	\$1,500,000.00	2.67%
Auswide Bank	A3	\$3,500,000.00	2.70%
Railways Credit Union Limited	ADI	<u>\$2,000,000.00</u>	<u>2.72%</u>
		\$49,500,000.00	2.57%
<u>Long Term > 365 Days</u> (comprising Commercial Bills, Term Deposits, Debentures and Bonds):			
<u>Floating Rate Term Deposits</u>			
CBA Deposit Plus	AA-	\$1,500,000.00	2.56%
CBA Deposit Plus 1	AA-	\$1,500,000.00	2.70%
CBA Deposit Plus 2	AA-	\$1,500,000.00	2.79%
WBC Coupon Select	AA-	\$2,000,000.00	2.73%
WBC Coupon Select 1	AA-	\$3,000,000.00	3.00%
WBC Coupon Select 2	AA-	\$1,500,000.00	2.95%
Maritime Mining & Power Credit Union Ltd	ADI	<u>\$2,200,000.00</u>	<u>1.70%</u>
		\$13,200,000.00	2.63%
<u>Fixed, Negotiable & Tradeable Certificates of Deposits</u>			
Greater Bank Ltd	BBB	\$1,000,000.00	3.13%
Greater Bank Ltd	BBB	<u>\$2,000,000.00</u>	<u>3.29%</u>
		\$3,000,000.00	3.24%
<u>Floating Rate Notes</u>			
Commonwealth Bank of Aust.	AA-	\$1,000,000.00	2.70%
CBA Climate Bond	AA-	\$1,000,000.00	2.72%
Suncorp Metway	A+	\$1,000,000.00	3.05%
Rabobank	A+	\$1,000,000.00	3.25%

AMP	A	\$1,000,000.00	2.85%
AMP	A	\$800,000.00	2.86%
AMP	A	\$1,000,000.00	3.08%
Macquarie Bank	A	\$1,000,000.00	2.85%
Bank of Queensland	BBB+	\$1,000,000.00	2.76%
Bank of Queensland 1	BBB+	\$2,000,000.00	2.90%
Bank of Queensland 2	BBB+	\$1,000,000.00	2.77%
Bendigo & Adelaide Bank 2	BBB+	\$1,000,000.00	2.71%
Bendigo & Adelaide Bank 3	BBB+	\$1,000,000.00	2.82%
Members Equity 3	BBB	\$750,000.00	2.96%
Police Bank Ltd 1	BBB	\$1,000,000.00	2.85%
Police Bank Ltd 2	BBB	\$1,000,000.00	2.81%
Credit Union Australia 3	BBB	\$1,000,000.00	3.39%
Newcastle Permanent	BBB	\$1,000,000.00	3.16%
Newcastle Permanent 2	BBB	\$1,000,000.00	3.40%
Newcastle Permanent 3	BBB	\$1,000,000.00	3.44%
		\$20,550,000.00	2.96%

Total Investments **\$86,250,000.00** **2.69%**

These funds were held as follows:

Reserves Total (includes unexpended loan funds)	\$49,916,372.00
Grants held for specific purposes	\$2,773,031.00
Section 94 Funds held for specific purposes	\$32,931,328.00
Unrestricted Investments	\$629,269.00

Total Investments **\$86,250,000.00**

Total Interest Revenue to 31 January 2018 **\$1,381,241.56** **2.69%**

A Jones
Responsible Accounting Officer

Financial Implications: **Attachment 1** shows Council's year to date performance against the benchmarks contained in Council's Investment Policy. Council has outperformed each of the benchmarks required and complied with the Ministers Investment Order.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.6

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

- 20** Item 1 STATEMENT OF INVESTMENTS (16.00001)
MOVED: Cr J Rudge SECONDED: Cr B Bourke

RESOLVED: That the information be noted.

2 MONTHLY 2017/2021 DELIVERY PLAN REVIEW AND QUARTERLY REVIEW STATEMENT 2017/2018 (16.00148)

Recommendation: That the information be noted and any variations to income and expenditure be voted.

Report: Bathurst Regional Council has in place the Bathurst 2036 Community Strategic Plan which aims to inform the community about the major directions and programs Council is undertaking in shaping the future of the Bathurst Region. These directions are summarised as objectives and strategies in Part VI of the Community Strategic Plan which was adopted by Council on 20 February 2013. The Plan is available for viewing at the council offices at 158 Russell Street or can be downloaded from the Public Documents section of Council's website, www.bathurst.nsw.gov.au/council/general-information/public-documents. A listing of the Objectives and Strategies from the Bathurst 2036 Community Strategic Plan can be found within the Plan commencing from page 34.

At **attachment 1** is an update of the strategies for the 2036 Community Strategic Plan.

Clause 203(1) of the *Local Government (General) Regulation 2005* (the Regulation) requires a council's responsible accounting officer to prepare and submit a quarterly budget review statement to the governing body of council. The quarterly budget review statement must show, by reference to the estimated income and expenditure that is set out in the management plan or operational plan adopted by council for the relevant year, a revised estimate of income and expenditure for that year. It also requires the budget review statement to include a report by the responsible accounting officer as to whether or not they consider the statement indicates council to be in a satisfactory financial position (with regard to its original budget) and if not, to include recommendations for remedial action.

The Division of Local Government has now set a prescribed format for the Quarterly Budget Review Statement (QBRs). The new statement is in the same format as the requirements for the new Annual Operational Plan that replaced the Management Plan from 1 July 2012. The Report shown at **attachment 2** is in the format of a commercial Income and Expenditure Statement as per the Office of Local Government Guidelines.

The Local Government (General) Regulation 2005 has been amended by inserting clause 413A to make it the duty of the General Manager to give timely information to Councillors about any fines or penalty notices from agencies such as the Australian Taxation Office, the Roads and Maritime Services or the Environment Protection Authority, or where a court or tribunal makes a costs order against a council.

Fines or penalty notices this month - Refer to attachment 1.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.6
- Objective 29: To guide the construction and provision of new infrastructure/facilities and services and the management and upgrading of existing assets and service levels. Strategy 29.3

- Objective 33: To be and develop good leaders.

Strategy 33.5

Community Engagement

- Inform
To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

21 Item 2 MONTHLY 2017/2021 DELIVERY PLAN REVIEW AND QUARTERLY REVIEW STATEMENT 2017/2018 (16.00148)

MOVED: Cr J Rudge SECONDED: Cr W Aubin

RESOLVED: That the information be noted and any variations to income and expenditure be voted.

3 SUNDRY SECTION 356 DONATIONS, BATHURST MEMORIAL ENTERTAINMENT CENTRE COMMUNITY USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY (18.00004)

Recommendation: That the information be noted and any additional expenditure be voted.

Report: At **attachment 1** is a list of Sundry Section 356 Donations, Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies granted by Council for the period ending 31 January 2018.

Financial Implications: Council's Sundry Section 356 Donations and Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies are included in the current budget, which currently have a balance as follows:

Section 356:	\$Nil
BMEC Community use:	\$ 3,378.28
Mount Panorama:	\$25,595.63

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.6
- Objective 30: To identify the needs of the community and encourage and support communication, interaction and support within the community. Strategy 30.5

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

22 Item 3 SUNDRY SECTION 356 DONATIONS, BATHURST MEMORIAL ENTERTAINMENT CENTRE COMMUNITY USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY (18.00004)

MOVED: Cr W Aubin SECONDED: Cr J Rudge

RESOLVED: That the information be noted and any additional expenditure be voted.

4 POWER OF ATTORNEY (11.00007)

Recommendation: That the information be noted.

Report: That the General Manager's action in affixing the Power of Attorney to the following be noted.

- J Cox - 25 Fraser Drive, Eglinton - Lot 47, DP 1226661 - Transfer

Linen Plan Release

- Bathurst Regional Council - Stage 1:1 Lot release and residue of 17 Lot commercial subdivision - Lot 304, DP 1187714 - P J Moodie Drive, Raglan

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 32: To ensure Council is supported by an adequate workforce and appropriate governance procedures. Strategy 32.2

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

- 23 Item 4 POWER OF ATTORNEY (11.00007)
MOVED: Cr W Aubin SECONDED: Cr J Rudge

RESOLVED: That the information be noted.

5 REQUEST FOR FINANCIAL ASSISTANCE - CANCER COUNCIL "STARS OF BATHURST DANCE FOR CANCER" (18.00004-32/214)

Recommendation: That Council waive the ticket fee associated with ticket sales for the "Stars of Bathurst Dance for Cancer" charity event to be held on Friday, 18 May 2018, with an approximate cost of \$1,000 to be funded from BMEC Section 356 Donations.

Report: Council has received a request from Cancer Council NSW for a charity event called Stars of Bathurst Dance for Cancer. The event will be held at the Bathurst Memorial Entertainment Centre on Friday, 18 May 2018, see request at **attachment 1**.

The organisers are seeking financial assistance from Council through the waiving of ticket fees and the waiving of room hire charges.

Council previously supported this event in 2017, by covering the \$793.50 ticket fee.

Council has been advised by the organisers they expect an attendance of 300 guests and hope to again raise considerable funds for cancer research, support, prevention and advocacy. Council operates a ticketing system whereby the commission on the cost of providing the tickets ranges between \$1 and \$2 depending upon the price of the tickets.

It is recommended that Council waive the ticket fee commission associated with ticket sales as a donation to this organisation, with an approximate cost of no more than \$1,000. This donation to be funded from BMEC Section 356 donations vote.

Financial Implications: This request could be funded through Council's Section 356 Donations BMEC which currently has a balance of \$3,378.28.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 4: To market Bathurst as a great place to live, work, study, invest and play. Strategy 4.1

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

24 Item 5 REQUEST FOR FINANCIAL ASSISTANCE - CANCER COUNCIL
"STARS OF BATHURST DANCE FOR CANCER" (18.00004-32/214)
MOVED: Cr M Morse SECONDED: Cr J Jennings

RESOLVED: That Council waive the ticket fee associated with ticket sales for the "Stars of Bathurst Dance for Cancer" charity event to be held on Friday, 18 May 2018, with an approximate cost of \$1,000 to be funded from BMEC Section 356 Donations.

**6 ITEMS INCLUDED IN CONFIDENTIAL COMMITTEE OF THE WHOLE
(11.00005, 22.06911, 22.06307, 22.16073)**

Recommendation: That the information be noted.

Report: The following items have been included in the confidential section of the business paper for Council's consideration:

1 PURCHASE OF PROPERTY - WILLIAM STREET, BATHURST (22.06911)

This report relates to the possible purchase of property in 38 William Street, Bathurst.

2 PURCHASE OF PROPERTY - BENTINCK STREET, BATHURST (22.06307)

This report relates to the possible purchase of property in Bentinck Street, Bathurst.

**3 PURCHASE OF PROPERTY - LAFFING WATERS LANE, LAFFING WATERS.
(22.16073)**

This report relates to the possible purchase of property in Laffing Waters Lane, Laffing Waters.

Financial Implications: There are no financial implications resulting from this report.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 32: To ensure Council is supported by an adequate workforce and appropriate governance procedures. Strategy 32.2

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

25 Item 6 ITEMS INCLUDED IN CONFIDENTIAL COMMITTEE OF THE WHOLE
(11.00005, 22.06911, 22.06307, 22.16073)

MOVED: Cr I North SECONDED: Cr J Fry

RESOLVED: That the information be noted.

Yours faithfully

A handwritten signature in black ink, appearing to read 'A Jones', written over a large, light-colored oval shape.

A Jones
DIRECTOR
CORPORATE SERVICES & FINANCE

DIRECTOR ENGINEERING SERVICES' REPORT AND MINUTES

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

1 CSU ENGINEERING CADET PROGRAM (18.00051)

Recommendation: That the information be noted.

Report: Due to skills shortages across regional areas, Council had previously experienced difficulties attracting and retaining civil engineers with suitable qualifications and experience. To overcome this difficulty, Council implemented a successful engineering cadet program, whereby recent high school graduates were recruited and trained in-house.

The program included cadets obtaining qualifications relevant to the role via distance education, with Council agreeing to fund a three-year Bachelor of Engineering Technology degree. Council also offered the extension of this to complete a four-year Bachelor of Engineering degree. Given these studies were undertaken part-time as correspondence courses while cadets worked full-time, they resulted in six and eight year cadet programs for the relevant studies to be completed, during which time these employees would provide engineering survey, design and project management services to Council.

Since the commencement of this program in 2009, seven cadets have been enrolled in this program, with several graduating to then commence more senior roles within Council, in which they are still employed.

A key issue with training engineers in house has been the means of ensuring educational requirements are met. The requirements of long-distance study, including travel to and from campus locations as far away as Queensland for intensive courses, has made it difficult for cadets to balance work and study. For some time, Council held discussions with Charles Sturt University (CSU) regarding the establishment of an engineering faculty on campus in Bathurst, as Council regarded this as a preferable alternative to distance study.

In 2014, CSU announced that from 2016, a degree in engineering would be offered on campus. A key difference between the proposed CSU program and many engineering courses offered elsewhere was the focus on engineering industry practice for cadets during their studies. Starting from the second year of studies, cadets commence full-time employment in the industry with a number of industry partners, and continue working in the engineering field for the rest of their degree. These take the form of internships, whereby they commence as a junior cadet engineer, then progress as they grow in competency and undertake further placements over several years. Cadets are rotated through different industry partners, so that they gain wider experience within the civil engineering discipline.

Bathurst Regional Council entered into a Memorandum Of Understanding (MOU) to support the program in its initial stages, including taking a junior cadet in the first year, and an additional cadet each year for the next two years. This had the necessary impact of halting any further intake of cadets into Council's pre-existing in-house cadet program.

In 2017, Council received its first CSU cadet. This cadet has been involved in substantial survey, design and drafting work, and has continued to develop engineering skills and competencies relevant to Council's requirements. Council is now preparing to commence a second-year placement, along with an additional first-year cadet.

Given the success of this program to date, and the additional benefit to Council from the contributions of our current cadet, it is anticipated this will further improve the output of Council with respect to survey, design and project management.

Financial Implications: Nil.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 1: To attract employment, generate investment and attract new economic development opportunities. Strategy 1.9
- Objective 5: To facilitate and foster partnerships, networks and infrastructure to support and attract knowledge, innovation and research. Strategy 5.1
- Objective 26: To encourage and support the provision of a range of opportunities for life long education across the Bathurst community. Strategy 26.4

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

- 26** Item 1 CSU ENGINEERING CADET PROGRAM (18.00051)
MOVED: Cr I North SECONDED: Cr W Aubin

RESOLVED: That the information be noted.

2 WATER AND WASTE INFRASTRUCTURE AUGMENTATION UPDATE (32.00013)

Recommendation: That the information be noted.

Report: The area of Bathurst east of the Macquarie River continues to undergo significant growth with approximately 4,000 lots to be developed over the next 30 years. To date Council has had one water connection to the east of Bathurst. This dependency on one source of supply carries a significant risk in the event of catastrophic failure given the remote and inaccessible location of a significant section of the single supply east of the Macquarie River.

In order to reduce the risk and increase redundancy Council is installing a secondary supply to the eastern side of the Macquarie River. The new main will connect existing delivery mains in Durham Street to Hereford Street mains via the low level bridge. While this secondary supply will not double the volume of water supply it will provide a backup supply and provide options in the event of major water main failure.

All investigation, survey, design and construction has been undertaken by Bathurst Regional Council staff and the project is now 90% complete.

Financial Implications: The project has been funded from existing capital works budgets.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 6: To support infrastructure development necessary to enhance Bathurst's life-style and industry development. Strategy 6.3
- Objective 29: To guide the construction and provision of new infrastructure/facilities and services and the management and upgrading of existing assets and service levels. Strategy 29.8

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

27 Item 2 WATER AND WASTE INFRASTRUCTURE AUGMENTATION UPDATE
(32.00013)

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED: That the information be noted.

3 ITEM INCLUDED IN CONFIDENTIAL COMMITTEE OF THE WHOLE (11.00005 & 36.00659)

Recommendation: That the information be noted.

Report: The following item has been included in the confidential section of the business paper for Council's consideration:

1 TENDER FOR DEMOLITION OF HARGRAVES HOUSE - (36.00659)

This report considers the tender for the demolition of Hargraves House, at 20 Leena Street, Bathurst.

Financial Implications: There are no financial implications resulting from this report.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 32: To ensure Council is supported by an adequate workforce and appropriate governance procedures. Strategy 32.2

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

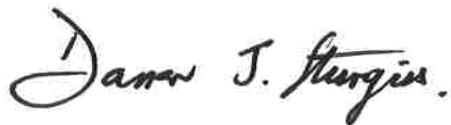
MINUTE

28 Item 3 ITEM INCLUDED IN CONFIDENTIAL COMMITTEE OF THE WHOLE
(11.00005 & 36.00659)

MOVED: Cr W Aubin SECONDED: Cr J Rudge

RESOLVED: That the information be noted.

Yours faithfully

A handwritten signature in cursive script that reads "Darren J. Sturgiss".

Darren Sturgiss
DIRECTOR
ENGINEERING SERVICES

**DIRECTOR CULTURAL & COMMUNITY SERVICES' REPORT AND
MINUTES**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

1 BATHURST REGION TOURISM REFERENCE GROUP - MEETING HELD 18 DECEMBER 2017 (07.00116)

Recommendation: That the information be noted.

Report: Included in the Destination Management Plan, adopted by Council on 20 May 2015, the establishment of a Tourism Reference Group has been undertaken, with the membership of the Group endorsed by Council on 9 December 2015.

The role of the Group is to provide strategic advice, review plans and provide recommendations to Council for the implementation of the Destination Management Plan.

The twentieth meeting of the Bathurst Region Tourism Reference Group was held on 18 December 2017. The Minutes of the Group's Meeting are provided at **attachment 1.**

Councillors should note that the Minutes of each meeting of the Tourism Reference Group are formally adopted at the next meeting. Due to Council not convening a meeting during the month of January 2018, this is the first available opportunity to present to Councillors.

At the meeting held on 18 December 2017, the group noted the following updates:

- **Campaign measurement** – Discussion regarding information on the type of metrics that would be applied to the measurement of marketing campaigns, examples given.
- **Heritage Network** - Discussion regarding the need for improved product development in the region and the availability of assistance from the Heritage Network personnel.
- **Signage** – Discussion regarding the Bathurst Signage Strategy, will be implemented after the Bathurst Region Destination Brand has been finalised in the new year.
- **50th Anniversary Abercrombie House** – 2018 will mark the 50th anniversary of Abercrombie House, commemorating it as the first private home to be open to the public. There will be appropriate events and celebrations to acknowledge this milestone.
- **Interpretive signage Kings Parade** - Discussion regarding the new signs in the bus stop and the precinct of Kings Parade and recommended all to experience these.
- **Public Art Policy Development** – Public Art Policy to be developed during March – April 2018.
- **Monthly Band Nights** – BMEC will host Friday night live music gigs on a monthly basis from February 2018. There will be a focus on local talent, with food and bar service available. The events are pitched at the 22 – 35 year old market and the inaugural gig will feature local duo Smith and Jones.
- **Artstate 2018** – Discussion regarding the Artstate 2018 (4 day arts festival) to be held in Bathurst during November 2018.

Financial Implications: Funding for this item is contained within existing budgets.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 4: To market Bathurst as a great place to live, work, study, invest and play. Strategy 4.1

- Objective 11: To protect the region's unique heritage and history. To protect a unique identity.

Strategy 11.6

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

29 Item 1 BATHURST REGION TOURISM REFERENCE GROUP - MEETING HELD
18 DECEMBER 2017 (07.00116)

MOVED: Cr J Rudge SECONDED: Cr I North

RESOLVED: That the information be noted.

2 SUMMER SCHOOL HOLIDAY ACTIVITIES (21.00039, 21.00054, 21.00060, 21.00106)

Recommendation: That the information be noted.

Report: The Australian Fossil and Mineral Museum, Bathurst Memorial Entertainment Centre, Vacation Care, Kelso Community Hub and Bathurst Regional Art Gallery are recognised as consistently offering high quality programs during school holidays.

The Council Summer School Holiday activities for 2017/2018 were well attended with over 1,200 children attending a wide variety of activities as outlined below:

There are a range of community and commercial providers, which also advertised programs this year; PCYC and the Super Summer Slam (free Christian based programs at the Showgrounds) have consistently programmed over the last few years, which adds to the diversity of school holiday activity offerings for families in Bathurst.

Other community run programs that operated during this period were:

Golf clinics -various dates and times during this period
Cricket Coaching Clinics with Shane Watson (8 to 12 January)
Enticing Icing Cake Decorating operated kid's workshops (22 to 25 January)
Stockland Shopping centre hosted kids zones activities
Bathurst City Centre - hosted several appearances of Paw Patrol (15 to 25 January)
Bunnings held various workshops and DIY sessions throughout the whole holiday period.

Australian Fossil and Mineral Museum

During January 2018 the Australian Fossil and Mineral Museum programmed *Unearthed Week*, a week of themed daily demonstrations, floortalks or activities occurring throughout the museum from 15-19 January 2018. The program themes included *Mineral Monday*, *T.rex Tuesday*, *Museum Selfie Day* on Wednesday, *Dynamic Earth Thursday* and *Fossil Friday*. Total children participating in these events (including Selfie Day) was 465.

Bathurst Memorial Entertainment Centre

BMEC January school holiday activity involved 15 young people aged 13-17 years who attended a drama/music workshop 17-20 January. This workshop program was well received by parents and young people. This workshop was run by local theatre-maker Nel Kentish & local musician, Phil McDowell. This was part of the Local Emerging Artists Program supported by Bathurst RSL Club. Further funding will be required to continue this program.

Bathurst Library

As Bathurst Library was closed during the December/January School Holiday period for refurbishment, no activities were held.

Bathurst Regional Art Gallery

BRAG programmed four workshops over four days (16 – 19 January) which coincided with the Museum Selfie Day on Wednesday 17 January. These workshops carried themes from the exhibition *James Capper: Mark Maker* and *[un]packed: works from the permanent collection*. The workshops were designed and delivered by Fiona Howle and Joyette

Swaine, BRAG's long standing presenters and Council's Audience Engagement Officer. Joyette presented *Still Life Drawing* on Tuesday 16 January for 11 children. Fiona presented *3D Robots and Wire Portrait Sculptures* on Wednesday 17 January for 15 children and Thursday 18 January respectively. Council's Audience Engagement Officer presented *DIY Drawing Machines* with help from Chris May who donated his time through his Employer's Community Service Program on Friday 19 January for 16 children.

BRAG had a booking capacity of 68 places for these workshops and filled 63 places, making a 92% occupancy rate for the program. This is a higher occupancy rate than most of the school holiday programs run by BRAG. There were no library summer holiday programs and no BRAG workshops offered during the previous school break (Sept-Oct 2017) due to changes in staff, which may explain the spike in numbers.

An outline of activities and numbers are listed in the table below:

Date	Activity	Attendance
Tuesday 16 January 2018	Still Life Drawing	11
Wednesday 17 January 2018	3D Robots	SOLD OUT 18
Thursday 18 January 2018	Wire Sculptures	SOLD OUT 18
Friday 19 January 2018	DIY Drawing machines	SOLD OUT 16

In addition to the standard school holiday program BRAG also had *make*. A children's activity exhibition space open to families over the whole school holiday period to create 3D shapes or design their own bunting flag to stick on the gallery walls. Inspired by the geometric works of Andrew Christofides from the permanent collection, this space was hugely successful, with many comments such as "It is so nice to sit here, in the cool with an activity for the kids to keep them occupied". There were 288 bunting flags produced over the 45 days the activity room was open.

Local media The Western Advocate, Bathurst City Life, 2BS Gold and B-Rock radio followed the Gallery's holiday activities and circulated stories throughout the program period. All activities were advertised on the Gallery website, Council website and social media pages.

Kelso Community Hub

Kelso Community Hub hosted a Christmas party on Monday 18 December 2017. Activities included: laser tag, gymnastics, football workshop, colour run, disco and party food including: barbecue, snacks, cakes and treats. Attendance for the event was 320.

Walk in Wednesday was held three times with 37 attending.

A Movie afternoon, including snacks, was held Monday 29 January 2018 with 9 persons attending.

A total of 361 persons attended activities held at Kelso Community Hub during the School Holiday period.

Vacation Care

The December/January Vacation Care program operated from Monday 18 December 2017 to 25 January 2018.

During this holiday period, a large range of holiday activities for children were available to families, including International Museum Selfie Day. The program averaged 18 children per day for the five week period.

The program had a focus on upcycling and engaging in our community. Upcycling day saw the Western Advocate come and feature a story in the local newspaper. The educators and children were asked to save bottles, cans and shopping bags - these items were transformed into new pencil cases, library bags and pen holders.

The program participated in International Museum Selfie day. The children visited the Australian Fossil and Mineral Museum, Chifley House and the National Motor Racing Museum. The children also enjoyed a BBQ lunch at the top of Mount Panorama (McPhillamy Park) before returning to the Lee Street facility.

The children celebrated two cultural events during the program - Australia Day - Green and Gold day; a sausage sizzle, BBQ lunch, damper and lamingtons for afternoon tea were included in the program. Chinese New Year - the year of the dog. The children made chinese lanterns, dragon spirits and fortune cookies before visiting a local chinese restaurant for lunch.

The children attended Metro Cinemas on 2 occasions and Annies Ice Cream. A range of in-house activities such as wet and wild water fun day, 3D artconstruction, making dream catchers on PJ Day and numerous sporting activities.

The service continues to support children with additional needs. The Service receives government Inclusion Support Funding to assist in the employment of an additional staff member to meet the requirements of additional needs of children and their families.

Financial Implications: Funding for this item is contained within existing budgets.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 20: To provide a range of cultural facilities, programs, activities and events and to support and enhance cultural and social activities across the community. Strategy 20.1
- Objective 26: To encourage and support the provision of a range of opportunities for life long education across the Bathurst community. Strategy 26.1

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

30 Item 2 SUMMER SCHOOL HOLIDAY ACTIVITIES (21.00039, 21.00054, 21.00060, 21.00106)

MOVED: Cr B Bourke SECONDED: Cr W Aubin

RESOLVED: That the information be noted.

3 MUSEUMS - INTERNATIONAL MUSEUM SELFIE DAY, WEDNESDAY 17 JANUARY 2018 (21.00107, 21.00050, 21.00112)

Recommendation: That the information be noted.

Report: Bathurst Regional Council's Museums took part in International Museum Selfie Day, for the second time on Wednesday 17 January 2018. With 1,800 individual museum visits occurring on the day, the event achieved an 80% increase over last year's visitation.

Selfie Day was established in 2014 to raise awareness of and to encourage visitors to actively engage in their local museums by taking creative selfies and posting them on various social media platforms including Facebook, Instagram and Snapchat.

Free entry was provided to the Australian Fossil and Mineral Museum, National Motor Racing Museum, Chifley Home and Education Centre and the Bathurst and District Historical Society Museum for those participating in International Museum Selfie Day. This year, the Bathurst Regional Art Gallery also participated in the public program for the first time. A social media campaign was developed that included a short film and static ads to promote the event. The total reach of this campaign was over 30,000, with 32 shares of the promotional video on social media.

The Bathurst community embraced the event with 72% of those surveyed stating that they visited more than one museum on the day. As a public awareness campaign it was effective in cross-promoting the strength of the Bathurst cultural services.

Attendance at the Museums

Venue	Museum Selfie Day 2018	Museum Selfie Day 2017
Australian Fossil and Mineral Museum	708	500
National Motor Racing Museum	677	319
Chifley Home	122	150
Bathurst District Historical Society	148	N/A
Bathurst Regional Art Gallery	138	N/A

The event was held to encourage local residents to engage with Bathurst Regional Council's Museums and encourage repeat visitation. Traditionally, the youth demographic have the lowest Museum attendance percentage, and this program was designed to target this group. A survey of 319 individuals was conducted at each of the venues to evaluate the success of the day based on these goals.

Findings included:

- The survey data indicated that the number attending from the 13 to 18 demographic was 10% and the 19 to 30 demographic was 21%, which was a similar outcome to 2017 Selfie Day visitation. Average visitor age range from surveys conducted during other times of the year reflected 4% and 13% respectively.
- 72% of individuals that attended on the day were locals compared to 3% - 15% local average attendance across the Museums. The local visitation at Chifley Home was over 90%.
- 59% of individuals that attended had never been to the Museums before. This statistic was as high as 87% first time visitors for Chifley Home and 75% for the

Historical Society Museum.

- 94% of visitors responded that they were there for International Museum Selfie Day, and over 90% indicated they did not attend the event before.
- Individuals found out about the day through social media (45%), Internet (7%) word of mouth (15%), from other Museums and BVIC (6%), newspaper/radio/TV(19%) and signage (8%)
- Retail income on Selfie Day 2018 at both the National Motor Racing Museum and the Australian Fossil and Mineral Museum was more than 100% higher than the previous year.

Visitor comment:

Thank you so much we had such a fun day and really enjoyed seeing the museums. We were visiting relatives. We have a house in Bathurst and are planning to come back to live in September which we are really looking forward to. We look forward to coming back to Bathurst and being part of such a great community.

Conclusions drawn from the survey, comments on the day as well as social media posts demonstrated the success in engaging the local community with the museums. Locals were enthusiastic about the cultural services on offer in Bathurst. It is hoped that through this and similar events into the future that there will be an increase in visitor numbers across the museums through the visiting friends and relative (VFR) market.

Statistics compiled for International Museums Selfie Day are provided at **attachment 1.**

Financial Implications: Funding for this item is contained within existing budgets.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 20: To provide a range of cultural facilities, programs, activities and events and to support and enhance cultural and social activities across the community. Strategy 20.1, 20.2
- Objective 4: To market Bathurst as a great place to live, work, study, invest and play. Strategy 4.1

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

31 Item 3 MUSEUMS - INTERNATIONAL MUSEUM SELFIE DAY, WEDNESDAY 17 JANUARY 2018 (21.00107, 21.00050, 21.00112)

MOVED: Cr B Bourke SECONDED: Cr A Christian

RESOLVED: That the information be noted.

4 THE END FESTIVAL 2018, HILL END - REQUEST FOR FINANCIAL SUPPORT (23.00026)

Recommendation: That Council provide \$10,000 contribution towards The End Festival 2018, to be funded from Council's advertising and promotions budget.

Report: Council has received a proposal from the Office of Environment & Heritage, NSW, National Parks and Wildlife Service (NPWS) for financial support of The End Festival 2018 to be staged at Hill End Historic Site from 20 – 22 April 2018. This event promotes Hill End as a festival destination within the Bathurst Local Government Area (LGA). Correspondence from NPWS, including the 2018 Partnership Proposal is provided at **attachment 1**.

In 2017 Council provided \$5,000 in financial support and additional media support. NPWS propose that a financial contribution, in 2018 from Council, of \$10,000. The increase recognises the growth and success of the festival in its first two years. The \$10,000 from Council will pay for local art installation, increased prizes for the talent quest and fees for local musicians. In essence the program content and marketing reach forms the basis of the partnership in 2018.

The additional funds that Council would contribute will pay for additional programming and marketing reach to extend what can be achieved with the current NPWS allocated budget. The more content that is included, the more marketable the event is and the more visitors it will attract to the region.

This contribution will fund the following program content from individuals or groups from the Bathurst LGA:

- Installation or site-specific artwork from local artists.
- Sponsoring prizes in the 'Digging for Gold' talent quest.
- Fee payment to local musicians on the outdoor stage.

Marketing support would include using Council owned media and community networks to promote the event as well as paid advertising. This may include:

- Promoted Facebook posts
- Advertising in local print and television networks.

2017 End Festival Results

NPWS results show that the 2017 event resulted in expenditure between \$1.2million and \$2.4million (refer 2018 Partnership Proposal). A survey was conducted with 150 respondents, during and post event, to evaluate customer satisfaction and establish a profile of the visitors to the event. The results give a clear indicator of the economic benefits that the two-night, two-day event brings for Hill End and for the wider Central West region.

Survey Results

Visitation:

- 37% of visitors from Sydney
- 22% first visit to Hill End.
- 57% indicated it was the main reason for their visit to the Central West.

Spend and stay in region:

Estimated 13,000 nights spent in Central West region.

- 17% spent 1 night in the area.
- 35% spent 2 nights in the area.
- 17% spent 3 nights in the area.
- 20% spent 5 nights or more.
- Spend in region could have generated up to \$2.5 million (based on National Visitor Survey method)

The 2017 event attracted over 6,000 people to the village over the weekend and was deemed a highly successful event. This is an increase of 1,000 people (20%) on the 2016 event. Such increased visitation and exposure brings significant economic and promotional benefits to the region.

A summary of The End Festival in 2017 is provided at **attachment 2** (Director Cultural & Community Services report #4 to Council 16 July 2017).

Financial Implications: The \$10,000 contribution can be funded from Council's advertising and promotions budget.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 23: To encourage a supportive and inclusive community. Strategy 23.3
- Objective 30: To identify the needs of the community and encourage and support communication, interaction and support within the community. Strategy 30.2

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

32 Item 4 THE END FESTIVAL 2018, HILL END - REQUEST FOR FINANCIAL SUPPORT (23.00026)

MOVED: Cr M Morse SECONDED: Cr B Bourke

RESOLVED: That Council provide \$10,000 contribution towards The End Festival 2018, to be funded from Council's advertising and promotions budget.

Yours faithfully



Alan Cattermole
DIRECTOR
CULTURAL & COMMUNITY SERVICES

TRAFFIC COMMITTEE MEETING

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

1 MINUTES - TRAFFIC COMMITTEE MEETING - 6 FEBRUARY 2018 (07.00006)

Recommendation: That the recommendations of the Traffic Committee Meeting held on 6 February 2018 be adopted.

Report: The Minutes of the Traffic Committee Meeting held on 6 February 2018, are **attached.**

Financial Implications: N/A

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 28: To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets. Strategy 28.5

Community Engagement

- Inform To provide the public with balanced and objective information to help them understand the problem, alternatives opportunities and/or solutions.

MINUTE

33 Item 1 MINUTES - TRAFFIC COMMITTEE MEETING - 6 FEBRUARY 2018
(07.00006)

MOVED: Cr W Aubin SECONDED: Cr I North

RESOLVED: That the recommendations of the Traffic Committee Meeting held on 6 February 2018 be adopted.

MINUTES OF THE TRAFFIC COMMITTEE
HELD ON 6 FEBRUARY 2018

MEETING COMMENCES

1 MEETING COMMENCES 2:00 PM

Members: Sergeant Peter Foran (Bathurst Police), Ms Jackie Barry (Roads and Maritime Services Representative), Mr David Veness (MP Representative)

Present: Mr Bernard Drum (Manager Technical Services), Mr Myles Lawrence (Civil Design & Project Engineer), Mr Paul Kendrick (Traffic and Design Engineer), Mr Mark Fenlon (Regulatory Services BRC) and Elish Pankhurst (RMS).

APOLOGIES

2 APOLOGIES

That the apology of Councillor Warren Aubin (Bathurst Regional Council) be accepted.

REPORT OF PREVIOUS MEETING

3 Item 1 MINUTES - TRAFFIC COMMITTEE MEETING - 5 DECEMBER 2017 (07.00006)

RESOLVED: That the Minutes of the Traffic Committee Meeting held on 5 December 2017 be adopted.

DECLARATION OF INTEREST

4 DECLARATION OF INTEREST 11.00002

That the Declaration of Interest be noted.

RECEIVE AND DEAL WITH DIRECTORS' REPORTS

Director Engineering Services' Report

5 Item 1 MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD 5 DECEMBER 2017 (07.00006)

That the information be noted and necessary actions be taken.

6 Item 2 TEMPORARY BUS ZONES FOR THE 2018 LIQUI-MOLY 12 HOUR (28.00022-02)

That Council approve proposed temporary bus zones and extension of existing bus zone times for the 2018 Liqui-Moly 12 Hour, subject to conditions as detailed in the Director Engineering Services' report.

7 Item 3 ONE-WAY SIGNAGE IN BARKLY STREET SOFALA (25.00571)

That Council remove 'One-Way' Signage in Barkly Street, Sofala.

8 Item 4 BATHURST HALF MARATHON EVENT 2018 (23.00110)

That Council classify the Bathurst Half Marathon and 10 km Run to be staged on Sunday 29 April 2018 as a Class 2 event, and approve the traffic management for the event subject to conditions detailed in the Director Engineering Services' report.

9 Item 5 THE 2018 ROYAL BATHURST SHOW (18.00108)

That Council endorse the Traffic Management Plan for the 2018 Royal Bathurst Show to be held Friday 13 April to Sunday 15 April 2018. The event is to be classified as a Class 1 event and approved subject to the conditions detailed in the Director Engineering Services' report.

TRAFFIC REGISTER

10 Item 1 TRAFFIC REGISTER (07.00006)

That the information be noted.

MEETING CLOSE

11 MEETING CLOSE

The Meeting closed at 2.41pm.

MINUTE

34 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS

MOVED: Cr W Aubin SECONDED: Cr J Fry

The Mayor invited members of the public to make submissions on whether the matter should or should not be dealt with in Confidential Committee.

M Nicholls, Western Advocate - asked about the detail on the three Director Corporate Services & Finance's reports relating to the purchase of property.

RESOLVED: That:

- (a) Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.
- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

*** DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT**

ITEM	SUBJECT	REASON FOR CONFIDENTIALITY
1	PURCHASE OF PROPERTY - WILLIAM STREET, BATHURST	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
2	PURCHASE OF PROPERTY - BENTINCK STREET, BATHURST	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
3	PURCHASE OF PROPERTY - LAFFING WATERS LANE, LAFFING WATERS.	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

*** DIRECTOR ENGINEERING SERVICES' REPORT**

ITEM	SUBJECT	REASON FOR CONFIDENTIALITY
1	TENDER FOR DEMOLITION OF	10A (2) (d) (i) – contains commercial information of a confidential nature that would, if disclosed, prejudice the

	HARGRAVES HOUSE	commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.
--	--------------------	---

**DIRECTOR CORPORATE SERVICES & FINANCE'S CONFIDENTIAL
MINUTES**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

MINUTE

(a) Item 1 PURCHASE OF PROPERTY - WILLIAM STREET, BATHURST
(22.06911)

MOVED: Cr B Bourke SECONDED: Cr I North

That Council purchase the property in William Street as detailed in the report.

MINUTE

**(b) Item 2 PURCHASE OF PROPERTY - BENTINCK STREET, BATHURST
(22.06307)**

MOVED: Cr A Christian SECONDED: Cr W Aubin

That Council purchase the property in Bentinck Street as detailed in the report.

MINUTE

(c) Item 3 PURCHASE OF PROPERTY - LAFFING WATERS LANE, LAFFING WATERS. (22.16073)

MOVED: Cr W Aubin SECONDED: Cr I North

That Council purchase the property in Laffing Waters Lane, Laffing Waters as detailed in the report.

DIRECTOR ENGINEERING SERVICES' CONFIDENTIAL MINUTES

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

MINUTE

(d) Item 1 TENDER FOR DEMOLITION OF HARGRAVES HOUSE
(36.00659)

MOVED: Cr W Aubin SECONDED: Cr I North

That Council accept the tender from Connor Earthmoving in the amount of \$196,115.00 (incl. GST) subject to provisional items and variations.

MINUTE

35 **RESOLVE INTO OPEN COUNCIL**
MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED: That Council resume Open Council.

MINUTE

36 ADOPT REPORT OF THE COMMITTEE OF THE WHOLE
MOVED: Cr M Morse SECONDED: Cr I North

RESOLVED: That the Report of the Committee of the Whole, Items (a) to (d) be adopted.

MINUTE

37 MEETING CLOSE

The Meeting closed at 8.12 pm.

CHAIRMAN: _____

**DIRECTOR ENVIRONMENTAL PLANNING & BUILDING SERVICES'
REPORT - ATTACHMENTS**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

Printed: 5/02/2018 10:52:38AM

Type	Year	No.	Value	Description	Address	Date Determined
10	2017	456	\$203,000	Dual occupancy (second dwelling) and two lot residential subdivision	Golsby St WEST BATHURST	4/01/2018
10	2017	453	\$1,500,000	Commercial premises	Princes St BATHURST	17/01/2018
10	2017	454	\$130,000	Dual Occupancy (2nd dwelling) boundary adjustment and tree removal	Browning St BATHURST	29/01/2018
10	2017	479	\$35,000	Demolition and construction of internal alterations to a commercial bu	Russell St BATHURST	22/01/2018
10	2017	483	\$9,950	Carport	Elm PI KELSO	31/01/2018
10	2017	278	\$19,761	Carport	James Barnet Dr KELSO	3/01/2018
18	2018	9	\$24,000	Inground swimming pool	Marriott Ave KELSO	30/01/2018
10	2017	65	\$85,000	MOD - Pavillion for memorabilia	College Rd SOUTH BATHURST	17/01/2018
10	2017	476	\$150,000	Two storey dwelling addition	Minna PI SOUTH BATHURST	18/01/2018
10	2017	481	\$235,000	Alterations and additions to industrial building and use of EGG	Vale Rd SOUTH BATHURST	12/01/2018
10	2017	466	\$3,875	Patio cover	Red Gum PI WINDRADYNE	25/01/2018
10	2017	442	\$440,000	Warehouse and retaining walls	Lombard Dr ROBIN HILL	10/01/2018
10	2017	470	\$2,500	Construction of a radio mast	Stewart St MITCHELL	12/01/2018
10	2018	8	\$12,000	Brick front fence	Blue Ridge Dr WHITE ROCK	31/01/2018
10	2017	458	\$20,000	Transportable office building	PJ Moodie Dr RAGLAN	2/01/2018
10	2017	447	\$536,000	Single storey dwelling with attached garage and second rural dwelling	Stewart St EVANS PLAINS	3/01/2018
10	2017	471	\$213,795	Single storey transporable dwelling and tree removal	Sofala Rd PEEL	11/01/2018
10	2015	206	\$0	MOD - 36 lot subdivision and new roads incorprating one allotment pur	Glazebrooks Rd THE LAGOON	10/01/2018
10	2017	478	\$343,000	Additions to a dwelling	Diamond Swamp Rd MEADOW FLAT	19/01/2018
10	2017	370	\$110,000	Use of existing dwelling and detached habitable room	Root Hog Rd GOWAN	8/01/2018
10	2018	2	\$200,000	Advertising signage and definition of operating hours	Suttor St WINDRADYNE	18/01/2018
10	2017	477	\$18,825	Shed	Westbourne Dr LLANARTH	11/01/2018
18	2018	3	\$335,900	Single storey dwelling with attached garage	Evernden Rd LLANARTH	12/01/2018
10	2017	123	\$27,707	MOD - Garage and retaining walls	Evernden Rd LLANARTH	11/01/2018
10	2018	9	\$0	Use of existing roof top solar system (100kw)	Rankin St BATHURST	25/01/2018
10	2017	468	\$55,419	Installation of roof top solar array	Mitre St BATHURST	29/01/2018
10	2017	463	\$415,000	Single storey dwelling with attached garage	Tarana Rd BREWONGLE	24/01/2018
10	2017	480	\$1,184,671	Five industrial units, signage, carparking and landscaping	Watt Dr ROBIN HILL	22/01/2018
18	2018	8	\$312,253	Single storey dwelling with attached garage	Saltram Cct EGLINTON	30/01/2018
10	2016	44	\$540,000	MOD - Dual occupancy and two lot residential subdivision	Twynam Ave WINDRADYNE	3/01/2018
10	2017	307	\$35,000	Earthworks - filling	Stockland Dr KELSO	3/01/2018
18	2018	1	\$20,000	In ground swimming pool and safety barrier	Coates Dr KELSO	9/01/2018
10	2015	206	\$0	MOD - 36 lot subdivision and new roads incorprating one allotment pur	George Thomas Cl THE LAGOON	10/01/2018
10	2017	482	\$500,000	Indoor recreation facility (gym)	Gilmour St KELSO	25/01/2018
10	2017	424	\$483,000	Dual occupancy, retaining walls	Parer Rd ABERCROMBIE	10/01/2018
10	2017	427	\$476,000	Dual Occupancy	Gell PI ABERCROMBIE	4/01/2018
18	2018	5	\$391,000	Single storey dwelling with attached garage	Copeman Ct ABERCROMBIE	16/01/2018
18	2018	2	\$293,265	Single storey dwelling with attached garage	Lew Ave EGLINTON	12/01/2018
18	2018	7	\$356,300	Single storey dwelling with attached garage	Lew Ave EGLINTON	24/01/2018
10	2017	370	\$110,000	Use of existing dwelling and detached habitable room	Root Hog Rd GOWAN	8/01/2018
10	2017	472	\$540,000	Dual occupancy, retaining walls, two lot subdivision	Poole St EGLINTON	10/01/2018

Printed: 5/02/2018 10:53:46AM

Type	Year	No.	Value	Description	Address	Date Determined
------	------	-----	-------	-------------	---------	-----------------

NI



Printed: 5/02/2018 10:53:58AM

Type	Year	No.	Value	Description	Address
10	2015	426	\$1,500,000	Resource recovery centre	Ophir Rd STEWARTS MOUNT
10	2016	184	\$1,500,000	Additions and alteration to Railway Institute building	Havannah St BATHURST
10	2015	196	\$450,000	Recreation facility - Go Kart track	Brocks Skyline MOUNT PANORAMA
10	2016	277	\$23,300	Shed	Hassall Gr KELSO
10	2016	329	\$0	Resource Recovery Facility	Gormans Hill Rd GORMANS HILL
10	2017	190	\$60,000	Construction of two industrial storage sheds	Vale Rd SOUTH BATHURST
10	2017	192	\$0	Commercial premises, consolidate 5 lots to 1 lot and 6 lot strata sub	Rankin St BATHURST
10	2017	214	\$75,000	Internal office addition to existing hangar	PJ Moodie Dr RAGLAN
10	2017	221	\$323,500	Dual occupancy, retaining walls and two lot residential subdivision	Poate St WINDRADYNE
10	2017	314	\$200,000	Partial demolition, alterations and two storey addition to dwelling	Mitre St BATHURST
10	2017	359	\$4,650,157	Ambulance Station	Commonwealth St WEST BATHURST
10	2017	368	\$8,000	Conversion of two existing units to one single dwelling	Russell St BATHURST
10	2017	394	\$841,000	Animal breeding facility	Rockley Rd FOSTERS VALLEY
10	2017	396	\$0	221 lot Residential, 1 Open Space, 1 Unserviced Lot, 1 Residual Lot Su	Freemantle Rd EGLINTON
10	2017	403	\$0	Partial change of use from residential to office premises	Russell St BATHURST
10	2017	405	\$18,000	Shed	Station St BREWONGLE
18	2017	203	\$45,970	In ground swimming pool and safety barrier	Meehan St WINDRADYNE
18	2017	204	\$40,390	Swimming Pool	Hartwood Ave ROBIN HILL
18	2017	206	\$64,520	Swimming Pool & Safety Barrier	Conrod Stgt MOUNT PANORAMA
10	2017	410	\$0	Use of site as transport terminal	Ceramic Ave RAGLAN
10	2016	441	\$432,000	Modification - Separate Dwelling - Additions	PJ Moodie Dr RAGLAN
10	2017	422	\$0	Commercial - Use of Existing Premises for health consulting rooms	Bentinck St BATHURST
10	2017	428	\$0	Use of existing garage to habitable space	Jagoe Dr KELSO
18	2017	224	\$265,000	Single storey dwelling with attached garage	Lew Ave EGLINTON
10	2017	439	\$436,700	Two storey rural dwelling with attached garage	Peregrine Rd BILLYWILLINGA
10	2017	440	\$975,000	Construction of 4 warehouses, retaining walls and two lot subdivision	Corporation Ave ROBIN HILL
10	2017	444	\$0	Three lot rural subdivision	Box Ridge Rd TURONDALE
10	2017	445	\$654,508	Three x two bedroom units, four lot residential subdivision & tree rem	Havannah St SOUTH BATHURST
10	2017	446	\$60,000	Swimming pool	Leo Grant Dr KELSO
10	2017	448	\$1,200,000	5 x self contained units	Vine St SOUTH BATHURST
18	2017	230	\$15,976	Additions to rural dwelling	Longridge Rd BILLYWILLINGA
10	2017	451	\$0	Three lot rural subdivision (boundary adjustment)	Sofala Rd PEEL
10	2017	452	\$40,000	Garage	Carrol Ave EGLINTON
10	2017	455	\$5,000	Additions to dwelling	Gormans Hill Rd GORMANS HILL
10	2017	459	\$750,000	Transportable building - new office	College Rd SOUTH BATHURST
10	2009	148	\$314,176	Separate Dwelling - Additions and Swimming Pool and Other - Residentia	Eglinton Rd LLANARTH
10	2017	464	\$380,000	Single storey dwelling with attached garage	Tarana Rd BREWONGLE
10	2017	465	\$240,000	Single storey dwelling with attached garage	Tarana Rd BREWONGLE
10	2017	474	\$250,000	Two storey additions and alterations to existing dwelling	Patna St WEST BATHURST
10	2017	475	\$2,000	Internal alterations to existing dwelling	Rocket St BATHURST
18	2017	247	\$400,615	Single storey dwelling with attached garage	Gell PI ABERCROMBIE
10	2016	50	\$500,000	Dual occupancy and two lot residential subdivision	Twynam Ave WINDRADYNE
10	2017	484	\$430,000	3 storey dwelling, swimming pool with safety barrier, retaining walls,	Governors Pde WINDRADYNE
10	2017	485	\$430,000	Demolish existing dwelling, construct dual occupancy, 2 lot subdivisio	Stanley St BATHURST
10	2017	486	\$60,000	Rural Outbuilding - Horse Complex	Sofala Rd LAFFING WATERS
10	2017	487	\$0	Three lot rural subdivision - consolidation of five lots to three lots	Mitchell Hwy THE ROCKS
10	2018	1	\$417,370	Single storey dwelling with attached garage	Red Hill Rd PALING YARDS
10	2018	3	\$4,600	Alterations to existing dwelling	Yetholme Dr YETHOLME
10	2018	4	\$0	Use of three existing commercial signs	Keppel St BATHURST
10	2018	5	\$5,000	Partial change of use to takeaway food premises	Russell St BATHURST
10	2018	6	\$36,066	Storage shed	Hartwood Ave ROBIN HILL
10	2016	131	\$2,000,000	1. Additions and alterations to existing function centre and change of	Peel St BATHURST
10	2018	7	\$10,500	Shed	Fraser Dr EGLINTON

Printed: 5/02/2018 10:53:58AM

Type	Year	No.	Value	Description	Address
10	2018	10	\$4,000	Change of use of part of existing building to food and drink premises	William St BATHURST
10	2018	11	\$10,000	Change of use and alterations and additions to commercial premises	George St BATHURST
10	2018	12	\$8,970	Carport	Diamond CI KELSO
10	2018	13	\$887,008	Construction of one warehouse and one vehicle body repair workshop	Watt Dr ROBIN HILL
10	2018	14	\$7,500	Alterations to patio to convert to habitable room	Limekilns Rd CLEAR CREEK
10	2018	15	\$8,300	Carport	Queen St PERTHVILLE
10	2018	16	\$19,650	Installation of 16.2Kw roof top solar system	Bant St BATHURST
10	2018	17	\$510,000	Dual occupancy and two lot residential subdivision	Lew Ave EGLINTON
10	2018	18	\$50,000	Site civil works including retaining walls	Gell PI ABERCROMBIE
10	2018	19	\$35,000	Inground swimming pool and safety barrier	Fleming Dr LAFFING WATERS
10	2018	20	\$155,000	Additions and alterations to existing dwelling	Great Western Hwy GLANMIRE
10	2018	21	\$0	9 lot community title subdivision & concept application for mixed use	Limekilns Rd FOREST GROVE
10	2018	22	\$4,000	Retaining Wall	Gell PI ABERCROMBIE
10	2018	23	\$100,000	Additions and alterations to existing dwelling	Tarana Rd LOCKSLEY
10	2018	24	\$760,000	Demolition of existing dwelling, five x 2 bedroom units, 5 lot strata	Stewart St BATHURST
10	2014	356	\$29,028	Construction of freestanding addition to dwelling	Blandford St BATHURST
10	2018	25	\$480,300	Single storey dwelling with attached garage	Tarana Rd BREWONGLE
10	2017	91	\$310,000	MOD -Single storey dwelling with attached garage & separate rural shed	Church St PEEL
10	2018	26	\$31,000	Construction of shed for use as a temporary dwelling	Neville - Trunkey Rd COLO
18	2018	10	\$32,470	Inground Swimming Pool	Bathampton Rd WIMBLEDON
10	2016	342	\$19,500	MOD - Construction of alterations to existing dwelling	Lorimer St LLANARTH
10	2018	27	\$3,602	Construction of carport	Bassett Dr WEST BATHURST
18	2017	114	\$288,400	Separate Dwelling - New	Ignatius PI KELSO
10	2018	28	\$552,668	Dual Occupancy and two lot residential subdivision	Fraser Dr EGLINTON
10	2018	29	\$2,588,000	Industrial warehouse and separate offices	Hampden Park Rd KELSO

Applications Over 40 Days

App Typ	Year	No	Description	Address	Application Date	Days Open	Stop Days	Reason
10	2009	148	Separate Dwelling - Additions and Swimming Pool and Other -	Eglinton Rd LLANARTH	1/12/2017	67		Waiting on Heritage Office comments
10	2015	196	Recreation facility - Go Kart track	Boundary Rd MOUNT PANORAMA	30/06/2016	586		Waiting on additional information
10	2015	426	Resource recovery centre	Ophir Rd STEWARTS MOUNT	2/12/2015	797	726	JRPP for determination on 22 February 2018
10	2016	184	Additions and alteration to Railway Institute building	Havannah St BATHURST	9/06/2016	607	68	Under assessment
10	2016	277	Shed	Hassall Gr KELSO	10/08/2016	545	521	Waiting on amended plans
10	2016	329	Resource Recovery Facility	Gormans Hill Rd GORMANS HILL	8/09/2016	516		Under assessment
10	2016	441	Modification - Separate Dwelling - Additions	PJ Moodie Dr RAGLAN	27/10/2017	102		Under assessment
10	2017	190	Construction of two industrial storage sheds	Vale Rd SOUTH BATHURST	30/05/2017	252	245	Additional information letter sent
10	2017	192	Commercial premises, consolidate 5 lots to 1 lot and 6	Rankin St BATHURST	31/05/2017	251		Awaiting amended plans
10	2017	214	Internal office addition to existing hangar	PJ Moodie Dr RAGLAN	16/06/2017	235	189	Additional information requested
10	2017	221	Dual occupancy, retaining walls and two lot residential	Poate St WINDRADYNE	20/06/2017	231	207	Redesign requested for better urban design
10	2017	314	Partial demolition, alterations and two storey addition to	Mitre St BATHURST	23/08/2017	167		Under assessment
10	2017	359	Ambulance Station	Commonwealth St WEST BATHURST	25/09/2017	134		Conditions being negotiated
10	2017	394	Animal breeding facility	Rockley Rd FOSTERS VALLEY	16/10/2017	113		Council meeting 21 February 2018
10	2017	396	221 lot Residential subdivision	Freemantle Rd EGLINTON	16/10/2017	113	76	Under assessment
10	2017	403	Partial change of use from residential to office premises	Russell St BATHURST	19/10/2017	110		Site visit required - waiting on applicant
10	2017	410	Use of site as transport terminal	Ceramic Ave RAGLAN	26/10/2017	103	15	Council meeting 21 February 2018
10	2017	422	Commercial - Use of Existing Premises for health consulting	Bentinck St BATHURST	3/11/2017	95		Waiting on amended plans
10	2017	428	Use of existing garage to habitable space	Jagoe Dr KELSO	8/11/2017	90		Waiting on additional information
10	2017	440	Construction of 4 warehouses, retaining walls and two lot	Corporation Ave ROBIN HILL	14/11/2017	84	64	Additional information letter sent
10	2017	444	Three lot rural subdivision	Box Ridge Rd TURONDALE	17/11/2017	81		RFS requested additional information
10	2017	445	Three x two bedroom units, four lot residential subdivision & tree	Havannah St SOUTH BATHURST	17/11/2017	81		Council meeting 21 February 2018
10	2017	448	5 x self contained units	Vine St SOUTH BATHURST	21/11/2017	77	69	Requested additional information on plans
10	2017	451	Three lot rural subdivision (boundary adjustment)	Sofala Rd PEEL	23/11/2017	75		Waiting on RMS comment
10	2017	455	Additions to dwelling	Gormans Hill Rd GORMANS HILL	27/11/2017	71	47	Additional information requested
10	2017	459	Transportable building - new office	College Rd SOUTH BATHURST	29/11/2017	69		Waiting on owners consent
10	2017	474	Two storey additions and alterations to existing dwelling	Patna St WEST BATHURST	11/12/2017	57		Waiting on amended plans
10	2017	475	Internal alterations to existing dwelling	Rocket St BATHURST	11/12/2017	57		Additional plans requested
10	2017	484	3 storey dwelling, swimming pool with safety barrier, retaining	Governors Pde WINDRADYNE	22/12/2017	46		Council meeting 21 February 2018
10	2017	485	Demolish existing dwelling, construct dual occupancy, 2 lot	Stanley St BATHURST	22/12/2017	46		Under assessment
10	2017	486	Rural Outbuilding - Horse Complex	Sofala Rd LAFFING WATERS	22/12/2017	46	34	Amended site plan required
10	2017	487	Three lot rural subdivision - consolidation of five lots to three	Mitchell Hwy THE ROCKS	22/12/2017	46		Waiting on RMS & RFS comments

DA's Approved Under SEPP 1



LIVE

1/01/2017 - 31/01/2017

Year	No. Lot DP	Address	Category	Environmental Planning Instrument	Zoning Of Land	Development Standard To Be Varied	Justification Of Variation	Extent Of Variation	Concurring Authority	Date Determined
						NIL				



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: DwyerD
Date: 1/02/2018
Projection: GDA94 / MGA zone 55
Map Scale: 1:1081 @ A4

DA 2017/484



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



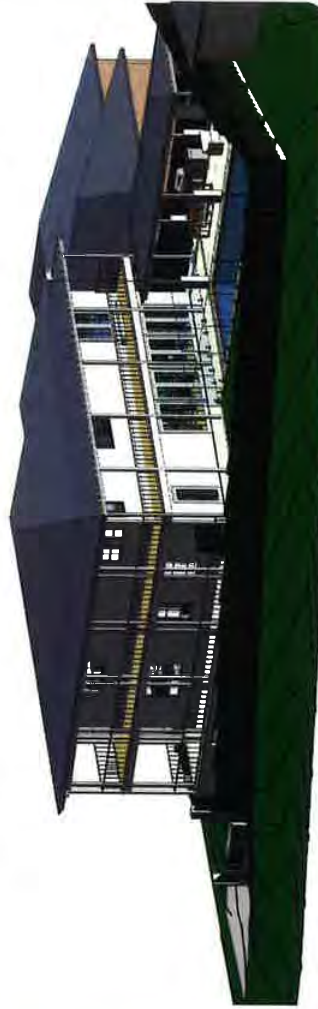
Drawn By: DwyerD
 Date: 1/02/2018
 Projection: GDA94 / MGA zone 55
 Map Scale: 1:1081 @ A4

DA 2017/484

LOT 1124 DP 1215618 40 Governors Pde Windradyne

Drawing List

Sheet Number	REV	Sheet Name	Sheet Issue Date
A301	R24	Cover Page	21/12/2017
A302	R24	Site Plan	21/12/2017
A304	R24	Garage Floor Plan	21/12/2017
A305	R24	Ground Floor Plan	21/12/2017
A306	R24	First Floor Plan	21/12/2017
A307	R24	Elevations	21/12/2017
A310	R24	Sections 11 to 66	21/12/2017
A311	R24	Sections 77 to AA	21/12/2017
A312	R24	Sections BB to CC	21/12/2017
A313	R24	Sections DD to EE	21/12/2017
A314	R24	Existing versus Proposed levels	21/12/2017
A315	R24	Building Envelope	21/12/2017
A316	R24	Existing Contours	21/12/2017
A330	R24	Retaining Wall Location	21/12/2017
A335	R24	Shadow Diagram 9-11am	21/12/2017
A336	R24	Shadow Diagrams 12 - 3pm	21/12/2017
A337	R24	Pergola	21/12/2017
A340	R24	Landscape Plan	21/12/2017
A341	R24	Existing Contours and Services	21/12/2017
A342	R24	Proposed Contour Plan	21/12/2017
A351	R24	Specification and Schedules	21/12/2017



No.	Description	Date
R24	Council DA Submission	

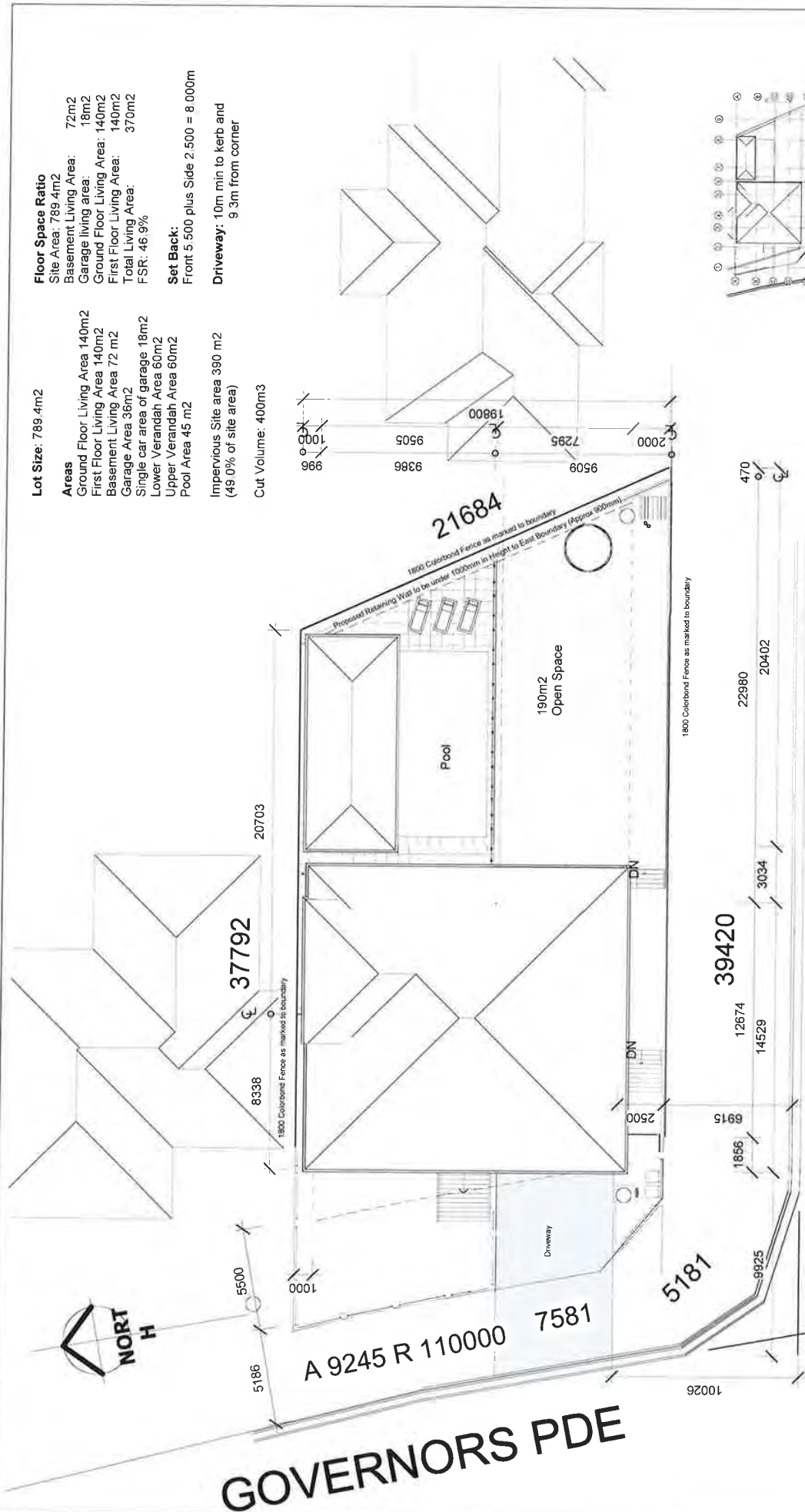


Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 ABN 44 624 632 625
 Builders Licence 295320C
www.regionalconstructions.com.au

Regional Constructions Pty Ltd
 Lot 1124 40 Governors Pde Windradyne
 DA

Cover Page

Project number	2017.01
Date	01/07/2017
Drawn by	TM
Checked by	MM
Scale	



Lot Size: 789.4m²

Areas

- Ground Floor Living Area 140m²
- First Floor Living Area 140m²
- Basement Living Area 72 m²
- Garage Area 36m²
- Single car area of garage 18m²
- Lower Verandah Area 60m²
- Upper Verandah Area 60m²
- Pool Area 45 m²

Floor Space Ratio

- Site Area: 789.4m²
- Basement Living Area: 72m²
- Garage living area: 18m²
- Ground Floor Living Area: 140m²
- First Floor Living Area: 140m²
- Total Living Area: 370m²
- FSR: 46.9%

Set Back:

- Front 5.500 plus Side 2.500 = 8.000m
- Driveway: 10m min to kerb and 9.3m from corner

Impervious Site area 390 m²
(49.0% of site area)


Cut Volume: 400m³

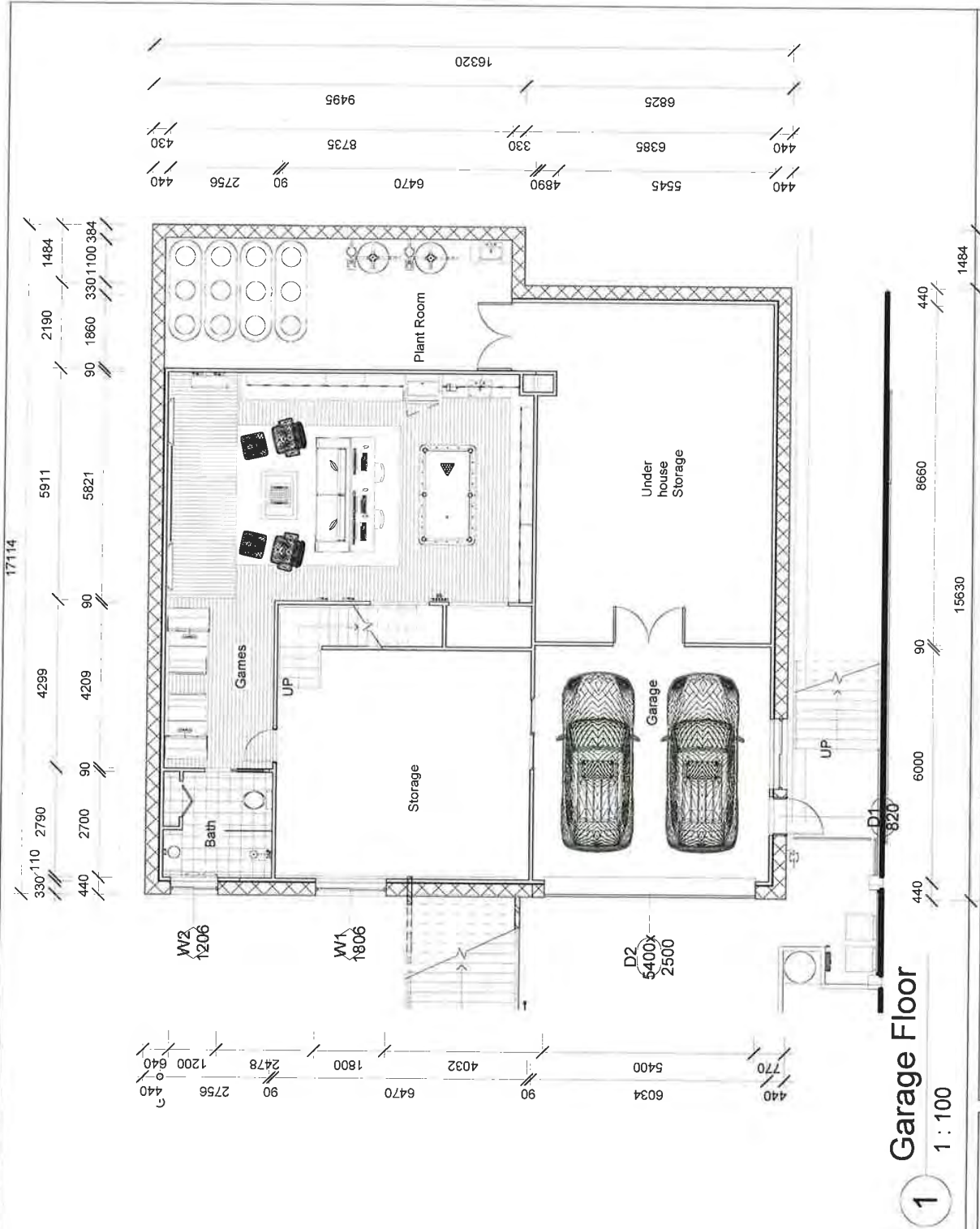
1 Site Plan 1 : 200

2 Grid Section Layout 1 : 1000

COLVILLE ST

GOVERNORS PDE

 <p>Regional Constructions Pty Ltd PO Box 9227 Bathurst 2795 0434 832 625 ABN: 28 609 018 215 Builders Licence: 295320C www.regionalconstructions.com.au</p>		<p>Lot 1124 40 Governors Pde Windradyne DA</p>		<p>Site Plan</p> <p>Project number: 2017.01 Date: 01/07/2017 Drawn by: TM Checked by: MM Scale: As indicated</p> <p>A302 R24</p>	
No.	Description	Date			



1 Garage Floor
1 : 100

Garage Floor Plan

Project number: 2017.01
Date: 01/07/2017
Drawn by: TM
Checked by: MM
Scale: 1 : 100

A304 R24

Lot 1124 40 Governors Pde Windradyne DA

No.	Description	Date

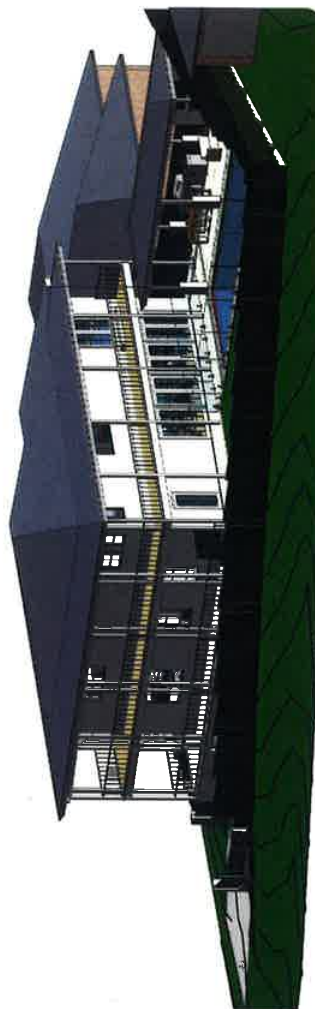
Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 C434 632 625
 ABRN: 26 009 016 215
 Builders Licence: 236320C
 www.regionalconstructions.com.au

LOT 1124 DP 1215618 40 Governors Pde Windradyne



Drawing List

Sheet Number	REV	Sheet Name	Sheet Issue Date
A301	R24	Cover Page	21/12/2017
A302	R24	Site Plan	21/12/2017
A304	R24	Garage Floor Plan	21/12/2017
A305	R24	Ground Floor Plan	21/12/2017
A306	R24	First Floor Plan	21/12/2017
A307	R24	Elevations	21/12/2017
A310	R24	Sections 11 to 66	21/12/2017
A311	R24	Sections 77 to AA	21/12/2017
A312	R24	Sections BB to CC	21/12/2017
A313	R24	Sections DD to EE	21/12/2017
A314	R24	Existing versus Proposed levels	21/12/2017
A315	R24	Building Envelope	21/12/2017
A316	R24	Existing Contours	21/12/2017
A330	R24	Retaining Wall Location	21/12/2017
A335	R24	Shadow Diagram 9-11am	21/12/2017
A336	R24	Shadow Diagrams 12 - 3pm	21/12/2017
A337	R24	Pergola	21/12/2017
A340	R24	Landscape Plan	21/12/2017
A341	R24	Existing Contours and Services	21/12/2017
A342	R24	Proposed Contour Plan	21/12/2017
A351	R24	Specification and Schedules	21/12/2017




Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 932 855
 ABN: 28 603 018 215
 Builders License: 296320C
 www.regionalconstructions.com.au

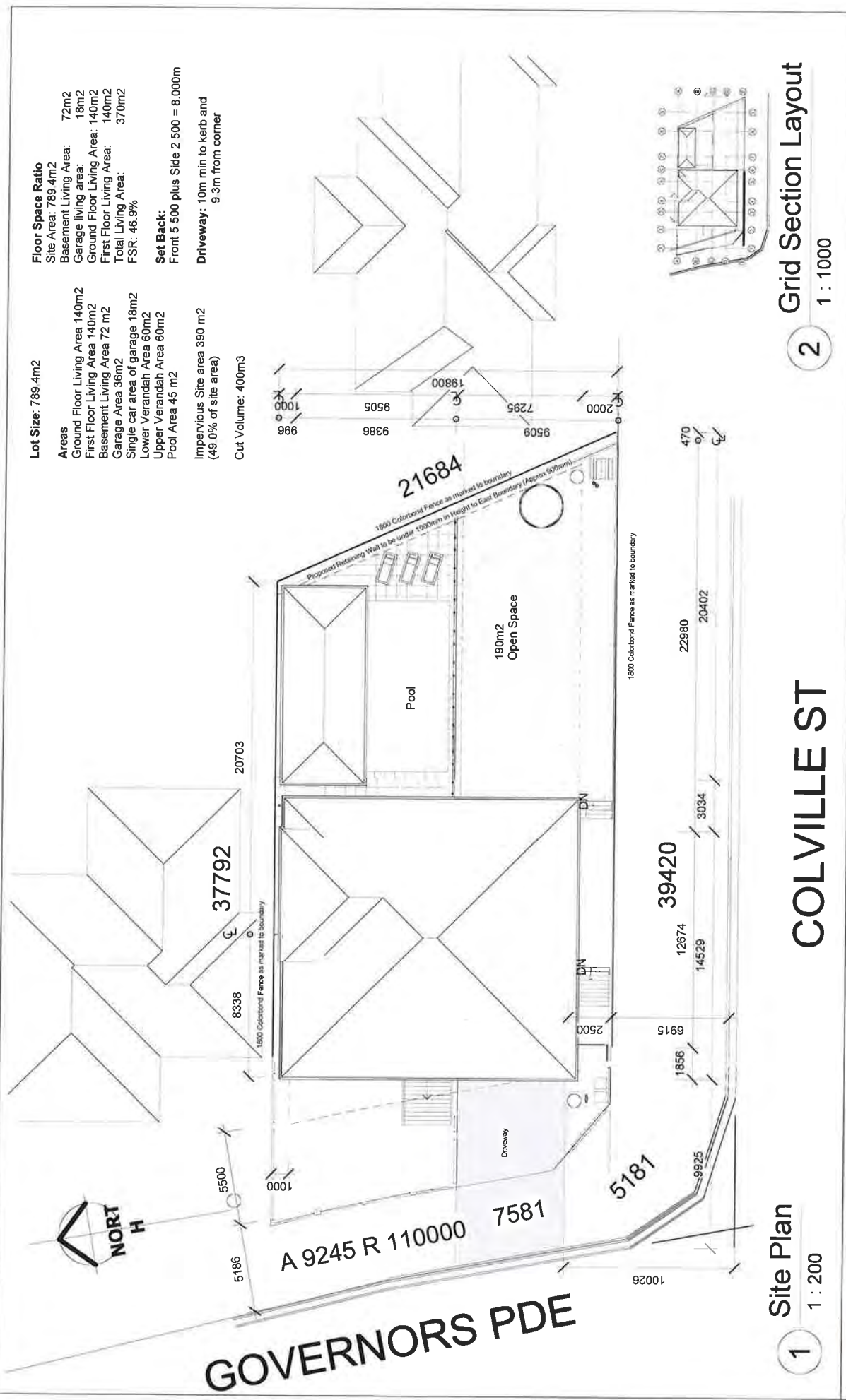
No.	Description	Date
R24	Council DA Submission	

Lot 1124 40 Governors Pde Windradyne
DA

Cover Page

Project number	2017.01
Date	01/07/2017
Drawn by	TM
Checked by	MM
Scale	

A301 R24



Lot Size: 789 4m²

Areas
 Ground Floor Living Area 140m²
 First Floor Living Area 140m²
 Basement Living Area 72 m²
 Garage Area 36m²
 Single car area of garage 18m²
 Lower Verandah Area 60m²
 Pool Area 45 m²

Floor Space Ratio
 Site Area: 789 4m²
 Basement Living Area: 72m²
 Garage living area: 18m²
 Ground Floor Living Area: 140m²
 First Floor Living Area: 140m²
 Total Living Area: 370m²
 FSR: 46.9%

Set Back:
 Front 5 500 plus Side 2 500 = 8.000m

Driveway: 10m min to kerb and 9 3m from corner

Impervious Site area 390 m²
 (49 0% of site area)

Cut Volume: 400m³

1 Site Plan
1 : 200

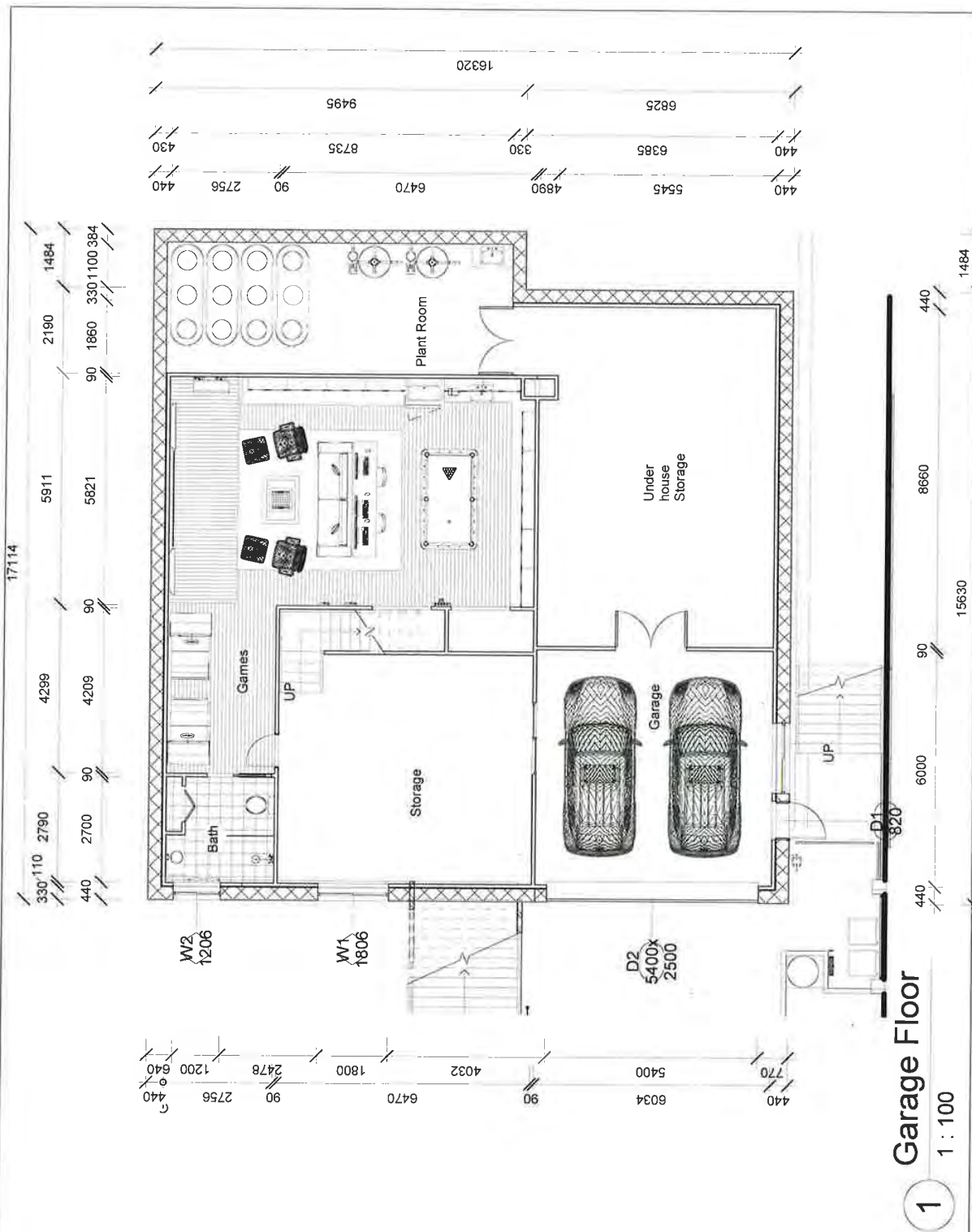
2 Grid Section Layout
1 : 1000

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 632 656
 ABN: 28 609 076 215
 Builders License: 296320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradyne
DA

Site Plan		Scale	
Project number	2017.01	MM	As indicated
Date	01/07/2017	TM	
Drawn by			
Checked by			



Garage Floor Plan

Project number: 2017 01
 Date: 01/07/2017
 Drawn by: TM
 Checked by: MM
 Scale: 1 : 100

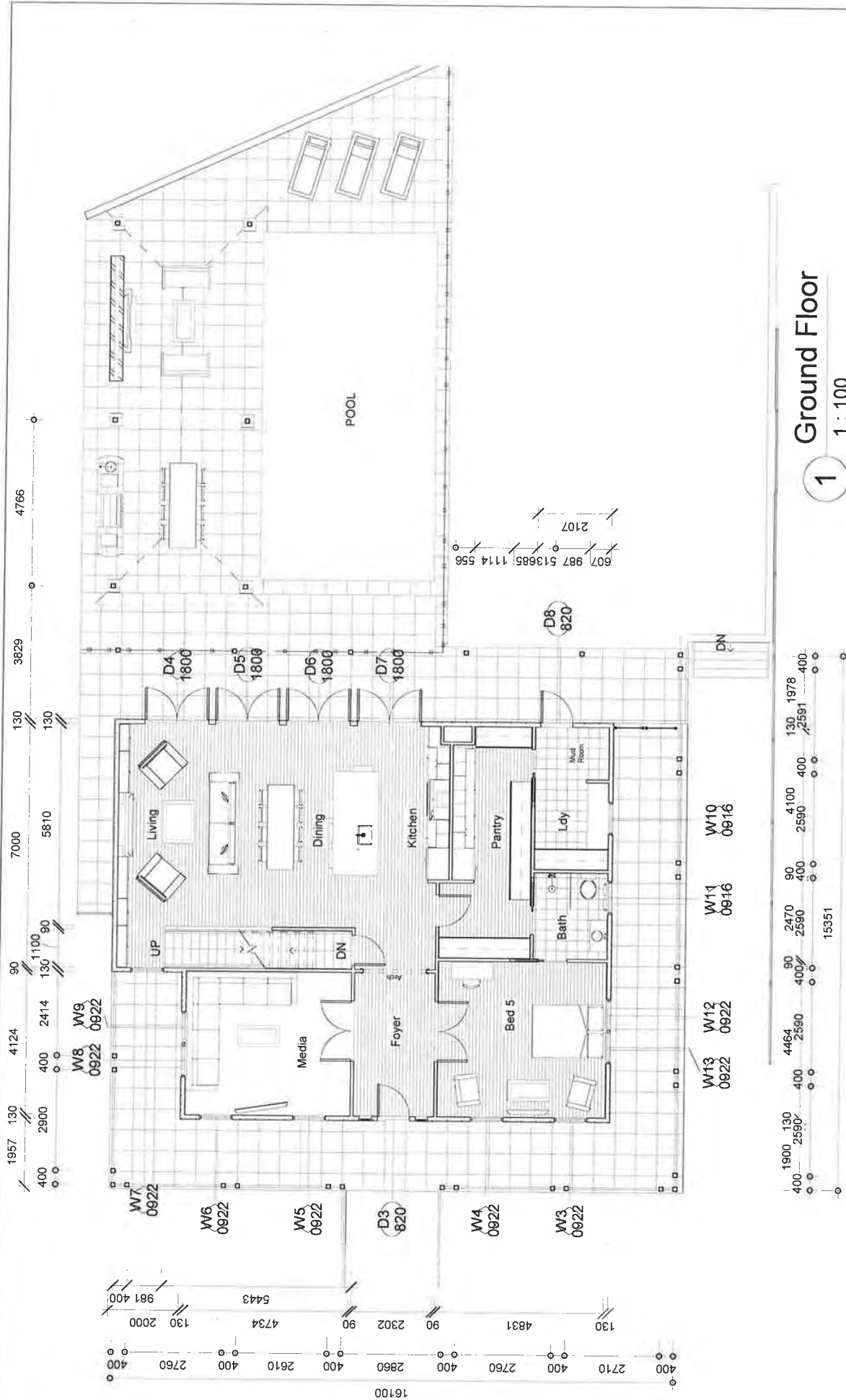
Lot 1124 40 Governors Pde Windradyne

DA

No.	Description	Date

Regional Constructions Pty Ltd

PO Box 9227 Bathurst 2795
 0434 832 625
 ABN: 26 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au



1 Ground Floor
1 : 100

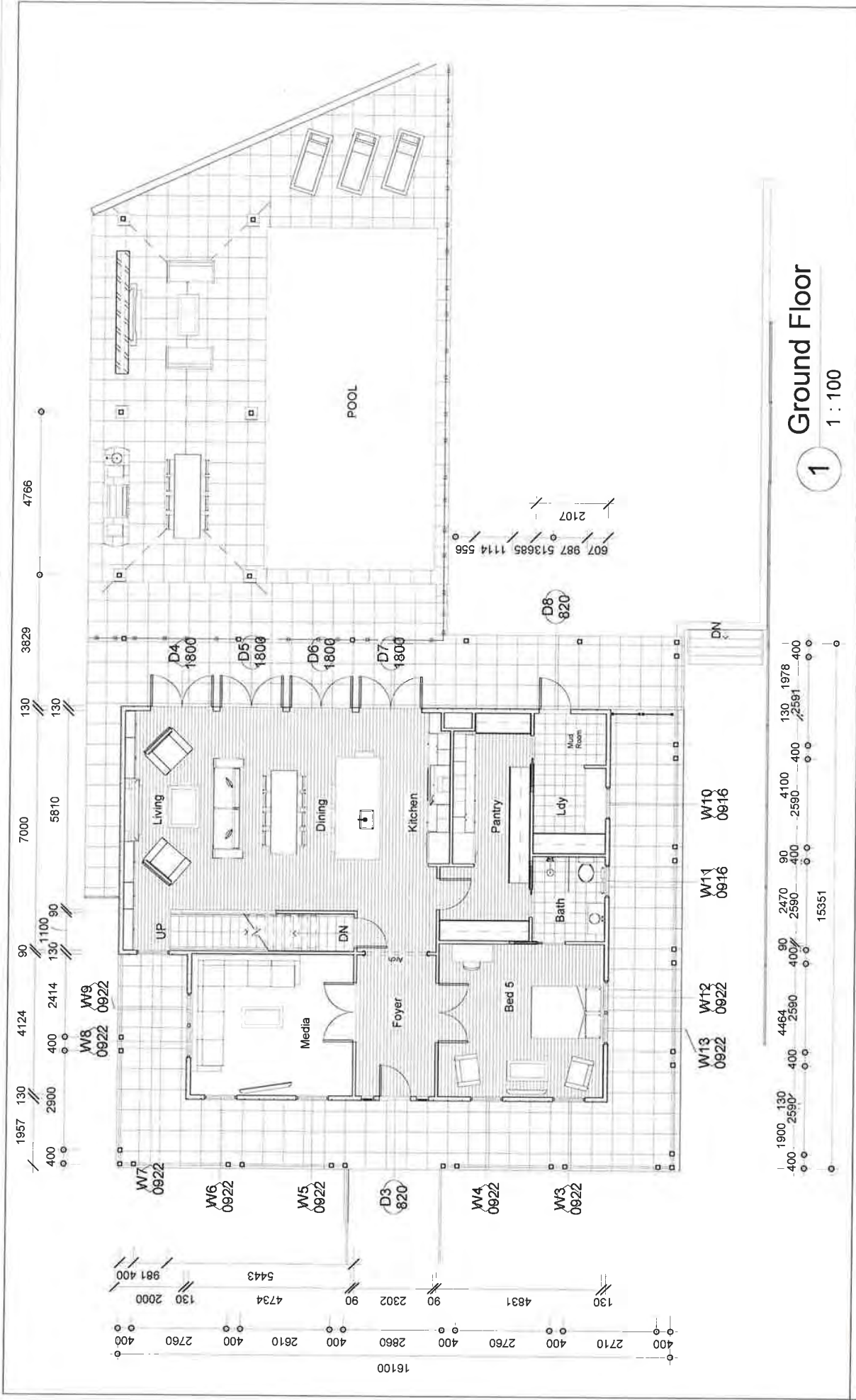
Ground Floor Plan	
Project number	2017.01
Date	01/07/2017
Drawn by	TM
Checked by	MM
Scale 1 : 100	

Lot 1124 40 Governors Pde Windradayne
DA

No.	Description	Date

Regional Constructions Pty Ltd
 PO Box 9227 Barburst 2795
 0434 832 625
 ABN: 28 609 018 215
 Builders Licence: 286320C
 www.regionalconstructions.com.au





1
Ground Floor
1 : 100

Lot 1124 40 Governors Pde Windradyne

DA

Ground Floor Plan

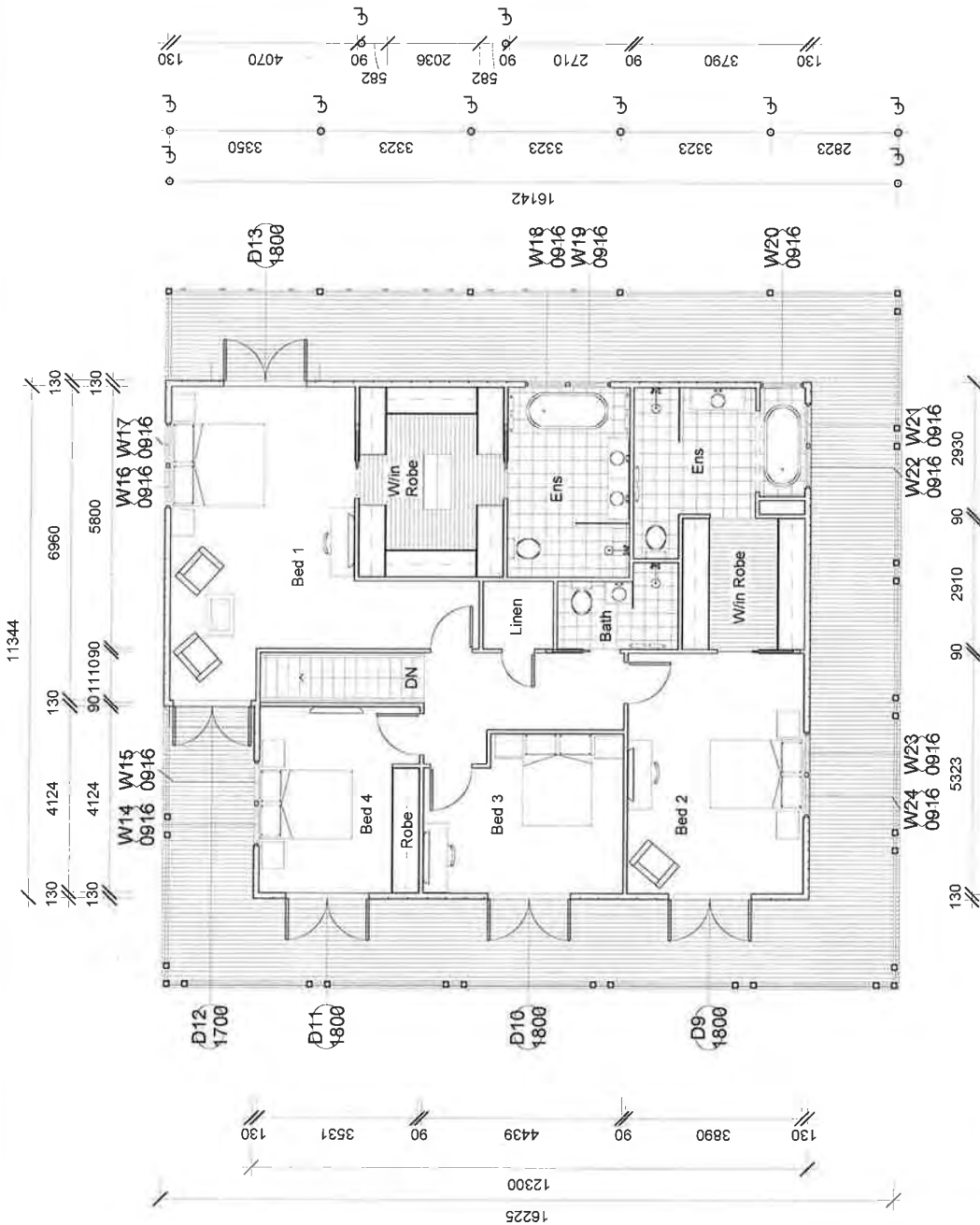
Project number: 2017.01
 Date: 01/07/2017
 Drawn by: TM
 Checked by: MM
 Scale: 1 : 100

A305 R24

No.	Description	Date

Regional Constructions Pty Ltd

PO Box 9227 Bathurst 2795
 0434 932 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au



1 First Floor

1 : 100

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 632 625
 ABN: 28 609 018 215
 Builders Licence: 296320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradayne
DA

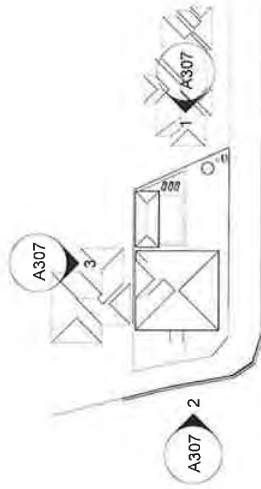
First Floor Plan

Project number	2017 01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
Scale	1 : 100

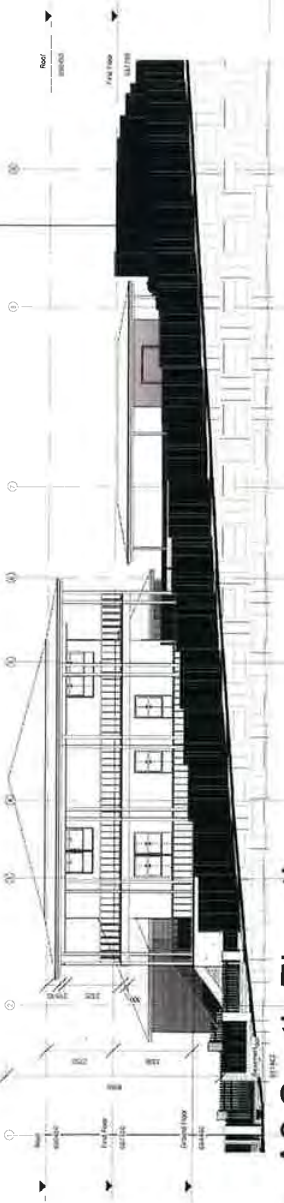
A306 R24



A3 West Elevation
1 : 200



A3 North Elevation
1 : 200

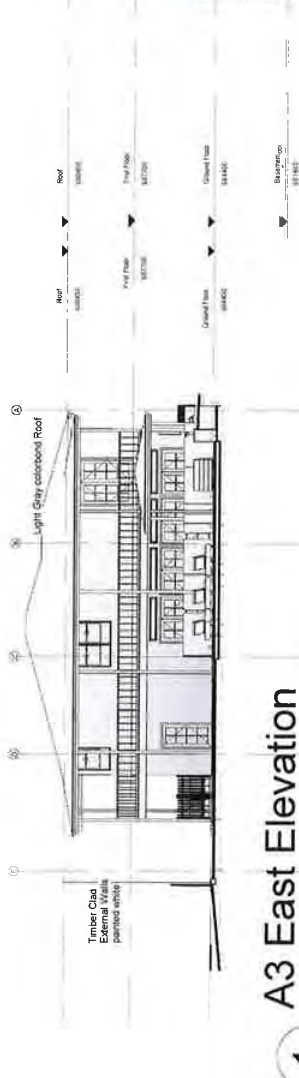


A3 South Elevation
1 : 200

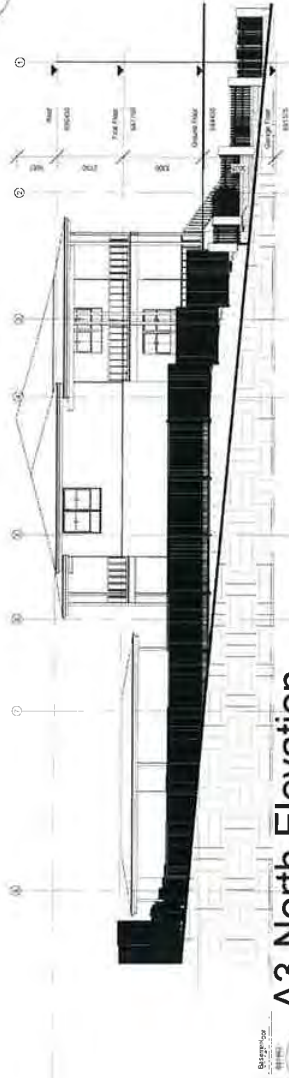
Elevation Layout
1 : 1000



Building Envelope
1 : 500



A3 East Elevation
1 : 200



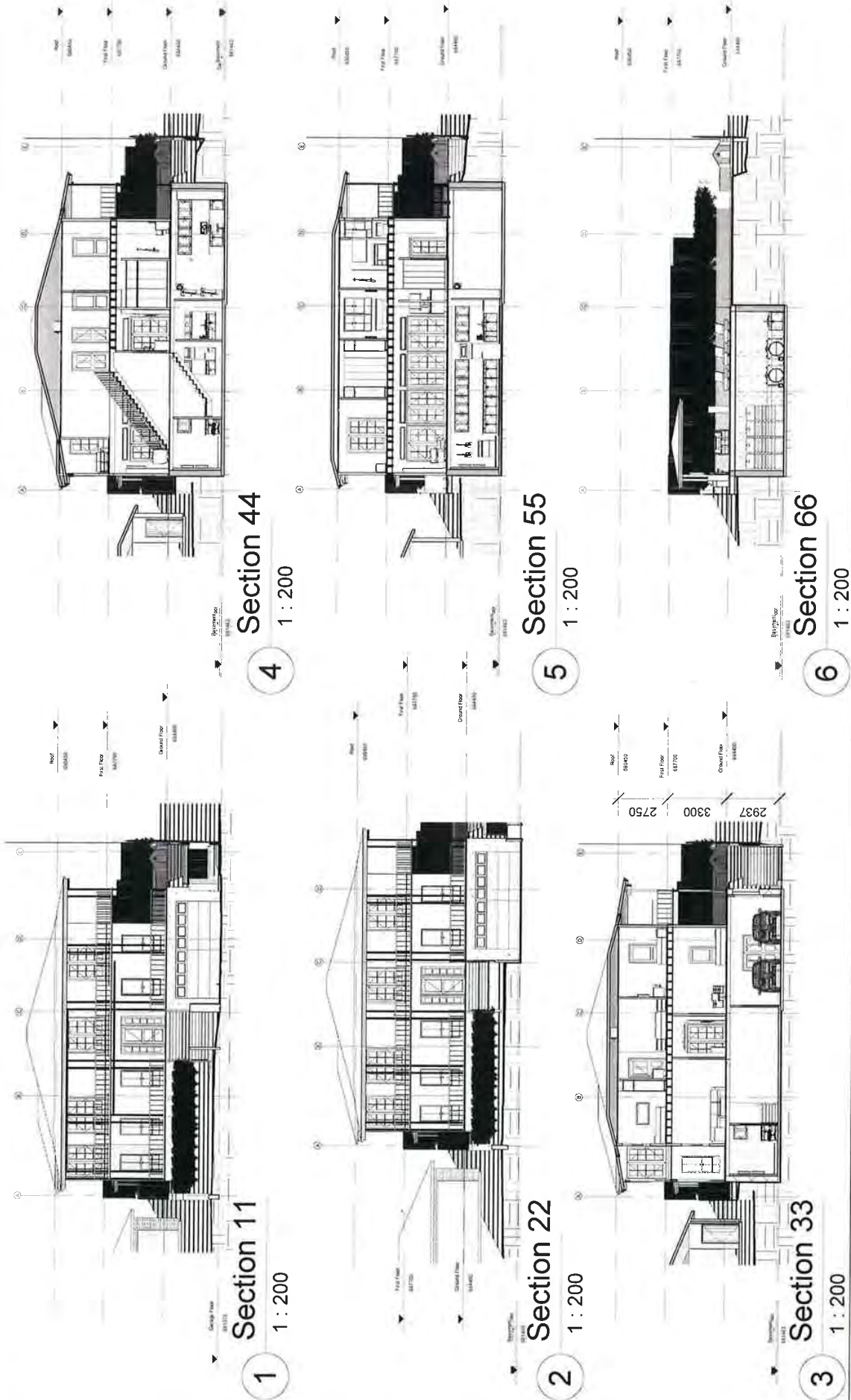
A3 West Elevation
1 : 200


Elevations	
Project number	2017 01
Date	01/07/2017
Drawn by	TM
Checked by	MM
Scale	As indicated

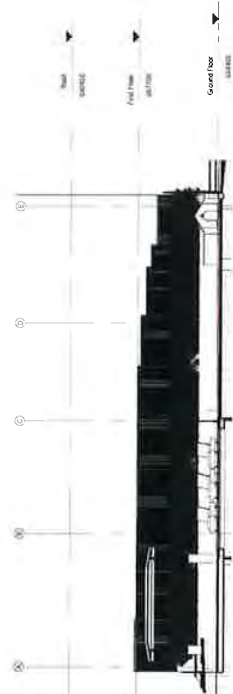
Lot 1124 40 Governors Pde Windradayne
DA

No.	Description	Date

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 832 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au



 <p>Regional Constructions Pty Ltd PO Box 9227 Bathurst 2795 0454 832 825 ABN: 29 609 018 215 Builders Licence: 295320C www.regionalconstructions.com.au</p>	No.	Description	Date
	<p>Sections 11 to 66</p>		
	<p>Lot 1124 40 Governors Pde Windradayne DA</p>		
	<p>A310 R24</p>		
<p>Project number 2017 01</p>		<p>Date 01/07/2017</p>	
<p>Author</p>		<p>Checked by</p>	
<p>Scale 1 : 200</p>			



Section 77

1 : 200

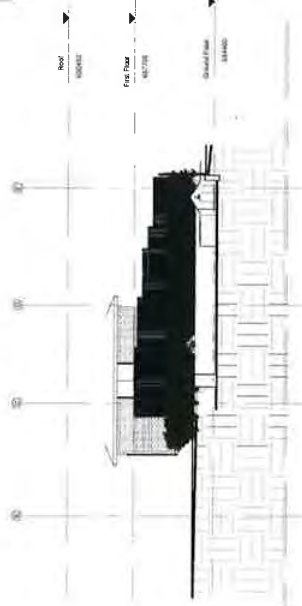
1



Section 88

1 : 200

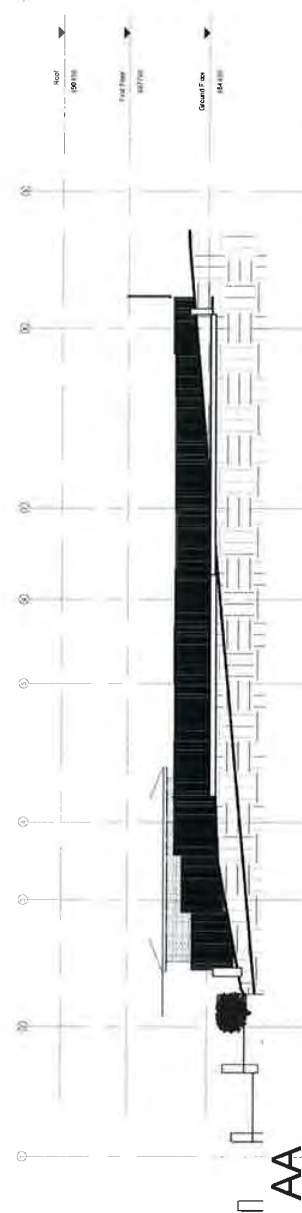
2



Section 99

1 : 200

3



Section AA

1 : 200

4



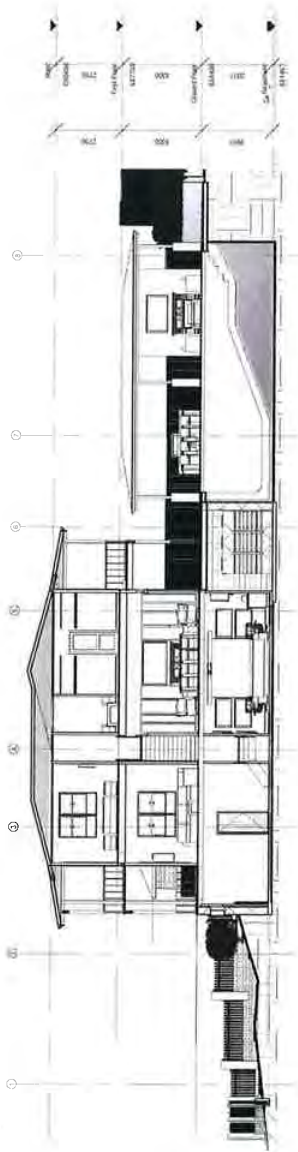
Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0344 832 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradyne DA

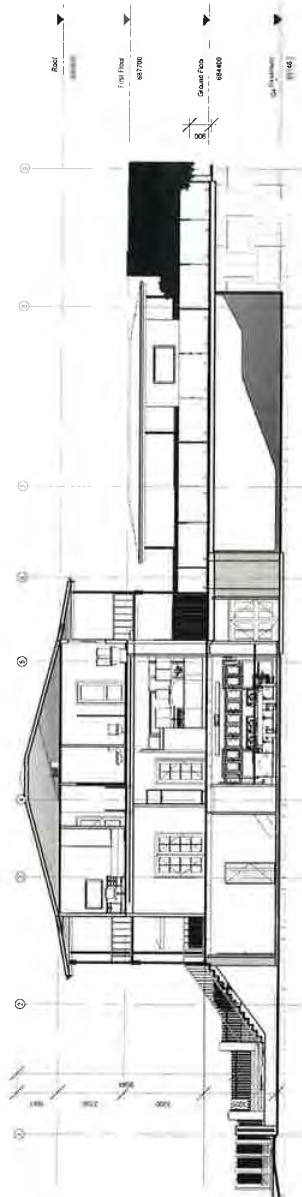
Sections 77 to AA

Project number	2017 01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
Scale	1 : 200



Section BB

1 1 : 200



Section CC

2 1 : 200

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 632 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

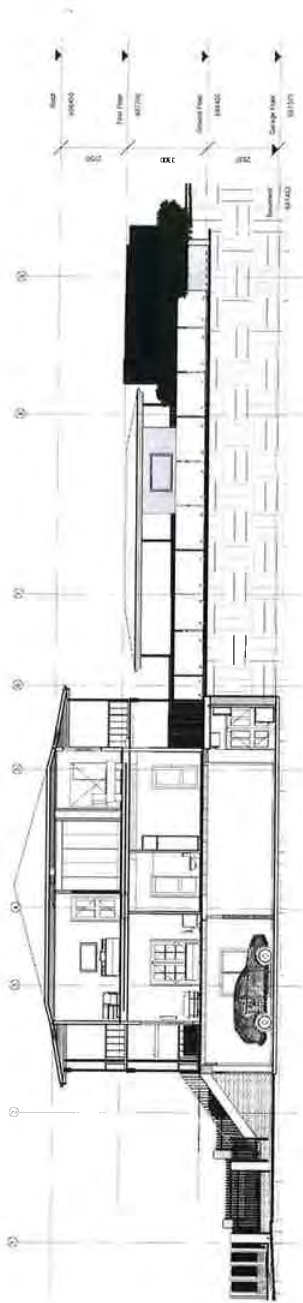


No.	Description	Date

Lot 1124 40 Governors Pde Windradyne
 DA

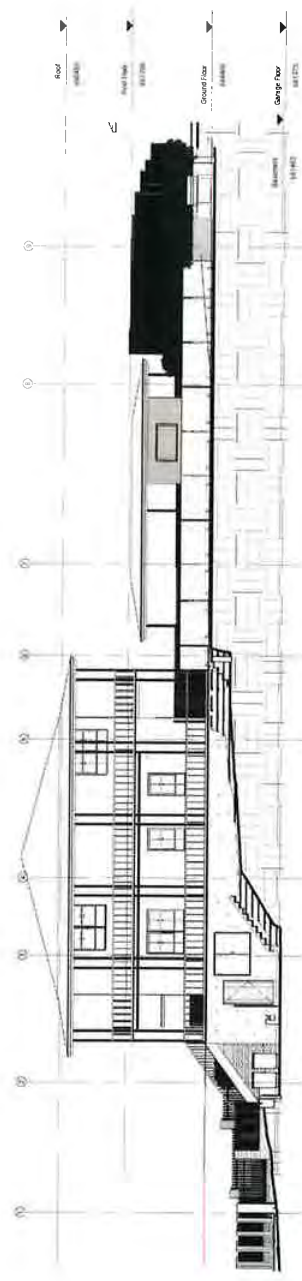
Sections BB to CC

Project number 2017 01
 Date 01/07/2017
 Drawn by Author
 Checked by Checker
 Scale 1 : 200



Section DD

1 1 : 200



Section EE

2 1 : 200



Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 832 825
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradyne DA

Sections DD to EE

Project number	2017 01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
Scale	
1 : 200	

Existing Ground level

1 : 100

1




Finished Ground level

1 : 100

2



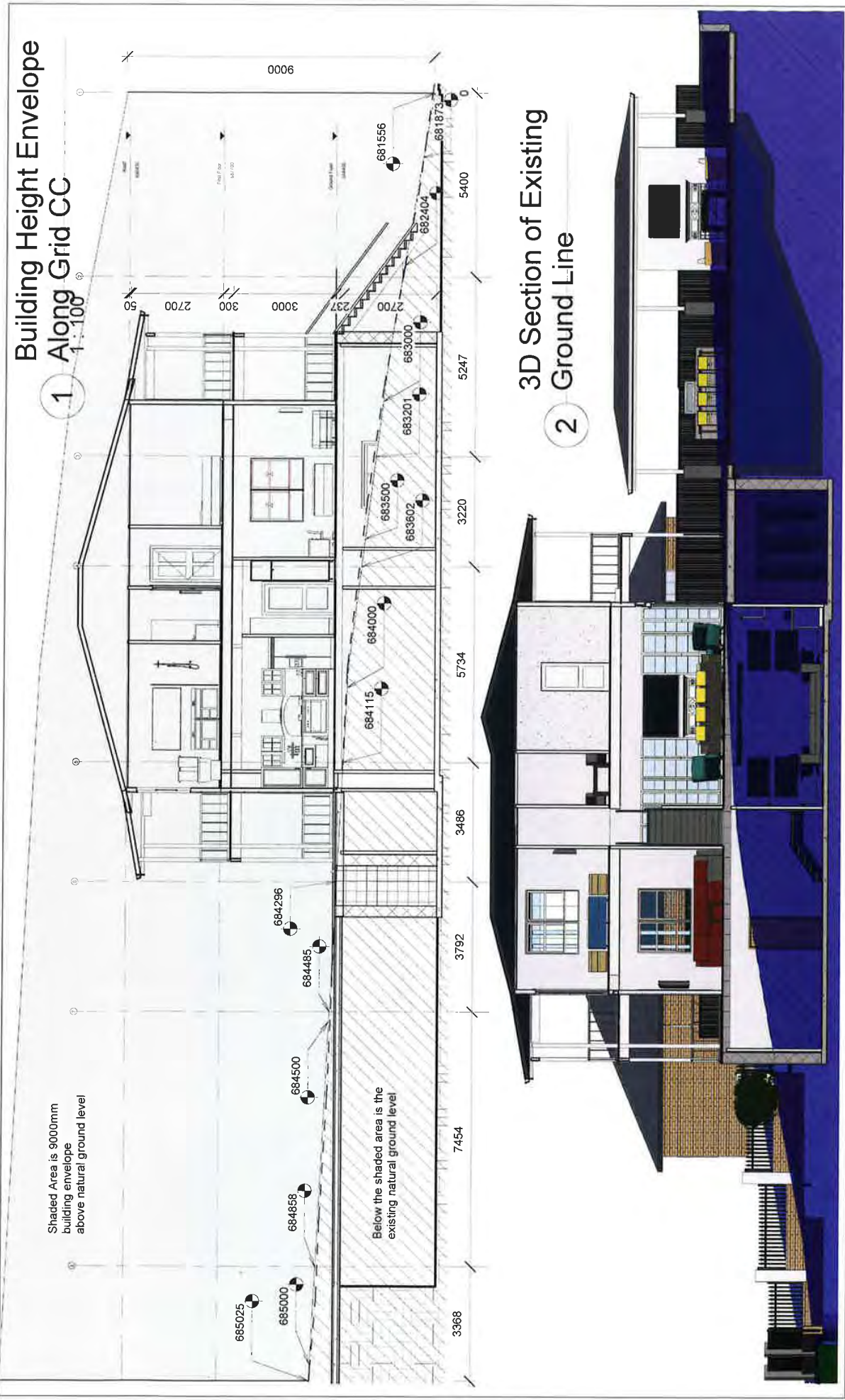
 <p>Regional Constructions Pty Ltd PO Box 9227 Bathurst 2795 0444 824 626 ABN 13 609 01052 215 Builders Licence 255520C www.regionalconstructions.com.au</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date													<p>Lot 1124 40 Governors Pde Windradyne DA</p>	<p>Existing versus Proposed levels</p> <p>Project number 2017.01 Date 01/07/2017 Drawn by Author Checked by Checker Scale 1 : 100</p>
	No.	Description	Date															

**Building Height Envelope
Along Grid CC**

1
1:100

**3D Section of Existing
Ground Line**

2



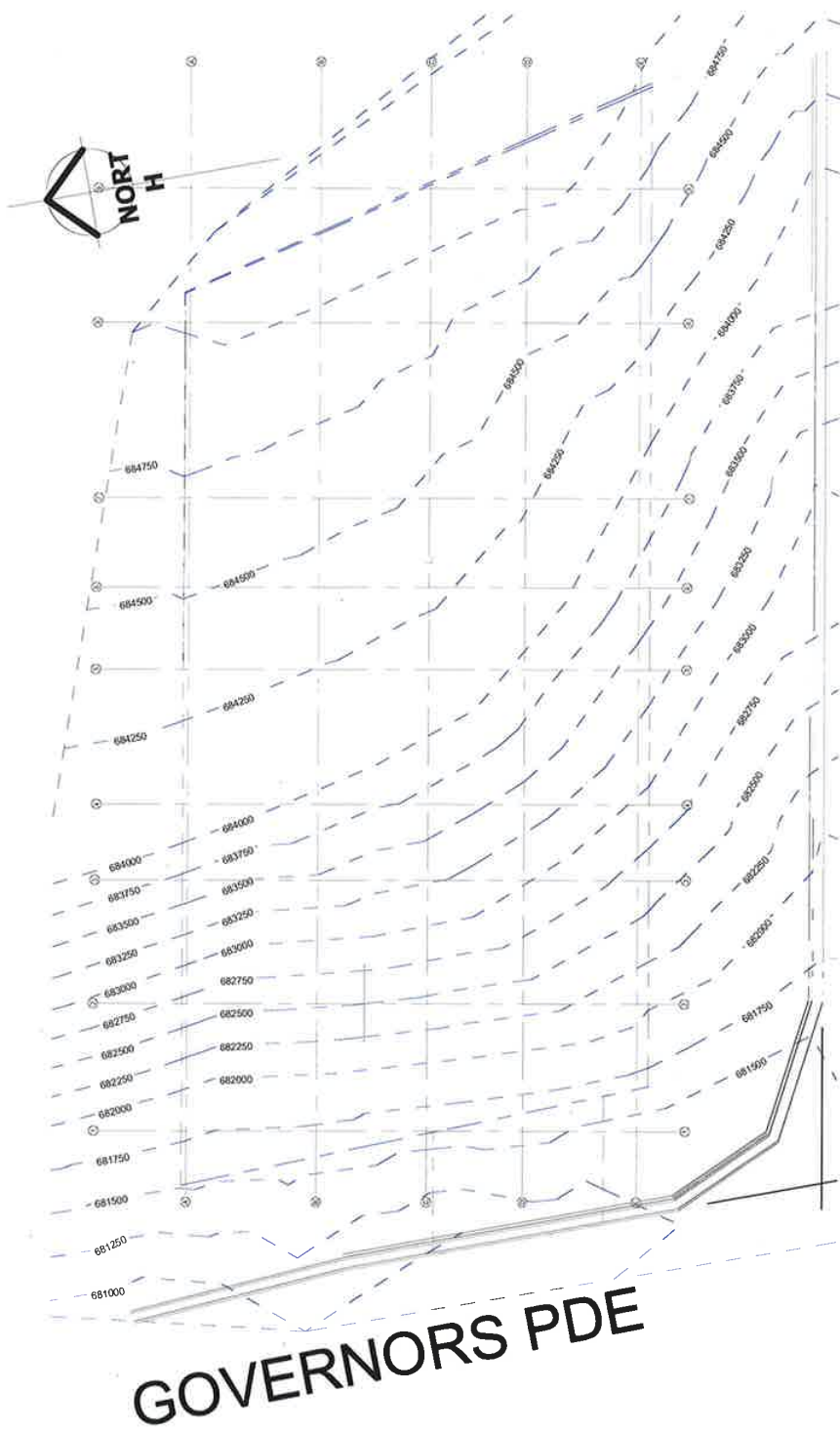
Building Envelope	
Project number	2017 01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
	Scale
	1: 100

**Lot 1124 40 Governors
Pde Windradayne**
DA

No.	Description	Date

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 632 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au





COLVILLE ST

GOVERNORS PDE

Existing Countours

1 1 : 200

Regional Constructions Pty Ltd
 PO Box 9227 Balaclava 32795
 VIC 3230 052 923 315
 ABN: 28 609 079 315
 Builders Licence: 235520C
 www.regionalconstructions.com.au

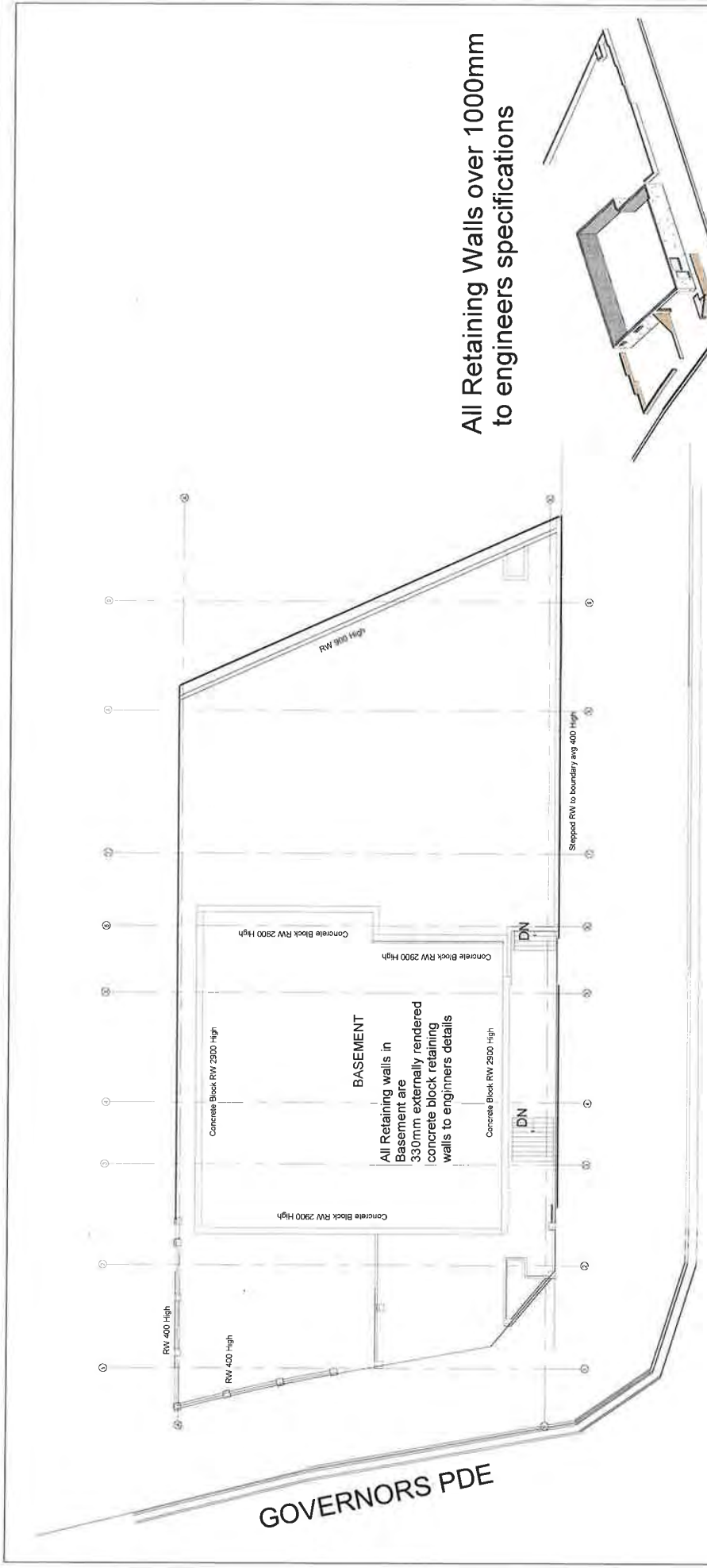
No.	Description	Date

Lot 1124 40 Governors Pde Windradayne
DA

Existing Contours

Project number	2017 01
Date	01/07/2017
Drawn by	TM
Checked by	MM
Scale	1 : 200

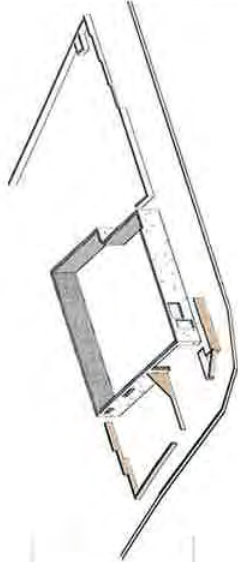
A316 R24



All Retaining Walls over 1000mm to engineers specifications

1 Retaining Wall Location 1 : 200

2 Retaining Wall 3d Render 1 : 200



Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 832 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradayne DA

Retaining Wall Location

Project number: 2017 01
 Date: 01/07/2017
 Drawn by: TM
 Checked by: MM
 Scale: 1 : 200



Shadows 10am 21 June

1 : 500

2



Shadows 9am 21 June

1 : 500

1



Shadows 11am 21 June

1 : 500

3



21st June Sun Diagram

4

Note: Background photo taken at 12:08pm on 2 July 2017

No.	Description	Date



Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2786
 0434 832 825
 ABN: 28 609 018 215
 Builders Licence: 296320C
 www.regionalconstructions.com.au

Shadow Diagram 9-11am

Project number	2017 01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
Scale	

Lot 1124 40 Governors Pde Windradayne
DA
A335 R24

1 : 500



Shadows 1pm 21 June

1 : 500



Shadows 3pm 21 June

1 : 500



Shadows 12pm 21 June

1 : 500



Shadows 2pm 21 June

1 : 500

Note: Background photo taken at 12:08pm on 2 July 2017



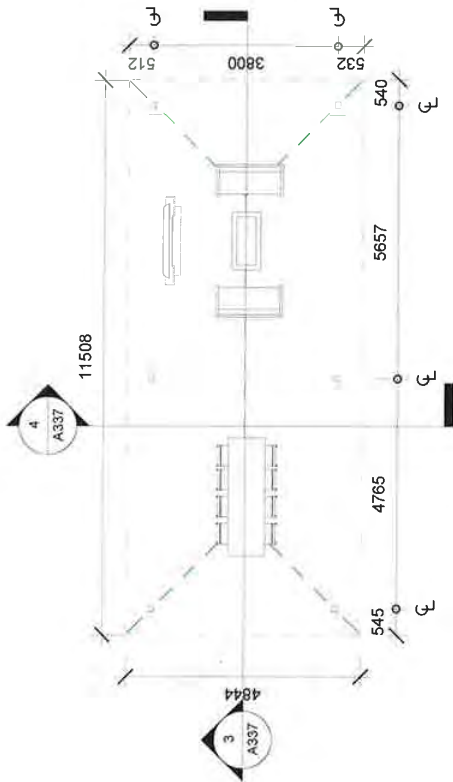
Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 632 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradayne
DA

Shadow Diagrams 12 - 3pm

Project number	2017 01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
Scale	1 : 500

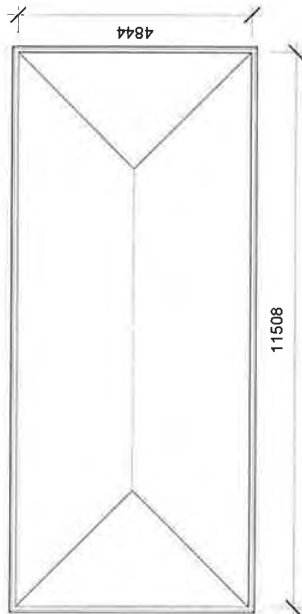


1 Pergola Floor Plan
1 : 100

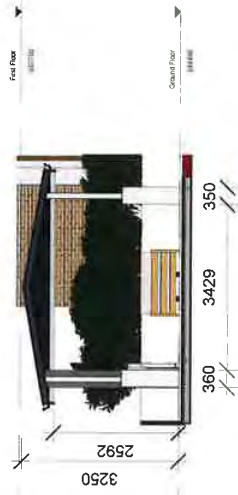
Pergola Roof Pitch: 10 degrees
 Pergola Roof: Light coloured Colorbond to match house
 Posts: Brick piers with timber posts on top
 Roof Structure: Exposed timber beams with rafters and battens to AS1684



3 Pergola Section 1
1 : 100



2 Pergola Roof Plan
1 : 100



4 Pergola Section 2
1 : 100



Regional Constructions Pty Ltd
 PO Box 9227 Bathurst, 2795
 0434 892 625
 ABN: 28 609 019 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

No.	Description	Date

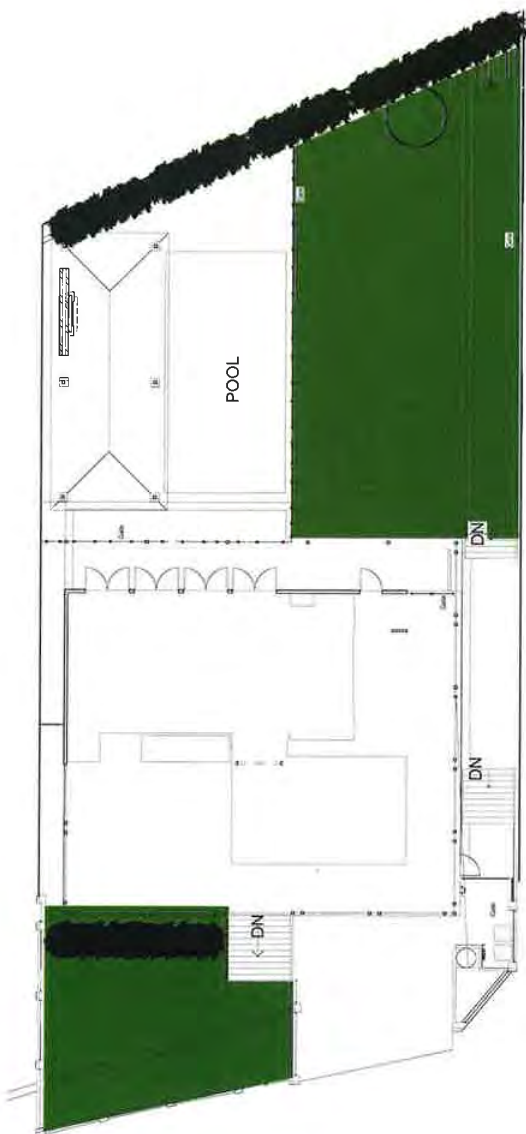
Lot 1124 40 Governors Pde Windradyne DA

Pergola

Project number	2017.01	Author	A337 R24
Date	01/07/2017	Checker	
Drawn by		Scale	1 : 100
Checked by			

20m2 of Lillypilly (*Scaevola smithii*)
 Evergreen dense tree (1.2m x 6m) from rainforests
 thick, dark glass green leaves with pink flower growth
 While fluffy flowers in summer followed by edible
 plump purple berries. Useful as large screen or shade
 plant. It is a very hardy plant that can tolerate
 projection from frost. Moderately drought tolerant
 Additional irrigation above natural rainfall may be
 required in growing conditions do not replicate the
 plant's natural occurrence.

Plant type: Tree
 Sun: Full Sun, Part Shade, Shade
 Frost tolerance: Frost sensitive
 Soil type(s): Sand, Loam, Clay
 Water rating: Low
 Plant origin: Indigenous (NSW) (Shady); Vic; Qld



Landscape Plan

Project number	2017.01	A340 R24
Date	01/07/2017	
Drawn by	TM	
Checked by	MM	Scale 1 : 200

**Lot 1124 40 Governors
 Pde Windradayne
 DA**

No.	Description	Date

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 632 625
 ABN: 26 609 018 215
 Builders Licence: 295320C
www.regionalconstructions.com.au



Telstra plans are intended to be indicative only. A plan location service (Telstra accredited) is required as part of the process to identify the exact location of the Telstra asset and ensure that the asset is protected during construction work.

This plan has been prepared by Bathurst Survey & Civil Design Pty Ltd. It is shown from a comparison of paper information (topographic data) with information and data held by the company of planning, design and surveying in 2017. The survey was conducted by Bathurst Survey & Civil Design Pty Ltd. The survey was conducted by Bathurst Survey & Civil Design Pty Ltd. The survey was conducted by Bathurst Survey & Civil Design Pty Ltd.

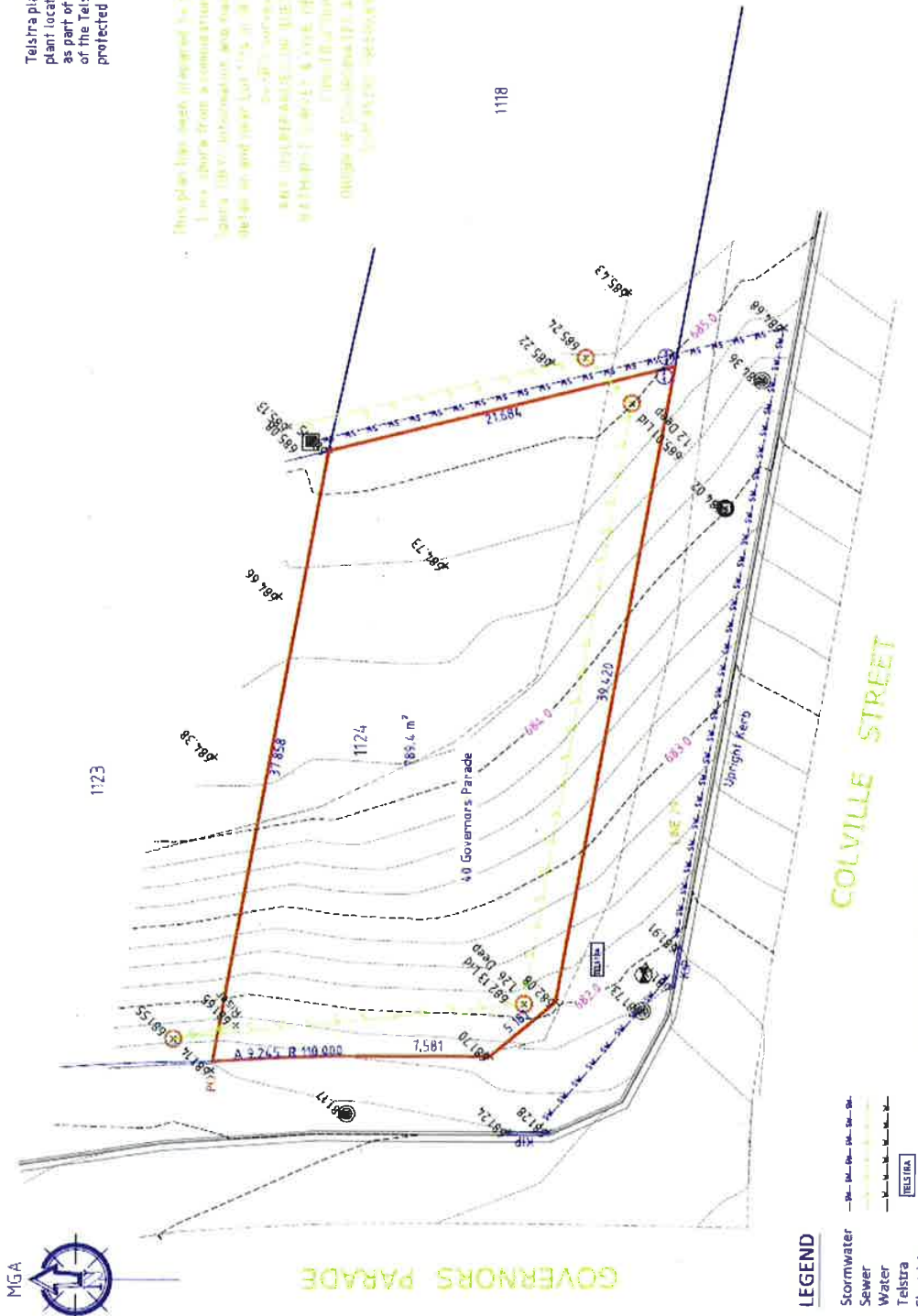
Note: This drawing is Not to be scale

Bathurst Survey & Civil Design

30 Cave Gully Road
Napoleon Reef NSW 2795

Ph 02 6337 5296

Mob 0414 189 336
John@bxsdc.com



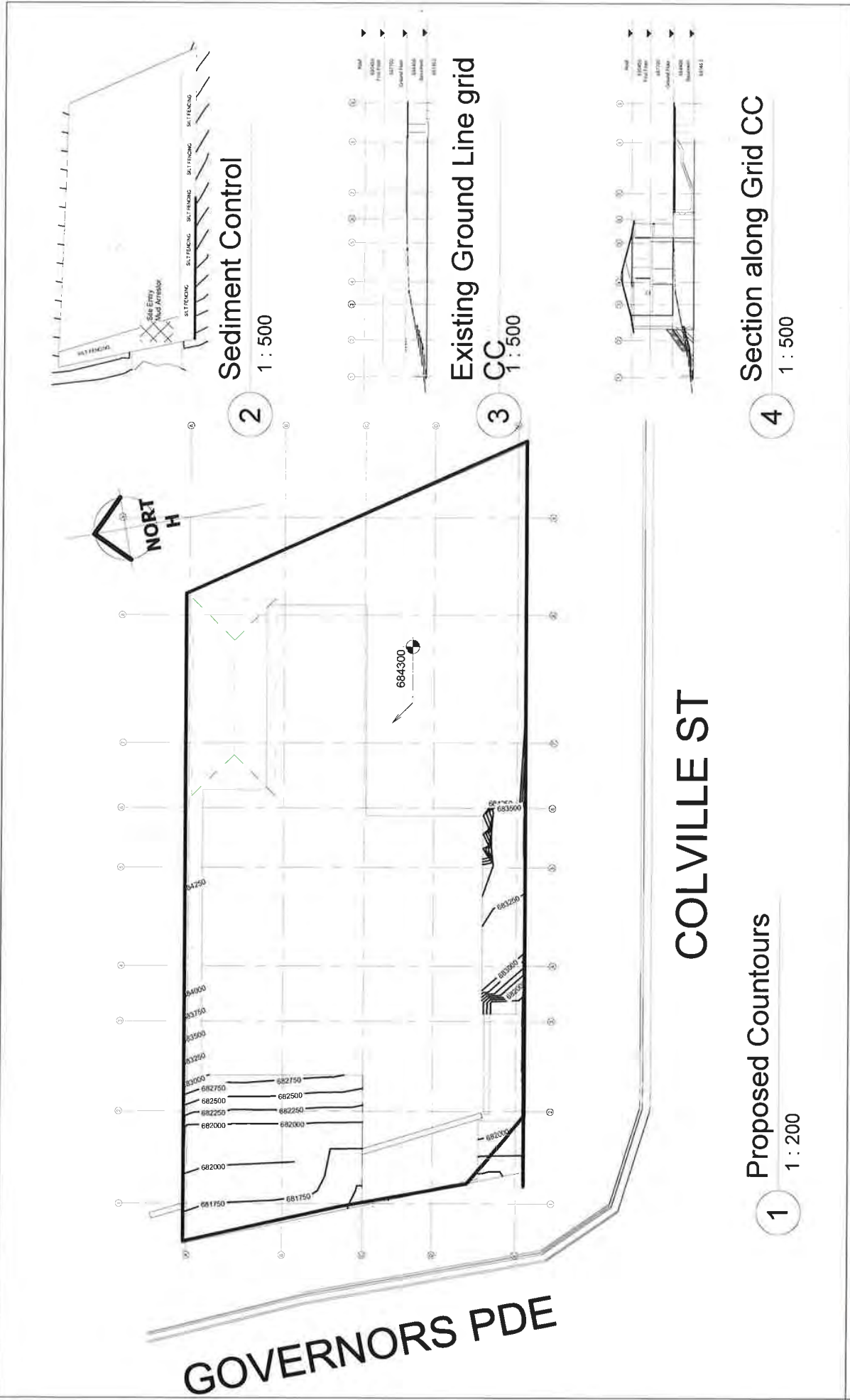
Existing Contours and Services	
Project number	2017 01
Date	01/07/2017
Drawn by	Bathurst Survey
Checked by	TM
Scale	

Lot 1124 40 Governors Pde Windradyne
DA

No.	Description	Date

Regional Constructions Pty Ltd
PO Box 9227 Bathurst 2795
0434 832 625
ABN: 28 609 018 215
Builders Licence: 295320C
www.regionalconstructions.com.au





Proposed Contour Plan	
Project number	2017 01
Date	01/07/2017
Drawn by	TM
Checked by	MM
Scale	1:300 A3
As indicated	

Lot 1124 40 Governors Pde Windradyne DA

No.	Description	Date

Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 932 825
 ABN: 28 609 018 215
 Builders License: 296320C
 www.regionalconstructions.com.au





Shadows 9am 21 June

1

1 : 500



Shadows 10am 21 June

2

1 : 500



Shadows 11am 21 June

3

1 : 500



21st June Sun Diagram

4

Note: Background photo taken at 12:08pm on 2 July 2017

No.	Description	Date

Lot 1124 40 Governors Pde Windradyne DA	Shadow Diagram 9-11am		
	Project number	2017.01	A335 R24
	Date	01/07/2017	Author
	Drawn by	Checker	Scale
			1 : 500



Regional Constructions Pty Ltd

PO Box 9227 Bathurst 2795
 0434 832 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
www.regionalconstructions.com.au



Shadows 12pm 21 June

1 : 500

1



Shadows 1pm 21 June

1 : 500

2



Shadows 2pm 21 June

1 : 500

3



Shadows 3pm 21 June

1 : 500

4

Note: Background photo taken at 12:08pm on 2 July 2017

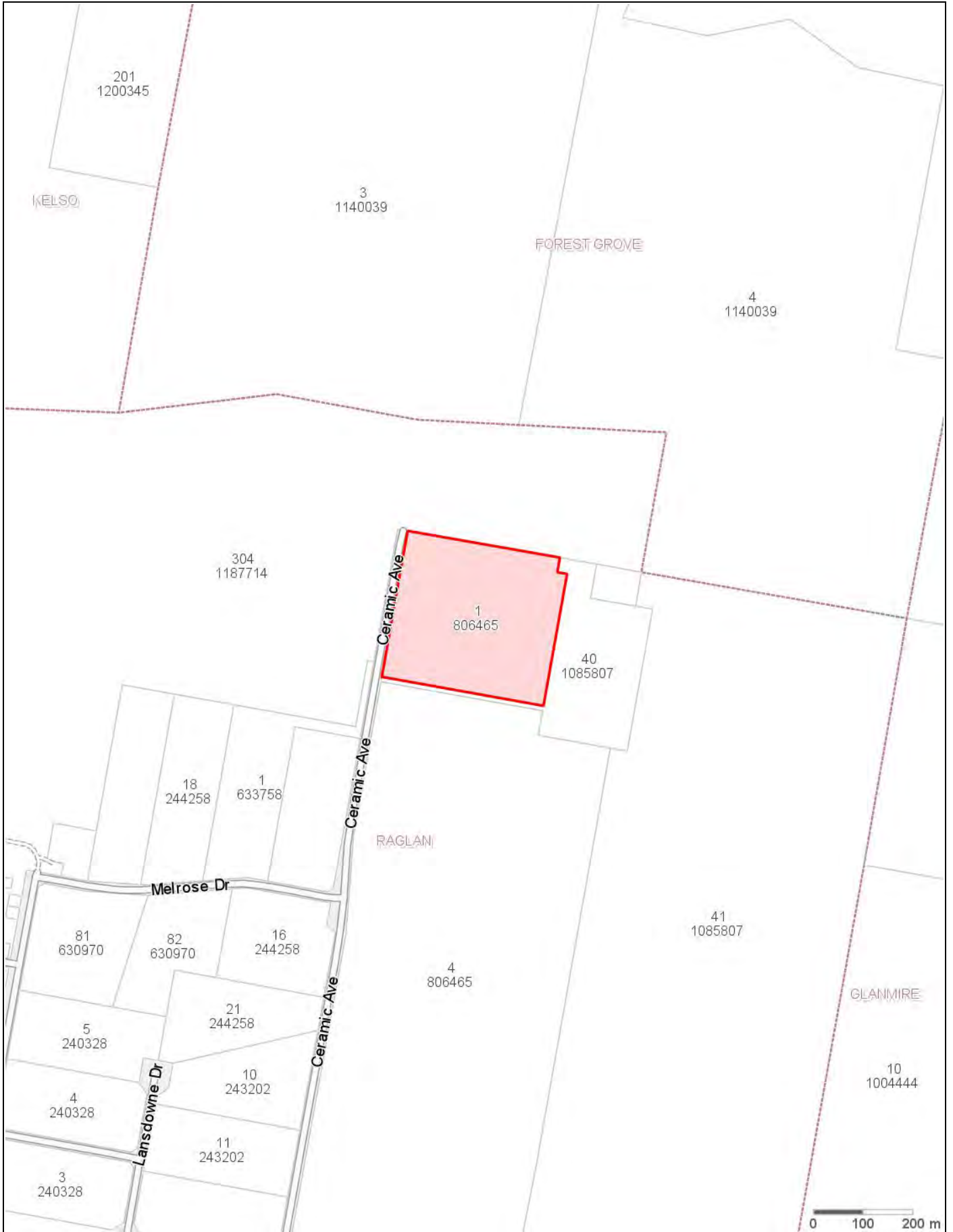
Regional Constructions Pty Ltd
 PO Box 9227 Bathurst 2795
 0434 832 625
 ABN: 28 609 018 215
 Builders Licence: 295320C
 www.regionalconstructions.com.au

No.	Description	Date

Lot 1124 40 Governors Pde Windradyne
 DA

Shadow Diagrams 12 - 3pm

Project number	2017.01
Date	01/07/2017
Drawn by	Author
Checked by	Checker
A336 R24	
Scale 1 : 500	



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground.
 This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: BarnettL
Date: 2/02/2018
Projection: GDA94 / MGA zone 55
Map Scale: 1:10000 @ A4



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.





Drawn By: BarnettL
 Date: 2/02/2018
 Projection: GDA94 / MGA zone 55
 Map Scale: 1:5000 @ A4



© Department of Finance, Services & Innovation 2017

LEGEND

-  Site Layout
-  Lot Boundary
-  IN1 General Industrial
-  RU1 Primary Production
-  SP2 Infrastructure

Paper Size A4

0 25 50 100 150 200

Metres

Map Projection: Transverse Mercator
Horizontal Datum: GDA 1994
Grid: GDA 1994 MGA Zone 55



Grainforce
148 Ceramic Avenue, Raglan

Job Number	21-26727
Revision	0
Date	21 Sep 2017

Proposal location, site layout and surrounding land uses

Figure 1

G:\2126727\GIS\Maps\Deliverables\21_26727_2005_Site_Layout.mxd

Level 15, 133 Castlereagh Street Sydney NSW 2000 T 61 2 9239 7100 F 61 2 9239 7199 E sydmail@ghd.com.au W www.ghd.com.au

© 2017. Whilst every care has been taken to prepare this map, GHD and SIXMAPS make no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and cannot accept liability and responsibility of any kind (whether in contract, tort or otherwise) for any expenses, losses, damages and/or costs (including indirect or consequential damage) which are or may be incurred by any party as a result of the map being inaccurate, incomplete or unsuitable in any way and for any reason.

Data source: Aerial Imagery: SIXMAPS, 2017. LZN, General Topography: LPI, 2012. Lots: LPI, 2015. Created by:jrbacani

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

The General Manager
Private Mail Bag 17
BATHURST NSW 2795

Attention: Ms Lucie Barnett

Notice Number 1558945
File Number SF17/55540: DOC17/633546
Date 20-Dec-2017

Dear Mr Sherley,

GEDS ENTERPRISES PTY LIMITED - DEVELOPMENT APPLICATION 2017/410
Issued pursuant to Section 91A(2) *Environmental Planning and Assessment Act 1979*

I refer to the above development application (the Proposal) and additional information provided by the proponent to address the matters raised in the Environment Protection Authority's (EPA) "stop-the-clock" letter to Bathurst Regional Council (Council) dated 5 December 2017. I also refer to Council's e-mail of 7 December 2017 which included copies of the public submissions received by Council in relation to the Proposal.

The EPA has reviewed the proposal, the four (4) public submissions received by Council and the additional information on the air quality impact assessment. The EPA has determined that it is able to issue an environment protection licence for the Proposal, subject to a number of conditions. The proponent will need to make a separate application to the EPA to obtain this environment protection licence should consent be granted by Bathurst Regional Council.

The EPA's General Terms of Approval (GTAs) for this Proposal are provided at **Attachment A**. If Council grants development consent for this proposal then these conditions should be incorporated into the consent.

It should be noted that the EPA's Central West Region has adopted more streamlined GTAs to:

1. avoid conflicts with development approvals;
2. to limit the need for ongoing modifications to development approvals for small matters that are the responsibility of the EPA; and
3. to provide the EPA with greater flexibility regarding site specific environmental conditions to be placed on any environment protection licence.

The EPA has also provided at **Attachment B** for Council and the proponent's reference, more specific conditions that would be present on the environment protection licence if consent is granted (noting that all environment protection licences contain general conditions for all licensees). However these conditions

Page 1

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

should not be included in the consent document, unless deemed necessary for Council's own specific purposes.

These GTAs relate to the Proposal as described in the development application and accompanying information currently held by the EPA. In the event that the Proposal is modified either by the proponent prior to the granting of consent or as a result of the conditions proposed to be attached to the consent and/or environment protection licence, it will be necessary to consult with the EPA about the changes before the consent is granted. This will enable the EPA to determine whether its GTAs need to be modified in light of the changes.

Should you have any enquiries regarding this matter please contact Mr Andrew Helms at the Central West (Bathurst) Office of the EPA by telephoning (02) 6332 7604.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Darryl Clift', written over a faint horizontal line.

DARRYL CLIFT
Head Central West Unit
Environment Protection Authority
(by Delegation)

Attachment A: General Terms of Approval
Attachment B: EPA's specific licence conditions

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

ATTACHMENT A EPA's GENERAL TERMS OF APPROVAL RECOMMENDED CONDITIONS OF DEVELOPMENT CONSENT

1. Except as expressly provided by these General Terms of Approval (GTAs) or by any conditions of consent granted by Bathurst Regional Council or the conditions of an in-force environment protection licence issued by the Environment Protection Authority (EPA), works and activities must be carried out in accordance with the proposal contained in:
 - the Development Application 2017/410 submitted to Bathurst Regional Council; and
 - any other additional information provided by the proponent to Bathurst Regional Council.
2. Should any conflict exist between the abovementioned documents, the most recent document or revision supersedes the conflict, except where superseded by any conditions of approval issued by Council or the conditions of an in-force environment protection licence issued by the Environment Protection Authority.
3. To mitigate against off site impacts and ensure compliance with the EPA's impact assessment criterion for Methyl Bromide at and beyond the premises boundary, the proponent must prepare (in consultation with the EPA) and implement an Air Quality Management Plan. This plan must summarise the timber fumigation and container venting processes and be consistent with the *Australian Fumigation Accreditation Scheme: Methyl Bromide Fumigation Standard (version 2.3, August 2015)* and the *Air Quality Assessment* prepared for the project by GHD (December 2017). The Air Quality Management Plan must include key performance indicators, monitoring and management measures.
4. As an added precaution, the proponent shall install a visual warning system to inform any airport personnel working on the airport grounds adjacent to the premises, that containers are in the process of being ventilated. The visual warning (e.g. flashing amber or red lights) must be visible from airport land immediately to the west and north of the premises. The warning lights must be deployed immediately before and until at least one hour after the last container door has been opened. The visual warning system must be operational prior to the first batch of containers being fumigated.
5. To operationalise the visual warning system, the proponent must establish a communication protocol with Bathurst Regional Council which provides sufficient detail such that all relevant staff and contractors working at Bathurst Airport are aware of the activities on the subject premises. This protocol must include an explanation that the visual warning lights signify that fumigation is underway and that areas of the airport land bordering the premises should not be entered as a precaution while warning lights are on. This protocol must also be provided to the owner/occupier of the rural property (Lot 3, DP 1140039) which has access to a right-of-way along the northern and western boundary of the subject premises.
6. The proponent must have on the premises at all times the ability to obtain meteorological data from the Bureau of Meteorology's (BOM) Bathurst Airport weather station which is displayed in real time on the BOM website.

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

7. Hours of Operation:

Operational activities related to the Proposal may only be undertaken during the following hours:

General site operations (including log and container deliveries/dispatch, log and container handling operations and container fumigation);

- 7:00 am to 10:00 pm, Monday to Friday;
- 8:00 am to 5:00 pm, Saturday; and
- at no time on Sundays or Public Holidays.

Venting of containers;

- 7:00 am to 6:00 pm.

Note: the restrictions on the venting of containers above refers to the physical opening of container doors. No containers are to be opened outside of the hours described above unless written approval has been granted by the EPA.

8. The premises must be maintained in a condition that prevents or minimises the emission into the air of air pollutants (which includes dust).
9. All trucks and mobile plant operating within the premises must be fitted (where there is a requirement for such devices to be fitted under the Work Health and Safety legislation) with broad-spectrum reversing alarms.
10. The Proponent must apply for and hold an in-force Environment Protection Licence issued by the Environment Protection Authority prior to the Proponent carrying out any scheduled activities under the *Protection of the Environment Operations Act 1997* as proposed.

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

ATTACHMENT B EPA's SPECIFIC LICENCE CONDITIONS

Limit Conditions:

For each monitoring/discharge point or utilisation area specified in the table below (by a point number), the concentration of a pollutant discharged at that point, or applied to that area, must not exceed the concentration limits specified for that pollutant in the table.

Air Concentration Limits

Point 1

Pollutant	Units of measure	100 percentile concentration limit	Averaging period
Methyl Bromide	grams per cubic metre	48	Instantaneous

Note:

The 100 percentile limit in the table above refers to the maximum concentration of methyl bromide inside each sealed shipping container measured prior to venting.

Operating conditions:

Licensed activities must be carried out in a competent manner. This includes:

- the processing, handling, movement and storage of materials and substances used to carry out the activity; and
- the treatment, storage, processing, reprocessing, transport and disposal of waste generated by the activity.

All plant and equipment installed at the premises or used in connection with the licensed activity:

- must be maintained in a proper and efficient condition; and
- must be operated in a proper and efficient manner.

Dust

Activities occurring in or on the premises must be carried out in a manner that will minimise the generation, or emission of dust from the premises.

Trucks entering and leaving the premises that are carrying loads of dust generating materials must have their loads covered at all times, except during loading and unloading.

Odour

No condition in this licence identifies a potentially offensive odour for the purposes of section 129 of the Protection of the Environment Operations Act 1997.

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

Section 129 of the Protection of the Environment Operations Act 1997 provides that the licensee must not cause or permit the emission of any offensive odour from the premises but provides a defence if the emission is identified in the relevant environment protection licence as a potentially offensive odour and the odour was emitted in accordance with the conditions of a licence directed at minimising odour.

Processes and management

Methyl bromide must be applied at the premises in accordance with the Australian Government department of Agriculture and Water Resource's *Australian Fumigation Accreditation Scheme: Methyl Bromide Fumigation Standard (Version 2.3, August 2015)*.

The licensee must not ventilate (open) more than 10 containers within any one hour.

The venting of containers treated with methyl bromide must be undertaken in accordance with the procedures provided in the 'Air Quality Management Plan' prepared for the premises.

Records of container venting must be made for each batch of containers treated and vented to the atmosphere. The form of the record must be as per the proforma included in the 'Air Quality Management Plan'.

Records of container venting made to satisfy the requirements of the above condition must be kept on site for a period of at least five (5) years.

Monitoring and recording conditions:

For each monitoring/discharge point specified below (by a point number), the licensee must monitor (by sampling and obtaining results by analysis) the concentration of each pollutant specified in Column 1. The licensee must use the sampling method, units of measure, and sample at the frequency, specified opposite in the other columns:

Pollutant	Units of measure	Frequency	Sampling Method
Methyl Bromide	g/m ³	Special frequency 1	Special Method 1

Note:

Special Frequency 1 refers to monitoring for methyl bromide within each fumigated container after the completion of the fumigation period and prior to the venting of each fumigated container.

Special Method 1 refers to the monitoring equipment specified in the Air Quality Management Plan prepared for the premises.

Monitoring Records

The results of any monitoring required to be conducted by this licence must be recorded and retained as set out in this condition.

All records required to be kept by this licence must be:

- In legible form, or in a form that can readily be reduced to legible form;

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

- Be kept for at least 4 years after the monitoring or event to which they relate took place; and
- Produced in a legible form to any authorized officer of the EPA who asks to see them.

The following records must be kept in respect of any samples required to be collected for the purposes of this licence:

- The date(s) on which the sample was taken;
- The time(s) at which the sample was collected;
- The point at which the sample was taken; and
- The name of the person who collected the sample.

Recording of pollution complaints

The licensee must keep a legible record of all complaints made to the licensee or any employee or agent of the licensee in relation to pollution arising from any activity to which this licence applies.

The record must include details of the following:

- the date and time of the complaint;
- the method by which the complaint was made;
- any personal details of the complainant which were provided by the complainant or, if no such details were provided, a note to that effect;
- the nature of the complaint;
- the action taken by the licensee in relation to the complaint, including any follow-up contact with the complainant; and
- if no action was taken by the licensee, the reasons why no action was taken.

The record of a complaint must be kept for at least 4 years after the complaint was made.

The record must be produced to any authorised officer of the EPA who asks to see them.

Telephone complaints line

The licensee must operate during its operating hours a telephone complaints line for the purpose of receiving any complaints from members of the public in relation to activities conducted at the premises or by the vehicle or mobile plant, unless otherwise specified in the licence.

The licensee must notify the public of the complaints line telephone number and the fact that it is a complaints line so that the impacted community knows how to make a complaint.

The preceding two conditions do not apply until 3 months after the date of the issue of this licence.

Reporting conditions:

Annual Return documents

The licensee must complete and supply to the EPA an Annual Return in the approved form comprising:

- a Statement of Compliance; and
- a Monitoring and Complaints Summary.

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

At the end of each reporting period, the EPA will provide to the licensee a copy of the form that must be completed and returned to the EPA.

An Annual Return must be prepared in respect of each reporting period, except as provided below.

Note: The term "reporting period" is defined in the dictionary at the end of this licence. Do not complete the Annual Return until after the end of the reporting period.

Where this licence is transferred from the licensee to a new licensee:

- the transferring licensee must prepare an Annual Return for the period commencing on the first day of the reporting period and ending on the date the application for the transfer of the licence to the new licensee is granted; and
- the new licensee must prepare an Annual Return for the period commencing on the date the application for the transfer of the licence is granted and ending on the last day of the reporting period.

Note: An application to transfer a licence must be made in the approved form for this purpose.

Where this licence is surrendered by the licensee or revoked by the EPA or Minister, the licensee must prepare an Annual Return in respect of the period commencing on the first day of their reporting period and ending on:

- in relation to the surrender of a licence - the date when notice in writing of approval of the surrender is given; or
- in relation to the revocation of the licence - the date from which notice revoking the licence operates.

The Annual Return for the reporting period must be supplied to the EPA by registered post not later than 60 days after the end of each reporting period or in the case of a transferring licence not later than 60 days after the date the transfer was granted (the 'due date').

The licensee must retain a copy of the Annual Return supplied to the EPA for a period of at least 4 years after the Annual Return was due to be supplied to the EPA. Within the Annual Return, the Statement of Compliance must be certified and the Monitoring and Complaints Summary must be signed by:

- the licence holder; or
- by a person approved in writing by the EPA to sign on behalf of the licence holder.

Notification of environmental harm

Notifications (of environmental harm) must be made by telephoning the Environment Line service on 131 555.

Note: The licensee or its employees must notify the EPA of incidents causing or threatening material harm to the environment immediately after the person becomes aware of the incident in accordance with the requirements of Part 5.7 of the POEO Act.

The licensee must provide written details of the notification to the EPA within 7 days of the date on which the incident occurred.

Protection of the Environment Operations Act 1997

General Terms of Approval - Issued



Notice No: 1558945

Written report

Where an authorised officer of the EPA suspects on reasonable grounds that:

- where this licence applies to premises, an event has occurred at the premises; or
- where this licence applies to vehicles or mobile plant, an event has occurred in connection with the carrying out of the activities authorised by this licence,

and the event has caused, is causing or is likely to cause material harm to the environment (whether the harm occurs on or off premises to which the licence applies), the authorised officer may request a written report of the event.

The licensee must make all reasonable inquiries in relation to the event and supply the report to the EPA within such time as may be specified in the request.

The request may require a report which includes any or all of the following information:

- the cause, time and duration of the event;
- the type, volume and concentration of every pollutant discharged as a result of the event;
- the name, address and business hours telephone number of employees or agents of the licensee, or a specified class of them, who witnessed the event;
- the name, address and business hours telephone number of every other person (of whom the licensee is aware) who witnessed the event, unless the licensee has been unable to obtain that information after making reasonable effort;
- action taken by the licensee in relation to the event, including any follow-up contact with any complainants;
- details of any measure taken or proposed to be taken to prevent or mitigate against a recurrence of such an event; and
- any other relevant matters.

The EPA may make a written request for further details in relation to any of the above matters if it is not satisfied with the report provided by the licensee. The licensee must provide such further details to the EPA within the time specified in the request.

General conditions:

A copy of this licence must be kept at the premises to which the licence applies.

The licence must be produced to any authorised officer of the EPA who asks to see it.

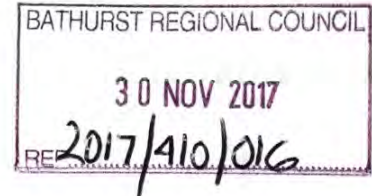
The licence must be available for inspection by any employee or agent of the licensee working at the premises.

Bathurst Regional Council

158 Russell Street,

BATHURST. N.S.W.

REFERENCE D.A. 2017-410 -1 148 Ceramic Ave, RAGLAN.



Dear Sir/Madam,

We the undersigned are writing to council re the above mentioned D.A. business that is to operate at the above premises and make the following submissions:-

1. The application indicates operating hours far in excess of what we describe as being reasonable. We submit that if it goes ahead the business be restricted to Monday to Friday from 7am to 4.30pm - NO WORK TO BE CARRIED OUT ON WEEKENDS.
2. We feel that Ceramic Avenue is not suitable to have 400 truck movements a week because of the width of the road and that the weight of these trucks will destroy the road surface in a short time. Similar evidence exists in the Oberon Council area with logging trucks destroying the road surface.
3. The Traffic report attached to the Development Application lacks total substance for example when trucks are leaving from Ceramic Avenue into the highway loaded with logs on their way to a rail terminal. We feel there is a major problem with vehicles travelling on the Highway as these cars would be approaching the intersection between 80 to 100 kilometers per hour and the log trucks would take considerable distance to reach an acceptable speed limit and then you would have all these trucks entering Raglan and Kelso on their way to a rail head. We feel this has the possibility of causing deaths on this length of public road.
4. The sound of Logging trucks using Ceramic Avenue at present from the timber mill can be heard as far away as PJ Moodie Drive, Raglan at Mr. Lesslie's premises.
5. We submit there would be approximately 400 truck movements from the proposed site and no consideration has been given to the logging trucks that service the Timber mill. We can only assume that truck movements of both companies in Ceramic Avenue would be far in excess than what is expressed in the Development Application. We would request a complete traffic analysis of Ceramic Avenue taking into account both companies that would use Ceramic Drive and trucks entering the Highway.
6. The application deals with a trucking terminal and then it goes onto explain that logs will be fumigated at the site using Methyl Bromide poison that will be pumped into containers using a spear process and then after a period of time the doors are opened to the elements and the gas escapes into the atmosphere. This process is AL SO CARRIED OUT AT KELSO AT PRESENT.
7. We feel that this process is not satisfactory and may affect the health of residents and its possible effect on agricultural crops that grown near bye. Contact has been made with the Environment Protection Bathurst Branch and we were informed that the poison is pumped in as described above and there is provision for the gas to the pumped back out.

DEPB

- 8. The reason why the gas is not pumped back out is extra costs to the owner of the premises.
- 9. We the undersigned request that ALL GAS BE PUMPED BACK OUT OF THE CONTAINER and retained in a cylinder and NOT RELEASED INTO THE ATMOSPHERE.
- 10. That council examine and implement strict control of the current release of Methyl Bromide from existing sites in the Kelso area.

The report submitted to council from G.H.D states that the recommendations based in the report are made on assumptions and not fact., as contained in their document.

We the undersigned request that before this application proceeds further that signed legal undertaking /guarantees be obtained from the operator that in the event of the gas causing death sickness or that it may effect the surrounding lands they will pay all medical and legal costs.

In the event that this D.A. is approved by Council what controls will Council place on the company concerning operating hours and the road Ceramic Avenue, as we believe trucks will use P.J. Moodie Memorial Drive and Melrose Road to get to their truck depot.

We request a reply to this submission and request that if this application is to be brought before a council meeting that we the undersigned be made aware of date and time.

We look forward to your reply on the matters raised.

Your faithfully

1. Denis and Marie Lesslie
8 P J Moodie Drive, Raglan

Marie Lesslie

Denis J.P.

2. Mr. Mrs S and L . Kazmouz
3Melrose Drive, RAGLAN

[Signature]

[Signature]

3. Geoffrey & Frances Wilard
16 LANSDOWNE DRIVE, RAGLAN

[Signature]

FAY JEANET M'KELLAR,
12 LANSDOWNE DRIVE, RAGLAN.

J. M'Kellar

Matt Murphy
14 Lansdowne Av Raglan

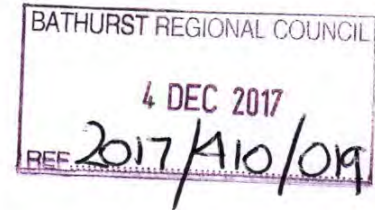
[Signature]

Joe & Pauline MacPherson
6 Lansdowne Drive Raglan

[Signature]

27th November 2017

The General Manager
Bathurst Regional Council
PMB 17
Bathurst NSW 2795



Dear Sir

DA 2017/410
Objection
Proposed: Use of site as transport terminal
Address: 148 Ceramic Avenue, Raglan

We live at 7 Melrose Drive and strongly object to the proposed transport terminal at 148 Ceramic Avenue, Raglan.

In our opinion, the proposed development will affect our lifestyle; will impact on the environment and the Bathurst Community.

The proposal as submitted is not detailed in critical areas and appears to subdue the real number of trucks, environments impact and traffic impact, while we are not experts, a transport terminal is best located near a railway line, rather than the submitted.

Based on the nature of the operation , the air, chemical, noise and traffic pollution. are very concerning

That is the proposed development will have a negative impact on the amenities that we enjoy in this location, on our health, wellbeing, and livelihood.

While the area is zoned for industrial use, this type of proposal brings with it environmental threats and environmental disaster, including air quality, chemical contamination, underground and runoff water contamination, wild life and most important human health.

We wish to raise the following points in strong opposition of the proposal:

The application does not include a Statement of Environmental Effects which we believe is required for every Development Application.

Also we feel the submission has not detailed the real facts such as the number of trucks travelling per day, using stored logs and claiming it to be a dust barrier for the site and ignoring the effects on the safety aspects of the airport.

The associated reports on noise and other, are based of reduced number of trucks, we feel are not relevant given they are based on reduced facts.

RECEIVED

. 4 DEC 2017

BATHURST REGIONAL COUNCIL

1

DEPBS-R

We note no assessment has been undertaken with respect to Councils Local Environmental Plan and Development Control Plan, or any assessment against any State Environmental Planning Policy. A one page attempt falls short of a Statement of Environmental Effects , more in-depth and details are required.

We are at a loss , there isn't a definition of a "transport terminal" under the Local Environmental Plan – so what should it actually be defined as, or how could it be defined?

The application provides no understanding or description of what is actually proposed as part of the application, we find that puzzling, that is, this can be deliberate or otherwise.

The lack of details provided fails to bring to the discussion table assessments the following issue

- How timber is received, processed and dispatched from the site.
- Specific details of the fumigation process on the site.
- Exact hours and days of operation (for each component).
- Staffing details.
- Plant/machines to be used.
- Annual throughput (tonnes of timber and maximum containers).
- Clear truck movements (both timber and container) to correspond to proposed maximum target container volumes per week).
- Are the amenities acceptable to this proposal (including disabled access)

This development is major, the developer should prepare a Traffic Report that demonstrates that the proposed traffic arrangements are within acceptable limits given the width of Ceramic Avenue, and the impact on traffic in and out of the city, especially as the Great Western Highway is only one lane between Ceramic Avenue and the Gold Panner.

We are very concerned that the intersection of Ceramic Avenue and the Great Western Highway will become traffic and accident hotspot, slow trucks going in or out of site will add and reduce the flow by creating a bottleneck on the great western highway.

The lack of critical reports including

- Statement of Environmental effects given the area borders hobby farms where fruits and animals for human consumption given methyl Bromide is used , with no effective solution to the drift of dust and gas on the area.
- A detailed traffic impact study, not only for Ceramic Ave, also the effects on highway traffic leading in and out of Bathurst.

A note on the plans submitted

The plans prepare are inadequate as they fail to clearly depict the proposed detailed activities on the site. They do not clearly indicate the existing and proposed operations/infrastructure on the site.

This is a huge block of land,

What will happen on the rest of the block, this should be clear now and at this stage, this is paramount to the submission so an informed decisions are made and the true environmental damages and quality of life is accessed.

Storm water and runoffs, underground water (artesian water supply)

There is no stormwater management plan submitted with the Development Application. This is critical as using chemical, on continuous basis, in an area where residence have no town water, increased trucks volume possibly leaking diesel and oil will have an impact on the environment especially polluting, or depleating underground water reservoirs.

Contaminated dust management

The applicant has provided no clear plan for dust management on the site. We have an orchards on our site and we are very concerned that dust from the site will smother our fruit consequently spoil the crop.

What measures does the applicant propose to ensure that there are no dust impacts off the site – it appears that this is not possible, please note the site also borders the Airport and the runway.

The site has no town water; using dam water on continuous basis will dry out the dam resulting in killing off the ecology of the dam and affecting the surrounding area.

What is the impact of dust on aeroplanes landing and taking off bordering the site?

They plan to use a stock pile as a way to contain the dust, we believe they should erect a 6 meter fence on our property on the northern , eastern and southern borders, to prevent the dust and noise of trucks.

Air Quality

Given the winds pattern as submitted and the open landscape, dust and other pollutants will affect our and other properties around.

There are still potential air quality impacts on the land across Ceramic Avenue (airport land owned by Council) – even though not used for residential use, all impacts should be demonstrated to be contained to the subject land.

Again, the applicant has not categorically demonstrated that the impacts can be contained on the site.

The Department of civil aviation also has a safety issue and have to approve this super heavy use of the land and its effects on planes and the safety and airport operation..

Noise Report:

There are contradictory statements in the Noise Report that have us very concerned.

1.2 Proposal Description

The proposed timber fumigation site will receive the majority of the timber to site via logging trucks between the hours of 7:00 am and 6:00 pm, Monday to Friday and 7:00 am and 1:00 pm on Saturday, with significantly reduced operations during the evening and night-time periods. It is anticipated that there will be 200 truck movements a week on an even spread, with each movement being one truck movement in and one truck movement out.

The timber will then be loaded into containers on the site and subsequently treated in the containers with methyl bromide by use of a mobile fumigator and left until cleared for safety. The operations on site also include two (2) front end wheel loaders, an 18 tonne forklift and two (2) container handlers.

Fumigation would generally occur during day light hours, however can be undertaken 24 hours a day.

Table 4-1 – Site equipment and sound power levels

Noise Source	Number of items / assumptions	Sound power level dBA
Truck movements in and out of the site	Receive 40 per day period Release 40 per day period Receive 2 per night period Release 2 per night period Over the day or night period, this equates to 1 truck in, turning off during unloading and one truck out within a 15 minute period. Trucks would be travelling and low speeds on-site.	108
Container Handler	2 on site Assumed operating one at a time for 50% of a 15 minute period	104
Wheeled Loader	2 on site Assumed operating for 50% of a 15 minute period	105
Fumigation equipment	Assumed operating for a whole 15 minute period	95
18 tonne Forklift	1 on site Assumed operating for 50% of a 15 minute period	105

4.2.2 Road traffic noise modelling

There is potential for existing sensitive receivers to be affected by an increase in road traffic noise generated by truck movements to and from the proposed site. The target volume for the site is to process 200 containers of timber per week equating to an approximate maximum of 40 truck movements to the site and 40 truck movements from the site each day. This equates to approximately a maximum of 8 truck movements per hour, being 4 truck movements in and 4 trucks movements out. Generally, there will be minimal operations during the night-period, however a maximum of 15 truck movements in and 15 truck movements out during the night-time period has been modelled as a worst-case scenario.

Trucks delivering and releasing timber from the site will use the Great Western Highway and Ceramic Avenue.

To meet a target of transporting 200 containers out of the site per week, there would need to be approximately 380 truck movements per week (that is 380 in and 380 out or a total of

760 trips). This broken down is about 180 log trucks and 200 container trucks (this been on the basis that the container truck would drop off an empty container and pick up a full container in the one trip).

Accordingly, it is considered that the applicant has **significantly underestimated** the traffic generation from this development (they are working on 200 truck movements per week (with one movement including the in and out). As a result, the **noise report should be disregarded** until reliable truck movements are included in the calculations.

It is noted that they have made allowances for up to 15 truck movements per night – but in other parts of the report they have indicated that there may only be a couple of movements. In the absence of the Statement of Environmental Effects, these inconsistencies of operation will occur. A Traffic Report would also be beneficial in this instance.

The recommendations of the noise report are very worrying:

- It appears highly unlikely that truck engines will be turned off since they will only be on the site for a relatively short period of time.
- Whilst they have done assessment of 15 truck movements at night, they recommend that night time operations be limited to 2 truck movements at night – which one is it going to be?
- How can you load or unload trucks at night without the use of a container handler or forklift (which they recommend should not be used)? Clearly they do not have a handle of how this type of development operates.
- It is unreasonable to expect that the log pile (not a permanent structure) be maintained to a height of 3m to ensure compliance with the relevant noise criteria. At the very least, if this is such a problem, there should be a wall constructed to help contain some of the dust and noise. No doubt there will be times where wood supplies are low due to wet weather or other factors outside of the operators control that would mean that they have to use these logs.
- Quite clearly, the noise report recommendations indicate that they are **desperate** to come up with questionable mitigation measures to try and demonstrate compliance.

A Closer look at 760 truck trips per week

Assuming 5.5 days per week @ 8 hours per day

5.5X8 hours = 44 hours

760 trips per 44 hours = 17 trucks per hour , that is one trucks every 3.5 minutes.

Noise and dust at a maximum level.

Even working 12 hour days

12X5 days = 60 hours

760 trips per 60 hours = 13 trucks per hour ,that is one truck every 5 minutes

Again that is more consistent traffic than on the highway to Sydney.

RMS Letter

It is unclear as to whether the RMS have used realistic truck movements as part of the preliminary assessment of the proposal. Are the 400 truck movements stated in the RMS letter the same as the applicants proposed 200 truck movements? Or should it be 760 movements, at any level, Ceramic Avenue is not sufficiently wide enough.

In the absence of a Statement of Environmental Effects and Traffic Report, these concerns will remain.

Given the width of Ceramic Avenue, it's not designed for so many trucks, that is passing trucks will use the dirt shoulders on the road, hence creating more dust pollution and greater noise.

Trucks with trailers either loaded with logs or containers, empty or full, the intersection of Ceramic Ave and Great Western Highway is not plausible as it stands, and is creating a new accident hotspot.

One lane each way from the Gold Panner to Ceramic Ave (approximately 8 Kilo Metres), is not ideal with extra slow trucks clogging traffic flow to and out of the city of Bathurst.

As stated earlier, we are concerned that the intersection of Ceramic Avenue and the Highway will become an accident hotspot. Council must remember that there will be Fully laden semi trailers with containers on their trailers trying to do a right hand turn back towards Bathurst affects the safety of the community as a whole and the area residence traffic in particular.

Air Quality Report

Appears that the airport land is affected and impacts are not restricted to the site. Civil Aviation, should be involved to ensure the effects of the drift does not compromise the safety to planes and passengers.

Council and the EPA need to make the applicant demonstrate beyond any doubt that impacts will be restricted to the site. Please note the wind report showing the drift in our direction

Protecting our interest.

Our property is the most affected; we are sacrificing our health, the quiet and clean environment, the crops, now we are facing a traffic of 760 heavy double trucks per week, stirring dust from the road side, creating continuous noise, a plant using chemicals and uncontrollable leak of chemicals in the air and eventually into the soil.

While we hope the Council will reject this project, a six meter high wall at the expense of the applicant may help reduce the noise and pollution along our northern Eastern and Southern fences, to hold back the noise and potential dust and contaminants.

We drink tank rain water, stirred dust and chemical deposits on the roof which will directly affect our health and wellbeing. The deposits are pollutant to trees and grasses and other natural birds and bees that help with the farm ecology.

There is no town water on this site, a major council project.

Methyl bromide is a deadly chemical in cattle lick, bees that pollinate fruit trees on our farm, in particular our cherry fruit. Cherry fruit skin are affected by methyl bromide, that affects the quality of the fruit. Please note other farms in the area also have beef cattle sold for human consumption.

Request:

We wish the Bathurst Council upholds our request to reject this proposal as it will create harm to the nearby residents, introduce a high level of noise, dust, chemical pollution, introduce an environmental imbalance and will create traffic bottleneck and accident black spot and creates traffic congestion in and out of town. The project does not provide more employment to Bathurst; hence no economic gains.

Such a project is more suited next to the railway track rather than near the airport.



George and Sue Jahjah
7 Melrose Drive
Bathurst NSW 2795

30th November 2017



DA 2017/410
Objection

**Proposed: Use of site as transport terminal
Address: 148 Ceramic Avenue, Raglan**

The General Manager
Bathurst Regional Council
PMB 17
Bathurst NSW 2795

Dear Sir Madam

Thank you for advertising in the local media.

I wish to record my objections to this development based on introduced extra traffic of log trucks on the highway.

The log truck are a danger to spread to the highway, I am concerned as they cause a lot of accidents between Oberon and Bathurst, this proposal will further extend traffic accidents to the Great Western Highway.

Ceramic Avenue a street off the high way just beyond say 10 KM of single lane between the new round about (near Harvey Norman) and the point of turning in to the proposed development.

The proposed will cause bank ups on the highway to Sydney, and into town, trucks with heavy loads and trailers are slow and will cause a bottle neck.

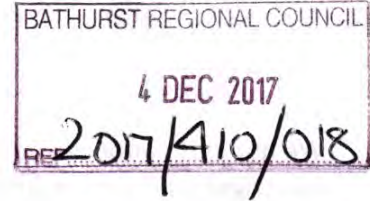
The developers should build a dual lane at own expense between the new roundabout and Ceramic Ave, should they wish to proceed, and build at own expense a roundabout at the intersection, this will prevent accidents in both directions and help ease traffic in that area.

Thank you again

A HANNA
70 Rocket Street
Bathurst NSW 2795

DEPBS

1st December 2017



Att: Andrew McIntyre

☞ Roads and Maritime Services
51-55 Currajong Street
Parkes NSW 2870

Dear Sir,

Re: Your Letter dated 21 September 2017, SF2012/000744; WST17/00146

DA 2017/410 Proposed use of site as a transport terminal, 148 Ceramic Avenue, Raglan

We live at ^{7 Melrose Drive} ~~148 Ceramic Avenue~~ and we strongly object to the proposed transport terminal.
^{Raglan}

The applicant has significantly underestimated the traffic generation from this development and we request that you review your letter dated 21st September.

Based on the applicants target of 200 containers per week, there would need to be approximately 380 truck movements per week (that is 380 in and 380 out, giving you a total of 760 trips). This broken down is about 180 log trucks and 200 container trucks, (the truck movements could be higher as this has been on the basis that the container truck would drop off an empty container and pickup a full container in the one trip).

Accordingly we would like to point out the following;
(please refer to attached google map)

- The intersection is in the 100km zone of Sydney Road (Great Western Highway)
- There is no provision for merge lane from Ceramic Ave onto Sydney Road
- All of the trucks will be turning right from Ceramic Ave onto Sydney Road from a standing start into a 100 km / hour zone.
- The proposed 200 containers per week, each container weighs approximately 30 tonne gross
- The combined weight of the truck, trailer and container will be approximately 45 tonne
- **PLEASE EXPLAIN HOW 45 TONNE GROSS VEHICLE WILL GO FROM A COMPLETE STOP AND TURN ONTO A MAJOR HIGHWAY WITH A SPEED LIMIT OF 100KM/h WITH NO MERGE LANE ?**

Mr McIntyre we strongly believe that the application needs to be reviewed and in the interest of public safety and to avoid the potential of a fatal disaster the following precautions should be considered for this intersection;

1. Installation of Traffic Lights
2. Installation of Round About
3. Installation of merge lane and reduce the speed limit to a minimum of 60 km/h

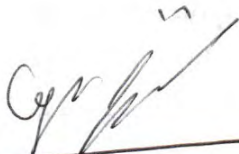
RECEIVED

. 4 DEC 2017


DEPBS-R

We hope this information is of assistance and we trust that you and your department will investigate this matter further.

Yours Sincerely



George Iahyah



Soad Iahyah

Cc General Manger
Bathurst Regional Council
Private Mail Bag 17
BATHURST NSW 2795

RECEIVED
21 DEC 2018

2017/410/034

DISCUSSION FORUM

DETAILS: DEVELOPMENT APPLICATION FOR TRANSPORT DEPOT

DATE: 21 DECEMBER 217

PRESENT: NEIL SOUTHORN (NS), LUCIE BARNETT (LC), DEREK LARNACH (DL), ESTELLE LARNACH (EL), PAULINE MCPHERSON (PM), DENNIS LESSLIE (DLES), JEFFERY WILLARD (JF)

FILE: 2017/410

Meeting Opened: 3.03pm

NS: Opened meeting, Development Application (DA) lodged by Grainforce and here to discuss the objections. Asked all present to introduce themselves.

DL: Summarised proposal and reason need to relocate to a new site. Grainforce runs a train 4-5 times a week to Sydney, timber is shipped to China via shipping containers. Usually 100 containers per week. The reason we have to move is because the packer employed no longer wants to do it. We looked around Bathurst for sites.

DLES: Is there fumigation at the current site?

DL: Yes that is part of it, the contractor who does it no longer want receive logs and fumigate it.

DLES: So you sublease to another company?

ES: There is four stages.

1. Packer, involves fumigation.
2. Rail terminal
3. Rail provider
4. Exporter

DLES: So each function is contracted?

NS: This is the business structure and not particularly relevant to the proposal before Council.

PM: Why can't you do it at Cardiff Place?

ES: They don't want to and have leased it to someone else.

- DLES: It was actually a financial falling out.
- NS: That is not relevant to the proposal.
- DL: The entity at Cardiff Place no longer wants to undertake packing and fumigation so we need to pack and fumigate ourselves. About 110 containers a week.
- JW: Upped 10 containers already.
- DL: DA is proposed for 200 containers to be conservative. The average is 110 containers. There will be some big days and some small days. The loads will be placed on concrete and fumigated, as a part of the packing process. EPA imposes very strict regulation.
- DLES: I have two issues. Firstly the DA is flawed from the start, the terminology is wrong, fumigation mentioned later in the reports and it presents a cover up. The problem with methyl bromide gases is the effect on humans and the environment. I suggest Council do some studies and soil testing. I have been to EPA and there is certain criteria that you have to meet, the Australian Government issues a licence. EPA said it dissipates into the atmosphere which is not OK with me. EPA says you can put gas into a holding tank and Council should make enquiries, what would happen if gas got to my place, and got me sick, or my wife sick. Will you undertake a written statement that Grainforce will pay legal and health costs. Second issue is traffic assessment is lacking. 200 trips per day does not take into account timber place next door. Ceramic Ave could not accommodate two passing trucks. It is a black spot waiting to happen. Council should not have accepted application. I worked on South Coast and have a lot to do with traffic problems and impacts of black spots. The traffic report is not acceptable. Council will have to consider this.
- NS: I want to disagree with any cover up claim. Council is obliged to accept DA, even if it is incomplete. Council accepts DA and assesses the information. Council can then request further information. Council refers to RMS and some of the impacts you raised were also raised by RMS. Further, we can impose conditions of operation.
- DLES: I have had DA's before rejected by Council. There are so many reports to provide. The expert reports for this DA are based on assumptions.
- NS: The documents submitted are under assessment. EPA requires a licence and Council staff will rely on EPA requirements. Should it be approved, conditions will be imposed in relation to operation.
- DLES: I accept people need to make a living, the gas releases into the environment and Council should have done soil testing.

- DL: EPA are so strict. I do not like chemicals, but this chemical is a requirement by the Government. I try to reduce chemical use as much as I can. The assumptions are put in the reports by the consulting companies. We need to have records, monitoring and we don't want to harm our staff, people working on site. We don't want to put them at risk.
- DLES: What has Council done about taking soil samples and getting tests?
- DL: At the Cardiff site it is another company that does it. I rang EPA to get understanding of the operations of Cardiff Place, Newcastle, Goulbourn etc. The licencing imposes the criteria for operation and I can't do more than what it says or I will get fined.
- DLES: There are alternatives than using this chemical. It is banned in the United States.
- DL: I don't want to use it, I have to.
- DLES DA says it's a truck depot, it is not.
- NS: It needs to use a definition of the legislation. It has not been concealed in the documentation that fumigation is a part of the process.
- PM: I am concerned about traffic.
- JW: It will devalue our land.
- PM: There is an orchard nearby, that's their livelihood too.
- DLES: People don't want it.
- NS: It was advertised in the paper and to adjoining landholders, exhibition period for thirty days. The submissions received form part of the assessment.
- LB: Council's procedure is to notify to directly adjoining landholders. It was put in the paper because it is integrated development, and requires consent from Council and EPA.
- DLES: What is Council going to do about the road.
- NS: Council is in discussions with RMS, and if necessary applicant may be required to upgrade the road.
- DLES: Hours of operation, I object to operation on weekends. Will it be assessed by the State?
- NS: No it did not trigger those requirements.

- DL: It will not operate 24 hours a day, we put the hours of operation proposed in as a precaution, in case trucks come in late. A truck driver cannot work 24/7. It involves cutting stuff from the forest. The forester knocks off mid-afternoon so there is no one to load the trucks.
- DLES: Operational hours are too long. I don't care about if a truck breaks down, they should not be coming in after hours. People are against this, you need to ask them all. They are too scared to come forward.
- NS: Council does not knock on individual doors. Mr Lesslie, are you agreeable subject to conditions imposed.
- DLES: No, the application lacks so much detail.
- JW: Why weren't Councillors aware. I've spoken to Councillors who are not aware.
- NS: Today is about talking through the issues. If you remain dissatisfied, the application will be put before the Council meeting with a report and recommendation from Council staff. In the lead up to the meeting, Councillors will be invited on a site visit to get a feel for the area, road etc.
- JW: Why is this an industrial zone, wasn't the purpose to centralise industrial zones.
- NS: There is an existing industrial use and industrial zoning has been placed on the land.
- DLES: I want this to go to the next Council meeting to be discussed.
- NS: Council meeting will provide another opportunity to speak.
- DLES: Would be interesting to see what soil samples are taken.
- NS: Closed meeting after inviting any closing comments.
- Meeting Closed: 3.55pm



N Southorn
DIRECTOR
ENVIRONMENTAL, PLANNING & BUILDING SERVICES



25 Stockland Drive, Kelso

~Proposed Container Terminal

SUPPORTING DOCUMENTATION ~ DA2017/410 ~ DATED 11TH JANUARY, 2018

The following detail is a combined report on the information supplied in response to queries raised; in relation to the Grainforce Development Application for 148 Ceramic Avenue.

For clarity this report notes the questions that have been raised by various parties and the responses supplied by Grainforce; as detailed in the following: -

1 ~ Nominate peak hours for light vehicles; specify the time (i.e. the actual hours)

Ans: Light traffic peak hours will typically be at the start of the shift; 0630 to 0730 hours & at the finish of the shifts; 1630 to 1730 hours.

2 ~ - What is meant by A-double articulated vehicles? A-doubles are usually 36.5 m long which don't have access at this location. please specify the truck lengths.

Ans: In previous correspondence an incorrect reference was made to A-double articulated vehicles, which was technically incorrect. In the trucking industry, sometimes B-doubles are referred to as “mini A-doubles”; this is why this question was raised. The specific truck lengths shall in fact not exceed 26m & are referred to as B-doubles. e.g. Semitrailer B-doubles, six axle & up to nine axle; will be the maximum configurations utilised.

COMMON B-DOUBLE COMBINATIONS - CLASS 2			
20		7 Axle B-double	≤ 19.0
21		8 Axle B-double	≤ 26.0
22		8 Axle B-double	≤ 26.0
23		9 Axle B-double	≤ 26.0

3 ~ Nominate the peak hours and the maximum number of vehicles during these periods.

Ans: Peak Hour for Light traffic in the morning will be 0630 to 0730 hours and at the finish of the shifts; 1630 to 1730 hours. There will be approximately nine vehicles associated with light traffic (site staff). Heavy vehicles during the peak hour(s), which is the average number of Grainforce trucks at either hour, are anticipated at being eight #truck per hour [# covers log and container trucks].

4 ~ What will be the product origin and destination.

Ans: The timber will be generated from pine forests which are located within a 100k radius of Bathurst. The intended destination for the logs will terminate at 148 Ceramic Avenue.

5 ~ What are the intended travel routes.

Ans: The travel routes will typically be from an east & westerly direction to and from the work site.

6 ~ Materials to be transported and vehicle types used for transport.

Radiator Pine logs will be received at 148 Ceramic Avenue loaded on semi, B-double articulated trailers.



7 ~ What will be the expected Traffic volumes, both proposed and cumulative (Cumulative traffic volumes are to include existing background traffic on Ceramic Avenue and the Great Western Highway).

Ans: Proposed by Grainforce: 250K Tonnes of logs / year; this equates to app. 400 trucks per week; this covers timber loads inward & dispatched containers. Current: Allied Timber Products: 90K Tonnes of logs / year; this equates to 125 trucks per week; which also covers receipts & dispatches. Cumulative: Grainforce & ATP will be transporting approximately 340K Tonnes / year into the Ceramic Avenue site. The Grainforce logs are currently being trucked in & out of Cardiff Place, Kelso; this will change to Ceramic Avenue when our proposal receives approval.



It can be noted that very little residential traffic will be impacted as they have access to Melrose Drive & P J Moodie Memorial Drive re access to & from the highway.

8 ~ Measures to be employed to ensure a high level of safety for all road users interacting with construction and operational traffic.

Ans: Construction will be negligible; the site is an established brick works which was capable of producing thirty million bricks per year, which equates to eighty thousand bricks per day. As far as we can ascertain, this site was able to operate twenty-four hours a day, seven days a week. Please note that this site ceased operation twelve years ago when the production was transferred to another location in Sydney.

Grainforce is very strict in regard to OH&S for their employees & the public. Grainforce drivers are very experienced & receive extra training as required; an example being in coupling & uncoupling [ref. PROC-021; copies available on request]. They also undergo detailed inductions on joining the company. Grainforce also ensure we work within the guidelines & adhere to the National Heavy Vehicle Regulations. The log delivery trucks follow a code of conduct via their company code of conduct as provided by the National Heavy Vehicle Regulator.

9 ~ Detail any over size and over mass vehicles and loads expected for the construction and operation of the project.

Ans: There will be no over size or over mass vehicles or loads required or used for construction & or the operation, at 148 Ceramic Avenue. {Whilst not applicable local council has approved HML on Ceramic Avenue for Grainforce; this has been in force for many years for the adjoining business i.e. ATP}

10 ~ Identify temporary and permanent staff numbers.

Ans: We anticipate employing six permanent staff & three casuals at 148 Ceramic Avenue.

11 ~ Approach to Local conditions that may affect road safety during construction and operation of the project (e.g. fog, wet weather, etc.) and appropriate measures to mitigate the impacts of such conditions.

Ans: Grainforce hold safety as a high priority with our drivers & as such they are trained & well experienced in safe driving requirements when encountering reduced visibility from fog & or slippery conditions from rain.

We note that we will instruct all drivers to be especially careful at the two intersections; being at the highway & the Melrose Drive T intersection.

12 ~ Identify projected traffic volumes generated from maintenance and deliveries.

Ans: Traffic volumes have essentially been addressed above; we estimate very little additional traffic movement from maintenance & associated deliveries. At most there may be one or two maintenance vehicle movements per work day.

13 ~ · Details of vehicular access locations, intersection treatments and public roads used to access the site by, are to be identified and be in accordance with Austroads Guide to Road Design, including safe intersection sight distance.

Ans: Given the intersection was initially designed for heavy transport & high use from the brick works, it continues to offer safe entry & exit points from & to the highway [as detailed below in the attached photo]. Furthermore, we believe this to have preliminary approval; as per correspondence [ref. No: SF2012/000744;WST17/00146 Dated 21 Sept. 2017] ; copies available on request.

Ceramic Avenue is a sealed road which again has been constructed to handle heavy transport.



End of the report.....



16 January 2018

SF2017/287446; WST17/00203

General Manager
Bathurst Regional Council
Private Mail Bag 17
BATHURST NSW 2795

Dear Sir

DA2017/410: Lot 1 DP806465; Ceramic Avenue, Raglan; Transport Terminal

Thank you for your email on 11 January 2017 referring DA2017/410 to Roads and Maritime Services for comment. I note DA2017/410 has been referred to Roads and Maritime pursuant to section 104 of *State Environmental Planning Policy (infrastructure) 2007*.

The documentation submitted in support of the proposal has been reviewed. Roads and Maritime notes development related peak traffic generation hours are between 6:30am – 7:30am and 4:30pm – 5:30pm, with nine light and eight heavy vehicles operating on roads during these times. It is also noted the longest vehicle accessing the site will be 26 metres in length, with no over size or over mass vehicles.

The existing treatments at the intersection of the Great Western Highway (HW5) and Ceramic Avenue are adequate to accommodate traffic generated by the proposal and Roads and Maritime will not object to the proposed modification and makes no submission.

Please forward a copy of Council's determination of the development application to Roads and Maritime at the same time it is sent to the applicant. Should you require further information please contact the undersigned on 02 6861 1453.

Yours faithfully

Andrew McIntyre
Manager Land Use Assessment
Western Region

Roads and Maritime Services

51-55 Currajong Street Parkes NSW 2870 | PO Box 334 Parkes NSW 2870 | DX20256
T 02 6861 1444 | F 02 6861 1414

www.rms.nsw.gov.au | 131 782



Grainforce Pty Ltd
Grainforce Methyl Bromide Fumigation
Air Quality Assessment

December 2017

Table of contents

1.	Introduction.....	1
1.1	Overview	1
1.2	Proposal description.....	1
1.3	Scope of this report	1
1.4	Limitations	2
2.	Existing environment	3
2.1	Study area and surrounding land uses.....	3
2.2	Sensitive receptors.....	3
2.3	Ambient air quality.....	3
2.4	Local meteorology.....	5
3.	Air quality assessment criteria.....	7
4.	Assessment of impacts	8
4.1	Dispersion modelling methodology.....	8
4.2	Model configuration.....	13
4.3	Predicted air quality impacts	14
5.	Recommendations	17
5.1	Site specific mitigation measures.....	17
5.2	General mitigation measures	21
6.	Conclusion.....	22
7.	References	23

Table index

Table 2-1	Annual and seasonal day time wind rose charts, Bathurst, NSW 2014.....	5
Table 3-1	Impact assessment criteria.....	7
Table 4-1	Hourly emission rates and calculation procedure.....	13
Table 4-2	Predicted 99.9 th percentile methyl bromide concentration levels at site boundary (Container area 2).....	15
Table 4-3	Predicted 99.9 th percentile methyl bromide concentration levels at site boundary (Container area 3).....	16
Table 5-1	Summary of recommended site specific mitigation measures.....	20

Figure index

Figure 1	Proposal location, site layout and surrounding land uses.....	4
----------	---	---

Figure 2	Methyl bromide sorption rates	11
Figure 3	Measured decay of methyl bromide concentration in a vented container (Source: GHD, 2014 and GHD, 2016)	12
Figure 4	Container area 2 exceedances: Wind direction and speed.....	18
Figure 5	Container area 3 exceedances: Wind direction and speed.....	18

Appendices

Appendix A – Methyl bromide monitoring results (GHD 2014)

Appendix B – Ausplume output file

Appendix C – Methyl bromide guideline

Appendix D – Methyl bromide Safe Work Australia Information Sheet

Appendix E – Stability classes

1. Introduction

1.1 Overview

GHD Pty Ltd (GHD) has been engaged by Grainforce Pty Ltd (Grainforce) to prepare an air quality impact assessment of timber log fumigation using methyl bromide (referred to as 'the proposal'). The proposal site is located at 148 Ceramic Avenue, Raglan, NSW ('the site').

This assessment has been undertaken with consideration to the NSW EPA *Approved Methods for Modelling and Assessment of Air Pollutants in NSW, Department of Environment and Conservation (2016) (Approved Methods)*. A level 2 impact assessment using site-representative meteorological data has been undertaken.

1.2 Proposal description

The proposal site will receive the majority of the timber via logging trucks between the hours of 7:00 am and 6:00 pm, Monday to Friday and 7:00 am and 1:00 pm on Saturday, with significantly reduced operations during the evening and night-time periods.

Fumigation would occur in the north-east areas of the site during the daylight hours (preferably late afternoon) with airing to occur the following afternoon/overnight. Approximately 200 containers will be fumigated per week with a maximum of 35 containers fumigated per day.

The rate of fumigation is proposed to be equivalent to 72 g/m³ at 10 degrees Celsius in accordance with the AFAS *Methyl Bromide Fumigation Standard – Version 2.3* (Department of Agriculture, 2015).

1.3 Scope of this report

The scope of work undertaken by GHD for the assessment of odorous air emissions from the site was as follows:

- Review of project information
- Determination of the quantities of methyl bromide used in the treatment
- Calculation of an emission rate of methyl bromide once the fumigation containers are opened
- Modelling odour dispersion using AUSPLUME to determine the predicted methyl bromide concentrations onsite and off-site in accordance with *Approved Methods for Modelling and Assessment of Air Pollutants in NSW*
- Comparison of the predicted levels to relevant criteria
- Recommending potential odour mitigation measures.

1.4 Limitations

This report: has been prepared by GHD for Grainforce Pty Ltd and may only be used and relied on by Grainforce Pty Ltd for the purpose agreed between GHD and the Grainforce Pty Ltd as set out in section 1.3 of this report.

GHD otherwise disclaims responsibility to any person other than Grainforce Pty Ltd arising in connection with this report. GHD also excludes implied warranties and conditions, to the extent legally permissible.

The services undertaken by GHD in connection with preparing this report were limited to those specifically detailed in the report and are subject to the scope limitations set out in the report.

The opinions, conclusions and any recommendations in this report are based on conditions encountered and information reviewed at the date of preparation of the report. GHD has no responsibility or obligation to update this report to account for events or changes occurring subsequent to the date that the report was prepared.

The opinions, conclusions and any recommendations in this report are based on assumptions made by GHD described in this report. GHD disclaims liability arising from any of the assumptions being incorrect.

GHD has prepared this report on the basis of information provided by Grainforce Pty Ltd and others who provided information to GHD (including Government authorities), which GHD has not independently verified or checked beyond the agreed scope of work. GHD does not accept liability in connection with such unverified information, including errors and omissions in the report which were caused by errors or omissions in that information.

2. Existing environment

2.1 Study area and surrounding land uses

The site is located within the Bathurst Local Government Area in an area zoned IN1 – General Industrial, approximately 7 kilometres east of Bathurst and approximately 1 kilometre north-east of the Bathurst Regional Airport. Road access to the site is via Ceramic Avenue from the south.

The proposal location and surrounding land use zones are shown in Figure 1.

2.2 Sensitive receptors

A sensitive receptor is defined in the EPA Approved Methods as a location where people are likely to work or reside; this may include a dwelling, school, hospital, office or public recreational area.

The nearest residential sensitive receptor is located at 7 Melrose Drive, over 450 m from the proposal.

Buildings and facilities at the Bathurst Regional Airport are located over 1 km from the site. The land immediately adjacent the site is within the airport buffer zone and not an area where people regularly work. Short-term maintenance activities may occur occasionally such as lawn mowing.

2.3 Ambient air quality

Detailed ambient air quality data for the area surrounding the site was not available at the time of this assessment.

A review of the National Pollutant Inventory (NPI)¹ revealed that there are no scheduled premises operating in the study area (within 1 km of the site).

Emissions of particulate matter, nitrogen oxides, carbon monoxide and volatile organic compounds are expected to be generated from sources such as local road traffic (e.g. from Ceramic Avenue to the north and west). However, the emissions from these sources are expected to be well below the criteria outlined in the air quality guidelines.

No other ambient air data was available for the study area.

¹ The NPI is maintained by the Department of the Environment, <http://www.npi.gov.au>



© Department of Finance, Services & Innovation 2017

LEGEND

- Site Layout
- Lot Boundary
- IN1 General Industrial
- RU1 Primary Production
- SP2 Infrastructure

Paper Size A4

0 25 50 100 150 200

Metres

Map Projection: Transverse Mercator
Horizontal Datum: GDA 1994
Grid: GDA 1994 MGA Zone 55



Grainforce
148 Ceramic Avenue, Raglan

Job Number	21-26727
Revision	0
Date	21 Sep 2017

Proposal location, site layout and surrounding land uses

Figure 1

G:\2126727\GIS\Maps\Deliverables\21_26727_2005_Site_Layout.mxd Level 15, 133 Castlereagh Street Sydney NSW 2000 T 61 2 9239 7100 F 61 2 9239 7199 E sydmail@ghd.com.au W www.ghd.com.au

© 2017. Whilst every care has been taken to prepare this map, GHD and SIXMAPS make no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and cannot accept liability and responsibility of any kind (whether in contract, tort or otherwise) for any expenses, losses, damages and/or costs (including indirect or consequential damage) which are or may be incurred by any party as a result of the map being inaccurate, incomplete or unsuitable in any way and for any reason.

2.4 Local meteorology

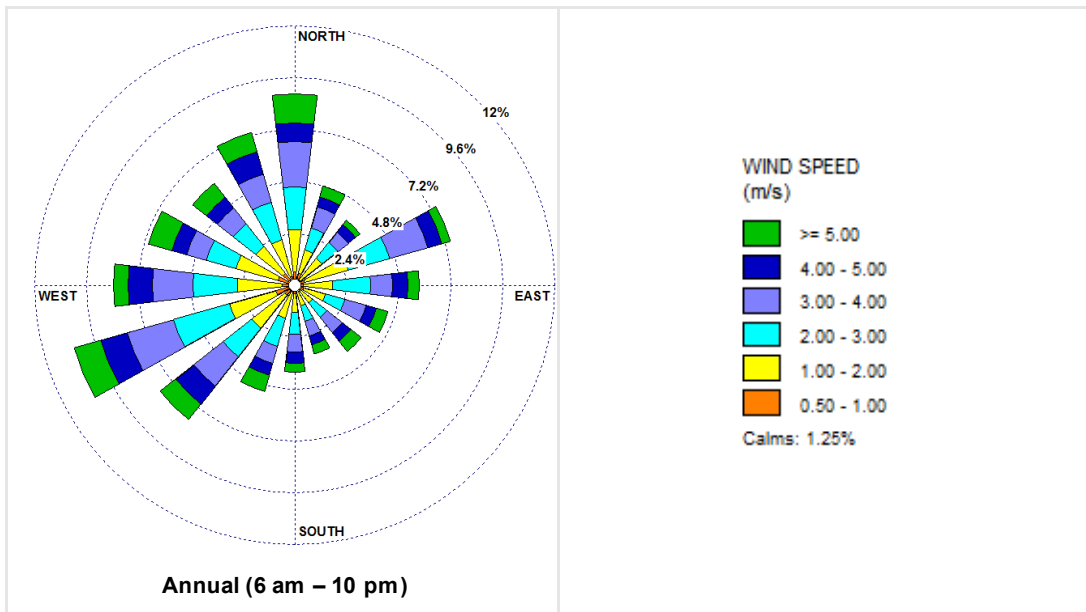
The transport and dispersion of the air emissions from the proposal will be influenced by prevailing synoptic flows and vertical temperature profiles that will alter both diurnally and with wind direction.

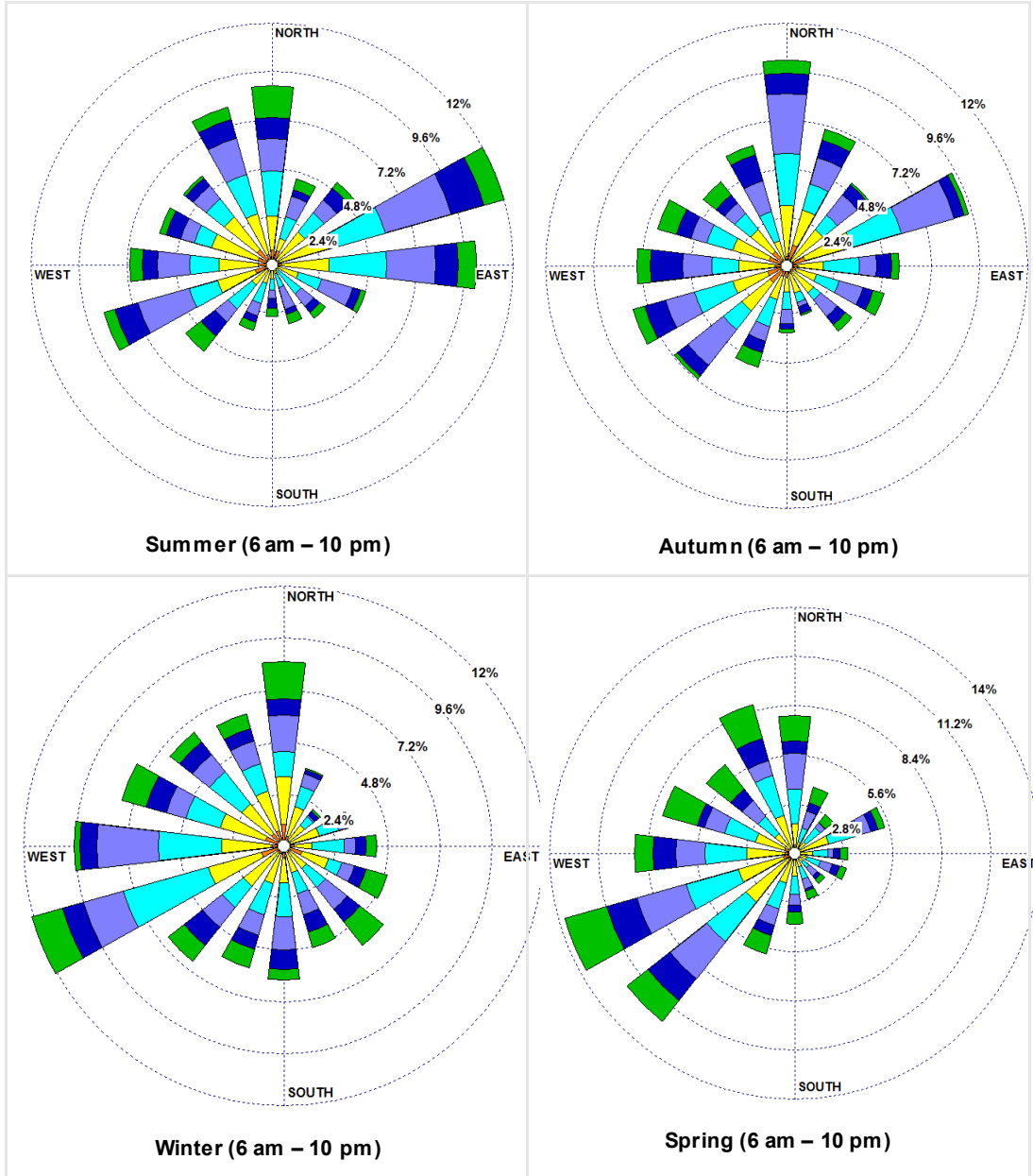
Meteorological data was obtained from the Bureau of Meteorology’s Bathurst Airport Automatic Weather Station (AWS), located approximately 1 km west of the site. Weather data collected at this location is considered to be representative of weather conditions at the subject site for the purposes of this assessment.

The meteorological data for the past five years (2012-2016) was collected and correlated from the AWS to gain an understanding of the prevailing weather conditions in the area. A representative modelling year (2014) was selected based on the year closest to the five yearly average conditions.

Table 2-1 shows the annual and seasonal wind climate in the area during the day time period for the selected modelling year (2014). During summer and autumn, the prevailing winds are from the north, north-east and south-west. During winter and spring, the prevailing winds are from the south-west.

Table 2-1 Annual and seasonal day time wind rose charts, Bathurst, NSW 2014





3. Air quality assessment criteria

The *Protection of the Environmental Operations Act 1997* (POEO Act) is administered by the NSW EPA and sets licencing requirement for new or existing premises. Part 1, Clause 44, Schedule 1 of the POEO Act is considered relevant to the proposal as it applies to 'Wood preservation'.

Air quality impact assessment criteria are prescribed within the *Approved Methods*. The impact assessment criteria applicable to the proposal are provided in Table 3-1.

Table 3-1 Impact assessment criteria

Pollutant	Averaging Period	Criteria*	Applicable location
Methyl bromide	1 hour	0.35 mg/m ³ 0.09 ppm	At and beyond the site boundary

* Total impact (Incremental impact plus background)

Workplace exposure standards for methyl bromide are provided by Safe Work Australia's *Workplace Exposure Standards for Airborne Contaminants* (2013) as a time-weighted average concentration limit of 5 ppm (19 mg/m³) over an 8-hour work shift.

Additionally, the concentration considered Immediately Dangerous to Life or Health (IDLH), as published by the National Institute for Occupational Safety and Health (NIOSH) (DHHS) (Publication No. 90-117) is also relevant to methyl bromide². This document specifically refers to:

- the acute respiratory exposure that poses an immediate threat of loss of life;
- immediate or delayed irreversible adverse effects on health; or
- acute eye exposure that would prevent escape from a hazardous atmosphere.

The original IDLH concentration value of methyl bromide was considered to be 2,000 ppm, however this was revised by NIOSH in 1995 to be 250 ppm. The limit of this IDLH concentration should be considered during the ventilation process to ensure staff are not exposed to dangerous instantaneous levels.

² <http://www.cdc.gov/niosh/idlh/74839.html>

4. Assessment of impacts

4.1 Dispersion modelling methodology

The primary air pollutant of concern associated with the proposal will be methyl bromide. Dispersion modelling was conducted to predict the ground level concentrations of methyl bromide resulting from the proposed fumigation of containers on site.

The predicted concentrations were assessed against the criteria prescribed in Section 3 of this report.

Dispersion modelling of air requires, first, the selection of an appropriate model, and then the selection of three general types of input. These are:

- Hourly site-specific or site representative meteorological data for a period of not less than one year
- Source characterisation (which includes emission rate inventory and source geometry)
- Model configuration – in which the various model settings are selected to best characterise the physical processes specific to the site and to make best use of the available emissions and meteorological data.

Additional details regarding these inputs are provided in the following sections.

4.1.1 Choice of model

The AUSPLUME plume dispersion model (version 6.0) was used in this assessment. AUSPLUME is a steady-state Gaussian plume model that can be used to predict off-site pollutant concentration for a wide variety of sources and approved for use by the EPA.

AUSPLUME is considered to be a suitable model for this assessment as there are no additional issues with complex terrain or excessive 'calm' conditions (as per Section 6.2 of the *Approved Methods*).

4.1.2 Meteorology

A meteorological file was created for AUSPLUME with consideration to the *Approved Methods* in accordance with the Level 2 impact assessment method.

The 2014 Bathurst Airport meteorological data was considered representative of site conditions and used to prepare the AUSPLUME meteorological file, which included the following:

- Wind speed (m/s)
- Wind direction (degrees)
- Ambient temperature (C)
- Atmospheric stability class (refer to Appendix E), calculated in accordance with the *Approved Methods*
- Mixed layer height (m), calculated in accordance with the *Approved Methods*.

4.1.3 Emissions inventory

Methyl bromide is a toxic air pollutant commonly used for fumigating goods such as timber in cargo containers prior to export. Methyl bromide is a colourless, odourless gas that is heavier than air. It is a gaseous pesticide used to completely fill a container to control pests such as insects, rodents or fungi. This is common for export/import, for timber and agricultural goods such as grains, as controlled by the Australian Customs and Border Protection Service.

The Australian Government Department of Agriculture's (DA) The Australian Fumigation Accreditation Scheme (AFAS) *Methyl Bromide Fumigation Standard*, Version 2.3 (August 2015) provides mandatory conditions that must be achieved and actions which must be undertaken by a fumigator when using methyl bromide. The DA standard also provides information that may be helpful to a fumigator in achieving the mandatory requirements.

The DA standard provides mandatory concentration requirements for methyl bromide used for timber fumigation as:

- 48 g/m³ at 21°C for a 24-hour period at normal atmospheric pressure
- For each 5°C the temperature is expected to fall below 21°C, 8 g/m³ must be added to the dosage, unless otherwise specified by DA. For example, during winter, at 10°C the concentration requirement would be 72 g/m³.

It is understood that the fumigation on site will be completed on a daily basis (Monday to Saturday) between the hours of 6 am to 9 pm (Monday to Friday) and 7 am to 1 pm (Saturday). Up to 35 containers will be fumigated each day (200 per week) with a proposed worst-case fumigation dosage of 72 g/m³. This is a worst-case fumigation dosage that would only occur in Winter when the temperature is 10°C or lower, however has been conservatively been assessed as occurring all year.

The containers will be located outside in the container areas shown in Figure 1. The exact arrangement of the containers on site is currently unknown. For modelling purposes, the containers have been assumed to be arranged in two rows with openings facing inward.

Based on GHD's understanding, the process of filling the containers with methyl bromide is a closed system and negligible emissions to the atmosphere should occur during the filling process. The process also requires the containers to be sealed, with minimal leakage, at the time of filling and for the ensuing hours.

It has been assumed that monitoring of methyl bromide concentrations at the start, midpoint and end is completed using sealed systems and does not involve a release of methyl bromide to the atmosphere. This is so as to conform to the DA standard.

The proposal will require the containers to remain sealed for a 24 hour period. Once the containers are left for a 24 hour period, they are checked to ensure satisfactory concentration levels of methyl bromide remain. The containers are then opened and ventilated. The DA guideline requires a minimum of 30% of the original concentration to remain after a 24-hour period. Ventilation of the containers must be conducted so that the workplace exposure standard of 5 ppm for methyl bromide is not exceeded outside the risk area. A risk area of 3 metres is required by the DA standard for fumigation enclosures in the open and has been adopted for this proposal.

Emissions of methyl bromide to the atmosphere will occur only when the containers are opened for ventilation. The following assumptions have been made for the purposes of estimating emissions of methyl bromide. These assumptions have been made in order to represent a worst-case scenario:

- 10 containers will be opened for ventilation at the same time
- The initial methyl bromide dosage will be 72 g/m³
- All containers will naturally ventilate to the required concentration of 5 ppm of methyl bromide over a 1-hour period
- The DA standard requires sufficient free air space within the container for fumigation. The volume of a typical 40 foot container is 67.7 m³. It has been assumed that 80% of this

volume is filled with logs. The remaining 20% volume would be filled with methyl bromide to the required concentration.

Methyl bromide concentration after 24 hours

GHD have reviewed measurement results for the sorption of methyl bromide into wood for timber fumigation in Australia and New Zealand.

GHD undertook measurements on a similar fumigation container in 2014 (*CWLT Logistics Report on Road Transport Terminal, Kelso Data Validation Study and Air Quality Management Plan*, GHD 2014) and in 2016 (*Crawfords Freightlines Pty Ltd Methyl Bromide Permit Advice Air Quality Assessment*). GHD found that at least 24% of the initial 48 g/m³ methyl bromide concentration remained after 24 hours at Kelso and on average, 34% of the initial 64 g/m³ methyl bromide concentration remained after 24 hours at Crawfords.

Hall et al. (2017) undertook measurements of methyl bromide concentrations in pine logs (in NZ) using an initial dose of 48 g/m³ and 120 g/m³. They concluded that while the initial dose determined the concentration within the treated space at any given time, the influence of dose on the ratio of the concentration to the applied dose was not significant. They observed that 47.3% ($\pm 2.5\%$) of the initial concentration remained after 16 hours. They proposed a regression curve of concentration vs. time based on their measurements.

Ren et al. (2011) measured the sorption rates of methyl bromide in pinewood timber blocks in laboratory fumigation chambers using an initial dose of 48 g/m³ in Australia. They found that approximately 47% and 38% of the initial chamber concentration remained after 8 hours and 24 hours respectively.

Hall et al. (2016) measured the sorption rates of methyl bromide in the treated space during commercial fumigation of logs using an initial dose of 120 g/m³. Concentrations were measured in three commercial pine log stacks at South Port, NZ. They found that the concentration over time decreased exponentially with 41.7% of the initial concentration remaining after 13 hours.

The results of the above studies are plotted in Figure 2. Detailed references are provided in Section 7. The minimum DA requirement is also plotted as a dotted line. The first four hours are omitted from the plots as the fumigant is not fully dispersed within the container during this time period.

Based on the results presented above, accounting for sorption (adsorption, absorption and chemisorption) losses, it is estimated that approximately 60 to 70% of the methyl bromide will be sorbed into the timber inside the container. The remainder will vent through the container door upon opening after 24 hours.

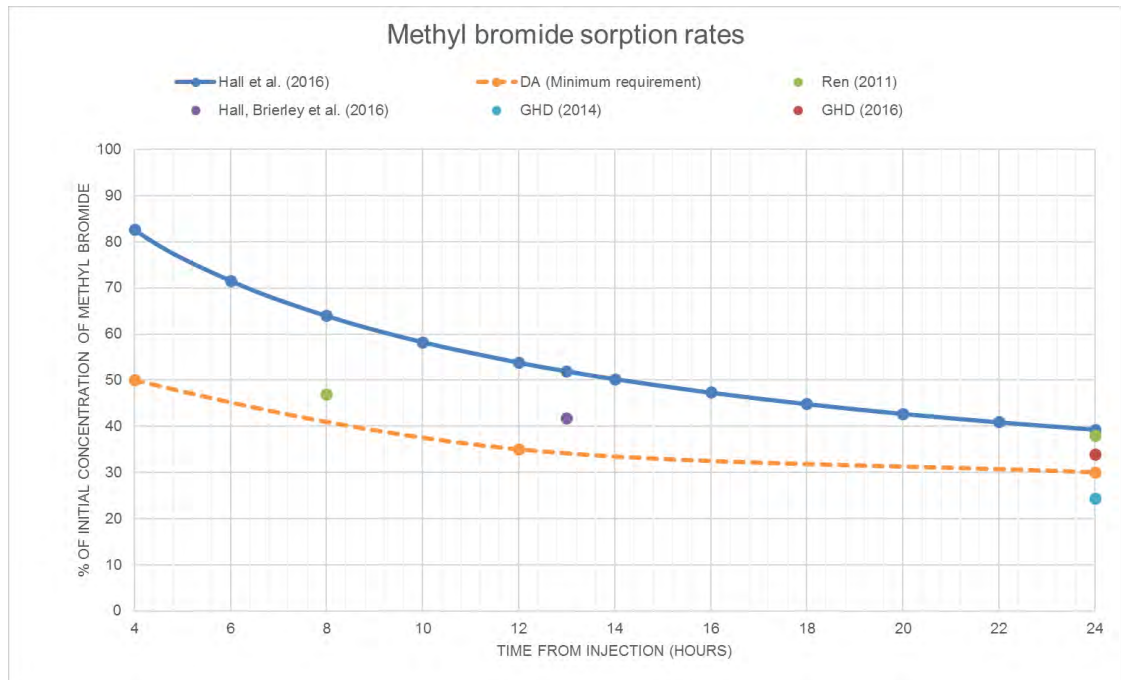


Figure 2 Methyl bromide sorption rates

Methyl bromide concentration after container opening

The concentration of methyl bromide within the containers will decay exponentially once the container is opened for ventilation due to mixing and dilution with the outside air.

GHD (2014) and GHD (2016) undertook monitoring during periods of container ventilation at the container opening, at the nearest site boundary and at set distances from the nearest container.

The concentration decay curve measured at the container door for both locations is displayed in Figure 3.

Details of the monitoring procedure and results have also been extracted from the 2014 report and are attached in Appendix A.

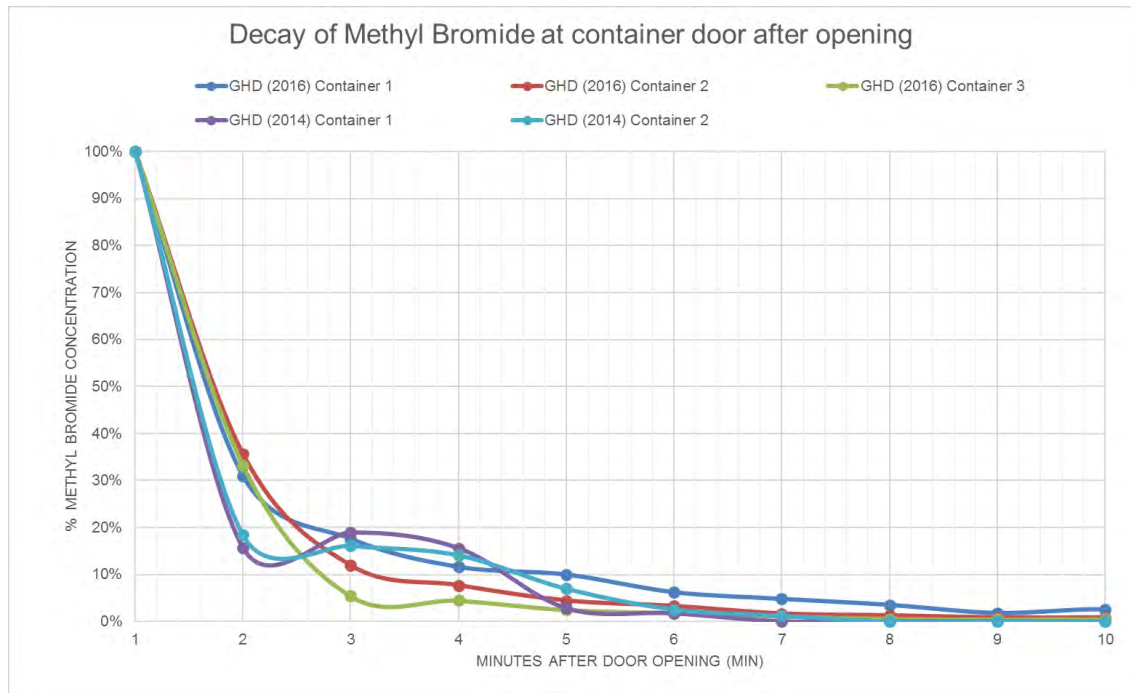


Figure 3 Measured decay of methyl bromide concentration in a vented container (Source: GHD, 2014 and GHD, 2016)

Adopted approach to calculating emissions

The above discussions establish the following:

- Methyl bromide is sorped within the container due to adsorption, absorption and chemisorption of the fumigant onto the timber
- The methyl bromide concentration decays exponentially once the container door is opened.

GHD acknowledge that the exact rate of sorption and decay is dependent upon site specific factors and cannot be fully known a priori without undertaking measurements. Therefore, based on discussions with the EPA, the following approach has been adopted to calculate the Methyl Bromide emission factors:

- Conservative emission rates calculated based purely from a mass balance perspective, assuming no decay once the container door is opened
- Typical emission rates calculated based on the decay curves measured on other similar sites (refer to Figure 3).

The emission factors have been calculated for various concentrations of Methyl Bromide, ranging from no sorption to >30% of the initial concentration remaining (the minimum required by the DA guideline).

The calculation of the emission rates is provided in Table 4-1, assuming 20% free air volume in a 40 foot container, i.e., 20% of $67.7 \text{ m}^3 = 13.5 \text{ m}^3$. The calculated emission rate (without decay) is approximately five times higher than the emission rate with decay.

Table 4-1 Hourly emission rates and calculation procedure

Concentration upon container opening (g/m ³)	Mass (based on a volume of 13.5 m ³ , no decay)	Hourly emission rate, no decay (g/s)	Averaged concentration ¹ based on decay (g/m ³)	Flow rate over decay period ² (m ³ /s)	Hourly emission rate, with decay (g/s) ³
72	975	0.271	14.7	0.0282	0.0553
60	812	0.226	12.3	0.0282	0.0461
48	650	0.181	9.8	0.0282	0.0369
36	487	0.135	7.4	0.0282	0.0277
24	298	0.083	4.9	0.0282	0.0169

Note 1: Concentration averaged over 8 minutes, as per measured decay (refer to Figure 3).

Note 2: The flow rate for 8 minutes is calculated to be 13.5 m³ divided by 8*60 = 0.0282 m³/s.

Note 3: The hourly emission rate is calculated by multiplying the averaged concentration and the flow rate over the decay period (eight minutes) and then rescaling to the entire hour, i.e. dividing the emission rate (over the decay period) by 7.5.

4.2 Model configuration

Key components of the model configurations are summarised below:

- The emission of methyl bromide from each container was modelled as a volume source with the size and shape of one door of a 40-foot container. Therefore, separate volume sources were modelled, one for each container. Source characteristics can be found in Appendix B
- The ground concentration level of methyl bromide was predicted around the site using a 25 m grid
- Emissions have been modelled during the operational hours of 6 am to 9 pm
- An averaging period of 1-hour was selected for the assessment of fumigant emissions as per the requirements of the *Approved Methods*
- Irwin's 'rural' wind profile exponents were used
- Horizontal dispersion was parameterised according to equations for the Pasquill-Gifford curves
- A roughness height of 0.1 m (flat rural) was used to represent the land features that surround the site
- The following fumigant emission scenarios were modelled:
 - Containers modelled in container area 2 with one, three, five and ten containers opened in the area. Emission rates were modelled both with and without decay as per Table 4-1.
 - Containers modelled in container area 3 with a concentration of 36 g/m³ per container with ten containers opened in an hour. Emission rates were modelled both with and without decay as per Table 4-1.
 - Grainforce have advised GHD that no container ventilation will occur in container area 1.

Further detail is provided in the AUSPLUME output files attached in Appendix B.

4.3 Predicted air quality impacts

The impacts have been predicted based on the calculated emissions inventory and assumptions detailed above.

Worst-case predicted 99.9th percentile concentration levels of methyl bromide are tabulated for the various scenarios at the site boundaries in Table 4-2 and Table 4-3 for venting undertaken in container areas 2 and 3 respectively. Bolded results indicate potential exceedances of the criteria.

Predictions indicate that the concentration of methyl bromide will exceed the *Approved Methods* criterion of 0.35 mg/m³ at all site boundaries for the majority of assessed scenarios if no decay in the concentration levels is assumed.

Predictions indicate that the concentration of methyl bromide will exceed the *Approved Methods* criterion of 0.35 mg/m³ at the site boundaries under some combinations of opening concentrations and containers, assuming an exponential decay in concentration levels. The majority of the exceedances occur along:

- The northern and western boundaries when container ventilation is undertaken in container area 2
- The northern and eastern boundaries when container ventilation is undertaken in container area 3.

It is not considered reasonable to assess mitigation measures for the no decay case based on the data presented in Figure 2 and Figure 3 and the existing license conditions at similar sites in the area.

Site specific and general mitigation measures are discussed in Section 5 to reduce methyl bromide emissions below the criteria at the site boundaries for the decay-averaged emission rate scenarios.

Table 4-2 Predicted 99.9th percentile methyl bromide concentration levels at site boundary (Container area 2)

Site boundary	Number of containers opened	Initial concentration upon door opening (no decay) (g/m ³)					Initial concentration upon door opening (with decay) (g/m ³)				
		72	60	48	36	24	72	60	48	36	24
East	1	0.36	0.30	0.24	0.18	0.11	0.07	0.06	0.05	0.04	0.02
	3	1.00	0.83	0.66	0.50	0.30	0.20	0.17	0.14	0.10	0.06
	5	1.65	1.38	1.10	0.83	0.50	0.34	0.28	0.22	0.17	0.10
	10	3.32	2.77	2.22	1.66	1.02	0.68	0.57	0.45	0.34	0.21
North	1	1.71	1.42	1.14	0.85	0.52	0.35	0.29	0.23	0.17	0.11
	3	6.43	5.36	4.29	3.22	1.97	1.31	1.09	0.88	0.66	0.40
	5	10.72	8.93	7.14	5.36	3.27	2.19	1.82	1.46	1.09	0.67
	10	20.35	16.96	13.57	10.18	6.22	4.16	3.46	2.77	2.08	1.27
South	1	0.40	0.34	0.27	0.20	0.12	0.08	0.07	0.05	0.04	0.03
	3	1.12	0.94	0.75	0.56	0.34	0.23	0.19	0.15	0.11	0.07
	5	1.85	1.54	1.23	0.92	0.56	0.38	0.31	0.25	0.19	0.12
	10	3.78	3.15	2.52	1.89	1.15	0.77	0.64	0.51	0.39	0.24
West	1	1.29	1.07	0.86	0.64	0.39	0.26	0.22	0.18	0.13	0.08
	3	3.96	3.30	2.64	1.98	1.21	0.81	0.67	0.54	0.40	0.25
	5	6.83	5.69	4.55	3.42	2.09	1.39	1.16	0.93	0.70	0.43
	10	14.06	11.71	9.37	7.03	4.29	2.87	2.39	1.91	1.44	0.88

Table 4-3 Predicted 99.9th percentile methyl bromide concentration levels at site boundary (Container area 3)

Boundary	Number of containers	Initial concentration upon door opening (no decay) (g/m ³)					Initial concentration upon door opening (with decay) (g/m ³)				
		72	60	48	36	24	72	60	48	36	24
East	1	0.83	0.69	0.56	0.42	0.25	0.17	0.14	0.11	0.09	0.05
	3	2.27	1.89	1.51	1.14	0.69	0.46	0.39	0.31	0.23	0.14
	5	3.70	3.08	2.46	1.85	1.13	0.75	0.63	0.50	0.38	0.23
	10	7.34	6.12	4.89	3.67	2.24	1.50	1.25	1.00	0.75	0.46
North	1	4.69	3.91	3.13	2.34	1.43	0.96	0.80	0.64	0.48	0.29
	3	11.49	9.58	7.66	5.75	3.51	2.35	1.96	1.56	1.17	0.72
	5	17.64	14.70	11.76	8.82	5.39	3.60	3.00	2.40	1.80	1.10
	10	29.36	24.46	19.57	14.68	8.97	6.00	5.00	4.00	3.00	1.83
South	1	0.38	0.31	0.25	0.19	0.12	0.08	0.06	0.05	0.04	0.02
	3	1.08	0.90	0.72	0.54	0.33	0.22	0.18	0.15	0.11	0.07
	5	1.81	1.51	1.21	0.91	0.55	0.37	0.31	0.25	0.18	0.11
	10	3.82	3.19	2.55	1.91	1.17	0.78	0.65	0.52	0.39	0.24
West	1	0.63	0.52	0.42	0.31	0.19	0.13	0.11	0.09	0.06	0.04
	3	1.99	1.66	1.33	0.99	0.61	0.41	0.34	0.27	0.20	0.12
	5	3.33	2.78	2.22	1.67	1.02	0.68	0.57	0.45	0.34	0.21
	10	6.23	5.19	4.15	3.12	1.90	1.27	1.06	0.85	0.64	0.39

5. Recommendations

5.1 Site specific mitigation measures

5.1.1 Staggered container opening

It should be noted that the instantaneous methyl bromide concentration levels are likely to be higher than the hourly average concentrations (presented in Table 4-1) when the containers are first opened. The impact associated with this is expected to be limited to the first two minutes after the containers are opened.

To reduce the instantaneous methyl bromide concentration levels, it is recommended that the container opening process be staggered with at least a 3 minute waiting time period between two containers.

5.1.2 Meeting the methyl bromide criteria at the site boundary

A detailed analysis of the exceedances at the worst-affected receiver points along the site boundaries has been undertaken based on the positioning of the containers in Container Area 2 and 3. The analysis has been undertaken for the decay-averaged emission cases, with ten containers opened in one hour.

The wind directions and speeds for the time periods when the criteria is exceeded were examined and are presented in Figure 4 and Figure 5 for container area 2 and 3 respectively.

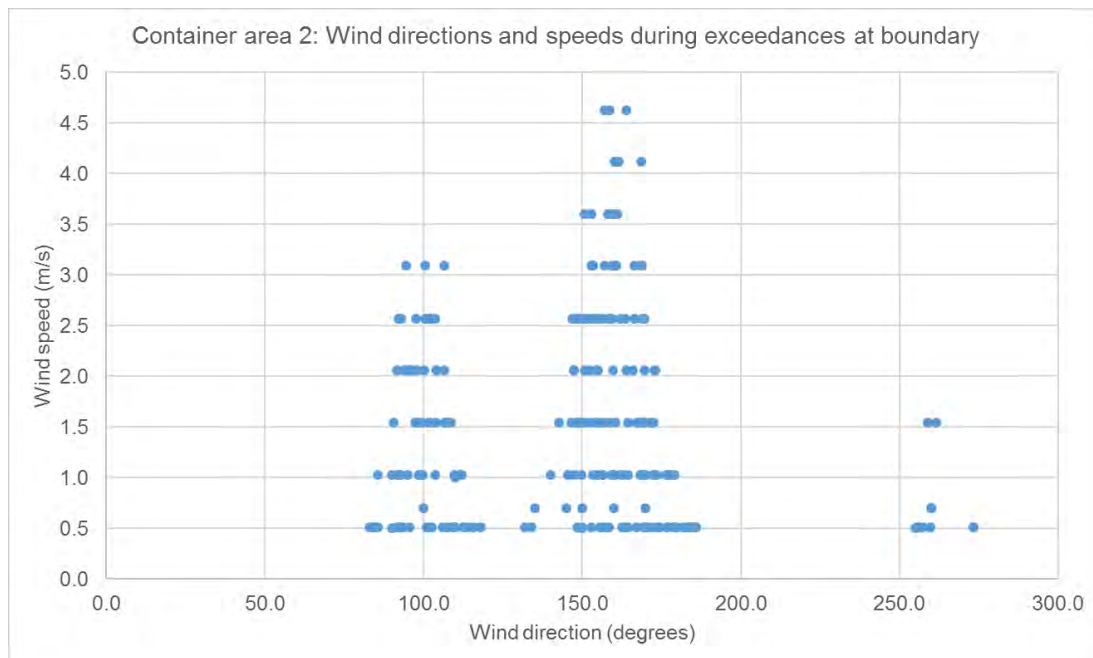


Figure 4 Container area 2 exceedances: Wind direction and speed

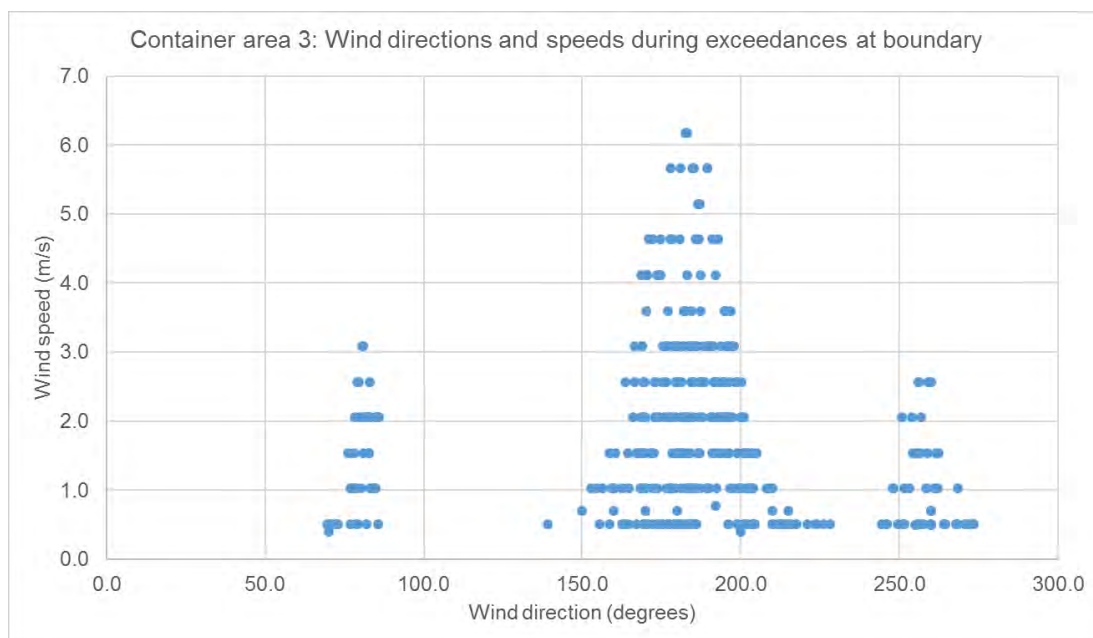


Figure 5 Container area 3 exceedances: Wind direction and speed

Based on the review of wind speeds and directions at the most affected points on the boundaries, GHD have derived the following management conditions that would ensure that exceedances would not occur beyond the site boundary.

- Container ventilation should not be undertaken in **Container Area 2** during periods when:
 - **wind speeds are below 11 km/h and wind directions are between 70 and 90 degrees** (BoM compass directions - East North East and East)
 - **wind speeds are below 22 km/h and wind directions are between 140 and 230 degrees** (BoM compass directions - South East, South South East, South, South South West and South West)

- **wind speeds are below 9 km/h and wind directions are between 245 and 275 degrees** (BoM compass directions – West South West and West).
- Container ventilation should not be undertaken in **Container Area 3** during periods when:
 - **wind speeds are below 11 km/h and wind directions are between 85 and 120 degrees** (BoM compass directions - East North East and East)
 - **wind speeds are below 17 km/h and wind directions are between 145 and 185 degrees** (BoM compass directions - South East, South South East and South)
 - **wind speeds are below 5 km/h and wind directions are between 255 and 265 degrees** (BoM compass directions - West South West and West).

It is recommended that weather data from the Bathurst Airport AWS (considered representative of site conditions) be used to exclude these periods.

5.1.3 Measurement of residual levels

It is recommended that measurements be undertaken (similar to GHD 2014) on site to confirm the proportion of the initial concentration remaining after 24 hours and the mitigation measures in this assessment be revised based on these measurements.

5.1.4 Summary of site specific mitigation measures

A summary of the recommended site specific mitigation measures is provided in Table 5-1.

Table 5-1 Summary of recommended site specific mitigation measures

Recommended site specific mitigation measures

Container opening should be staggered with a three minute waiting time period between two containers being opened to reduce the instantaneous methyl bromide emissions.

Container ventilation should not be undertaken in **Container Area 2** during periods when:

- **wind speeds are below 11 km/h and wind directions are between 70 and 90 degrees** (BoM compass directions - East North East and East)
- **wind speeds are below 22 km/h and wind directions are between 140 and 230 degrees** (BoM compass directions - South East, South South East, South, South South West and South West)
- **wind speeds are below 9 km/h and wind directions are between 245 and 275 degrees** (BoM compass directions – West South West and West).

Container ventilation should not be undertaken in **Container Area 3** during periods when:

- **wind speeds are below 11 km/h and wind directions are between 85 and 120 degrees** (BoM compass directions - East North East and East)
- **wind speeds are below 17 km/h and wind directions are between 145 and 185 degrees** (BoM compass directions - South East, South South East and South)
- **wind speeds are below 5 km/h and wind directions are between 255 and 265 degrees** (BoM compass directions - West South West and West).

It is recommended that weather data from the Bathurst Airport AWS (considered representative of site conditions) be used to exclude container opening during the periods identified above.

Methyl bromide measurements at the container door once opened must show levels below 48 g/m³. If levels are recorded above 48 g/m³ then additional site specific management may be required.

Measurements of Methyl Bromide concentrations after 24 hours should be undertaken to establish the residual levels upon container opening to refine the site specific mitigation measures.

5.2 General mitigation measures

There are a number of Australian Government documents which outline guidelines and recommendations for the use of methyl bromide as a fumigant for cargo containers. These have been attached in Appendix C and Appendix D for reference.

One of the primary concerns with the use of methyl bromide is the safety of people who work within or around the containers and may be exposed to the toxic pollutant. Environmental impacts, such as ozone depletion, and impacts on surrounding sensitive receptors are also of concern.

A summary of the general recommendations and control measures for the use of methyl bromide is provided below. These should be considered in conjunction with the *Methyl Bromide Fumigation Standard, Version 2.3* and *Managing risks of Methyl Bromide exposure when unpacking shipping containers information sheet* (Safe Work Australia (2016), attached in Appendix D).

- The containers used for fumigation must be maintained to be sealed along all joints between walls, roof and floor. Containers must be gas-tight once the door is closed
- The fumigation area must be made safe for unprotected personnel. A risk area with a minimum of 3 metres clearance around the fumigation enclosure must be set up for outdoor fumigation
- At a minimum, methyl bromide concentrations within the container must be monitored at the start and end of the fumigation exposure period
- Monitoring should be used to determine that the level of methyl bromide is below the exposure standard of 5 ppm prior to entering the container. Where monitoring indicates levels above 5 ppm, ventilation should be continued
- All instruments used for monitoring methyl bromide concentrations must be in good working order and calibrated on a regular basis according to the manufacturer's instructions
- In addition to monitoring the concentration levels of methyl bromide within the containers, measurements should also be regularly taken at the boundary of the site (field technician), at the point most down-wind from the container ventilation area. It should be ensured that the *Approved Methods* environmental criterion of 0.09 ppm (0.35 mg/m³) is met at all times at the site boundary
- If it is found that the criterion is exceeded at the site boundary during the ventilation process, a number of containers should be closed to reduce the volume of emissions. The number of containers that can be left open to ventilate will depend on atmospheric conditions at the time. As a starting point, it is recommended that half the containers be closed and the concentration at the down-wind boundary be monitored for a drop in concentration. If the instantaneous concentration drops below the criterion, more containers can be opened up in a staged process. If the instantaneous concentration is found to remain above the criterion, more containers should be closed until the criterion is met.

It is recommended that a site-specific management plan be developed to control methyl bromide emissions from container ventilation incorporating the site specific and general recommendations detailed above.

6. Conclusion

GHD was engaged by Grainforce to assess the potential for air quality impacts from the proposed fumigation of timber in Bathurst. In particular, emissions of methyl bromide, which will be used as part of the fumigation process, have been assessed.

The findings of this report are based on a Level 2 impact assessment using site-representative meteorological data in accordance with the *Approved Methods*.

Predicted results indicate that the hourly methyl bromide concentrations are not predicted to comply with the environmental criterion at the site boundary when containers are opened after 24 hours in container area 1. Additionally, the instantaneous methyl bromide concentrations are likely to be higher when the containers are first opened. The impact associated with this is expected to be limited to the first two minutes after the containers are opened.

Site specific mitigation measures have been provided which limits fumigation activities under certain weather conditions including wind direction and speed at the BoM Bathurst Airport AWS located adjacent to the site.

Mitigation recommendations have been provided in Section 5. It is recommended that a site-specific management plan be developed to control methyl bromide emissions from container ventilation process, incorporating measures in Section 5.1.4 of this report.

Once operational, sampling can be undertaken to verify management requirements such as the need to cease fumigation under certain weather conditions.

7. References

- Department of Agriculture (2015), *Methyl Bromide Fumigation Standard*, Version 2.3
- Department of the Environment, *National Pollutant Index*, <http://www.npi.gov.au>
- GHD (2014), *CWLT Logistics Report on Road Transport Terminal, Kelso Data Validation Study and Air Quality Management Plan*
- GHD (2016), *Crawfords Freightlines Pty Ltd Methyl Bromide Permit Advice Air Quality Assessment*
- Hall, Matthew et al. (2016), *Monitoring concentration of methyl bromide in the treated space during commercial fumigation of logs*, Poster, Plant and food research
- Hall, Matthew et al. (2017), *Sorption and desorption characteristics of methyl bromide during and after fumigation of pine (Pinus radiata D. Don) logs*, Pest Management Science 73
- National Institute for Occupational Safety and Health (1995), *Publication No. 90-117*
- NSW Environment Protection Authority (2016), *Approved Methods for Modelling and Assessment of Air Pollutants in NSW*, Department of Environment and Conservation
- Ren, YongLin, Lee, ByungHo and Padovan, Benjamin (2011), *Penetration of methyl bromide, sulfur dioxide, ethanedinitrile and phosphine into timber blocks and sorption rate of the fumigants*, Journal of Stored Products Research 47
- Safe Work Australia (2016), *Managing risks of Methyl Bromide exposure when unpacking shipping containers information sheet*

Appendices

Appendix A – Methyl bromide monitoring results
(GHD 2014)

2. Data validation study

2.1 Air quality assessment criteria

The *Protection of the Environmental Operations Act 1997* (POEO Act) is administered by the NSW EPA and sets licencing requirements for new or existing premises. Part 1, Clause 44, Schedule 1 of the POEO Act applies to 'Wood preservation'. The proposed facility will process more than 10,000 m³ of timber per year and therefore triggers the POEO Act threshold limit for assessment against relevant NSW guidelines.

Air quality impact assessment criteria are prescribed within the *Approved Methods*. The impact assessment criteria applicable to site operations are provided in Table 2-1.

Table 2-1 MeBr impact assessment criteria

Pollutant	Averaging period	Criteria *	Applicable location
Methyl bromide (Bromomethane)	1 hour	0.35 mg/m ³ 0.09 ppm	At and beyond the site boundary

* Total impact (Incremental impact plus background)

Workplace exposure standards for MeBr are provided by Safe Work Australia's *Workplace Exposure Standards for Airborne Contaminants* (2011) as a time-weighted average concentration limit of 5 ppm (19 mg/m³) over an 8-hour work shift.

2.2 Monitoring methodology

Condition U1 of the EPL requires monitoring of MeBr concentrations during the venting of containers on site. Monitoring data will allow for a comparison against predicted concentrations in an attempt to validate model results in order to assist in developing a specific Air Quality Management Plan to satisfy requirements of the EPL.

2.3 Monitoring results

Monitoring of MeBr was undertaken at a number of locations and under various ventilation scenarios and weather conditions. Key aims of the monitoring were to provide site-specific data for the magnitude of MeBr concentrations at the container openings and the rate at which emissions of MeBr decay during ventilation.

Monitoring was undertaken by the fumigation contractor using an Eagle 2¹ gas monitor.

Monitoring of MeBr concentrations was undertaken during periods of container ventilation at the following locations:

- At the container opening
- At the nearest site boundary
- At set distances from the nearest container.

Monitoring was undertaken during ventilation of single and multiple containers.

Full monitoring results have been provided in Appendix A.

¹ Control Equipment Pty Ltd, Eagle 2 portable gas monitor with PID sensor.

2.3.1 Monitoring at the container door

Monitoring of MeBr concentrations at the container door provides an indication of the typical rate of decay of MeBr concentration, and therefore emissions during the ventilation of each container. Monitoring at the door of a container was undertaken twice, with the average of the two readings taken. The two sets of measurements were very consistent. The starting concentration of MeBr was found to be 3000 ppm (11.7 g/m³). A summary of the monitoring results is provided in Table 2-2. The value of zero after seven minutes of elapsed time is a measurement that is below the detection limit of the instrument.

Table 2-2 MeBr monitoring results – container door

Minutes after opening container (min)	MeBr concentration	
	ppm	mg/m ³
0	3000	11667
1	511	1987
2	526	2046
3	446	1734
4	147	572
5	65	253
6	19	74
7	0	0

Weather during the above monitoring was noted as being:

- Wind speed: 1 m/s
- Wind direction: NW – WNW
- Temperature: 11 °C.

The decay in MeBr concentration at the container opening is shown graphically in Figure 2-1.

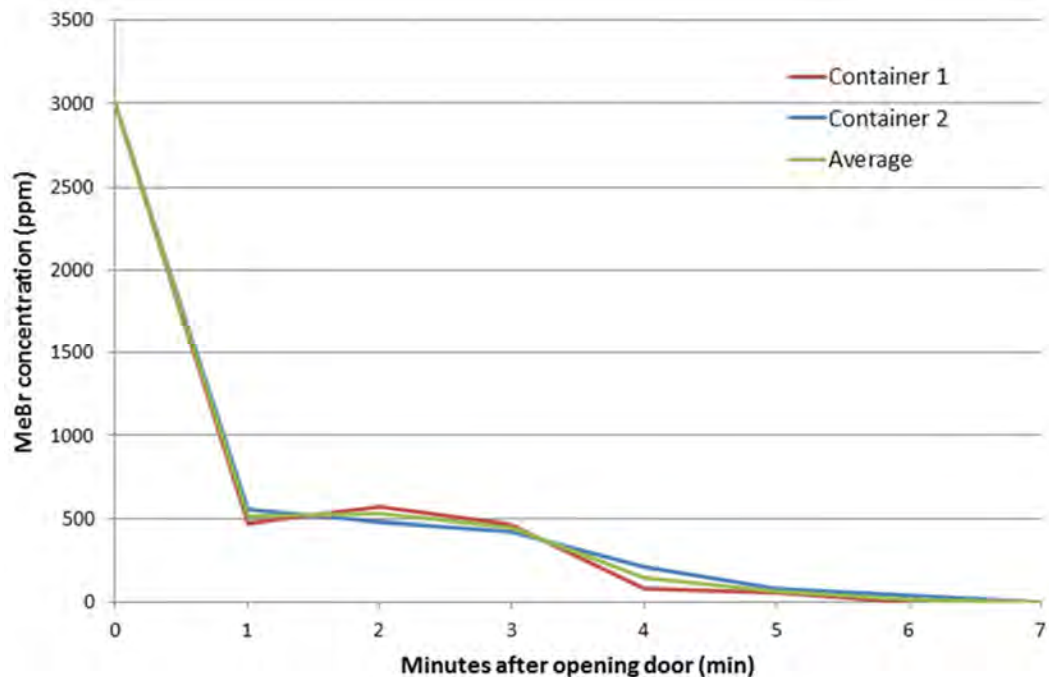


Figure 2-1 Decay in MeBr concentration at container opening

The results above indicate a very rapid decay of MeBr at the container door. The rate of decay appears to have been underestimated in the original AQIA, which was based on containers taking approximately 1-hour to ventilate to below 5 ppm. The plot above shows that a container will ventilate to below 5 ppm within approximately seven minutes of it being opened. In turn, this means that the estimates made in the AQIA will be over-estimates of the actual MeBr concentration.

2.3.2 Monitoring downwind of containers

The rapid decay in MeBr concentration, after a container is opened, means that the most critical time for potential downwind impacts is within the first few minutes. Depending on atmospheric dispersion conditions, it was found to be difficult to detect a downwind concentration of MeBr at the boundary, which under some conditions was up to 80 metres away. Typically, field technicians were unable to detect MeBr downwind, unless the monitoring occurred within approximately 10 metres of the nearest container door and within the first few minutes after opening.

Examples of results of the MeBr monitoring are provided below. Monitoring produced very consistent concentration levels of MeBr, both at close range to the container door and at the boundary of the site.

Table 2-3 MeBr monitoring results – at distance

Monitoring location (nearest downwind)	Measured MeBr concentration (ppm)	Number of containers opened	Time after opening last container (minutes)	Distance to nearest container (m)	Wind speed (m/s)	Wind direction (blowing from)
West boundary	0	7	30	50	1	East
North-west boundary	0	14	30	20	3	South-east
East-north-east boundary	0	34	30	27	9	West-south-west
East boundary	0	24	30	75	4	West
At 10 metres from containers	2	1	4	10	2	North-east

2.4 Model validation

2.4.1 Choice of model

The AUSPLUME plume dispersion model (version 6.0) was used in this assessment. AUSPLUME is a steady-state Gaussian plume model that can be used to predict off-site pollutant concentration for a wide variety of sources and is approved for use by the OEH. The screening methodology adopted here means that AUSPLUME is a suitable model as there are no confounding issues with complex terrain or excessive 'calm' conditions (Section 6.2 of the *Approved Methods* for reference).

2.4.2 Validation scenario

Validation of the dispersion model is important to provide a level of confidence in the predictions made and the suitability of the consequential AQMP.

The following factors need to be considered when aiming to validate a dispersion model, such as:

- The number of containers venting at the time of monitoring
- The weather conditions during monitoring and the direction of the source to the monitoring location
- The time after opening of the containers to vent
- The distance between the container and monitoring location.

With consideration to the above factors, the following scenario was selected to simulate in order to validate the dispersion model predictions.

Appendix B – Ausplume output file

1

 Bathurst Fumigation

Concentration or deposition	Concentration
Emission rate units	grams/second
Concentration units	milligrams/m3
Units conversion factor	1.00E+03
Constant background concentration	0.00E+00
Terrain effects	None
Smooth stability class changes?	No
Other stability class adjustments ("urban modes")	None
Ignore building wake effects?	No
Decay coefficient (unless overridden by met. file)	0.000
Anemometer height	10 m
Roughness height at the wind vane site	0.300 m
Use the convective PDF algorithm?	No

DISPERSION CURVES

Horizontal dispersion curves for sources <100m high	Pasquill-Gifford
Vertical dispersion curves for sources <100m high	Pasquill-Gifford
Horizontal dispersion curves for sources >100m high	Briggs Rural
Vertical dispersion curves for sources >100m high	Briggs Rural
Enhance horizontal plume spreads for buoyancy?	Yes
Enhance vertical plume spreads for buoyancy?	Yes
Adjust horizontal P-G formulae for roughness height?	Yes
Adjust vertical P-G formulae for roughness height?	Yes
Roughness height	0.100m
Adjustment for wind directional shear	None

PLUME RISE OPTIONS

Gradual plume rise?	Yes
Stack-tip downwash included?	Yes
Building downwash algorithm:	PRIME method.
Entrainment coeff. for neutral & stable lapse rates	0.60,0.60
Partial penetration of elevated inversions?	No

Disregard temp. gradients in the hourly met. file? No

and in the absence of boundary-layer potential temperature gradients given by the hourly met. file, a value from the following table (in K/m) is used:

Wind Speed Category	Stability Class					
	A	B	C	D	E	F
1	0.000	0.000	0.000	0.000	0.020	0.035
2	0.000	0.000	0.000	0.000	0.020	0.035
3	0.000	0.000	0.000	0.000	0.020	0.035
4	0.000	0.000	0.000	0.000	0.020	0.035
5	0.000	0.000	0.000	0.000	0.020	0.035
6	0.000	0.000	0.000	0.000	0.020	0.035

WIND SPEED CATEGORIES

Boundaries between categories (in m/s) are: 1.54, 3.09, 5.14, 8.23, 10.80

WIND PROFILE EXPONENTS: "lrw in Rural" values (unless overridden by met. file)

AVERAGING TIMES

1 hour

1 _____

Bathurst Fumigation

SOURCE CHARACTERISTICS

VOLUME SOURCE: V1

X(m) Y(m) Ground Elevation Height Hor. spread Vert. spread

747786 6300217 0m 1m 0m 1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00
21 1.00E+00	22 0.00E+00	23 0.00E+00	24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V2

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747775	6300217	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00
21 1.00E+00	22 0.00E+00	23 0.00E+00	24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V3

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747771	6300215	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00

13 1.00E+00 14 1.00E+00 15 1.00E+00 16 1.00E+00
 17 1.00E+00 18 1.00E+00 19 1.00E+00 20 1.00E+00
 21 1.00E+00 22 0.00E+00 23 0.00E+00 24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V4

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747767	6300214	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00 2 0.00E+00 3 0.00E+00 4 0.00E+00
 5 0.00E+00 6 0.00E+00 7 1.00E+00 8 1.00E+00
 9 1.00E+00 10 1.00E+00 11 1.00E+00 12 1.00E+00
 13 1.00E+00 14 1.00E+00 15 1.00E+00 16 1.00E+00
 17 1.00E+00 18 1.00E+00 19 1.00E+00 20 1.00E+00
 21 1.00E+00 22 0.00E+00 23 0.00E+00 24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V5

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747780	6300219	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00 2 0.00E+00 3 0.00E+00 4 0.00E+00
 5 0.00E+00 6 0.00E+00 7 1.00E+00 8 1.00E+00
 9 1.00E+00 10 1.00E+00 11 1.00E+00 12 1.00E+00
 13 1.00E+00 14 1.00E+00 15 1.00E+00 16 1.00E+00
 17 1.00E+00 18 1.00E+00 19 1.00E+00 20 1.00E+00
 21 1.00E+00 22 0.00E+00 23 0.00E+00 24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V6

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747772	6300212	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00
21 1.00E+00	22 0.00E+00	23 0.00E+00	24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V7

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747777	6300214	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00
21 1.00E+00	22 0.00E+00	23 0.00E+00	24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V8

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747784	6300221	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00
21 1.00E+00	22 0.00E+00	23 0.00E+00	24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V9

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747768	6300210	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00
21 1.00E+00	22 0.00E+00	23 0.00E+00	24 0.00E+00

No gravitational settling or scavenging.

VOLUME SOURCE: V10

X(m)	Y(m)	Ground Elevation	Height	Hor. spread	Vert. spread
747781	6300215	0m	1m	0m	1m

Emission rates by hour of day in grams/second:

1 0.00E+00	2 0.00E+00	3 0.00E+00	4 0.00E+00
5 0.00E+00	6 0.00E+00	7 1.00E+00	8 1.00E+00
9 1.00E+00	10 1.00E+00	11 1.00E+00	12 1.00E+00
13 1.00E+00	14 1.00E+00	15 1.00E+00	16 1.00E+00
17 1.00E+00	18 1.00E+00	19 1.00E+00	20 1.00E+00

21 1.00E+00 22 0.00E+00 23 0.00E+00 24 0.00E+00

No gravitational settling or scavenging.

1

Bathurst Fumigation

RECEPTOR LOCATIONS

The Cartesian receptor grid has the following x-values (or eastings):

747557.m 747562.m 747567.m 747572.m 747577.m 747582.m 747587.m
 747592.m 747597.m 747602.m 747607.m 747612.m 747617.m 747622.m
 747627.m 747632.m 747637.m 747642.m 747647.m 747652.m 747657.m
 747662.m 747667.m 747672.m 747677.m 747682.m 747687.m 747692.m
 747697.m 747702.m 747707.m 747712.m 747717.m 747722.m 747727.m
 747732.m 747737.m 747742.m 747747.m 747752.m 747757.m 747762.m
 747767.m 747772.m 747777.m 747782.m 747787.m 747792.m 747797.m
 747802.m 747807.m 747812.m 747817.m 747822.m 747827.m 747832.m
 747837.m 747842.m 747847.m 747852.m 747857.m 747862.m 747867.m
 747872.m 747877.m 747882.m 747887.m 747892.m 747897.m 747902.m
 747907.m 747912.m 747917.m 747922.m 747927.m 747932.m 747937.m
 747942.m 747947.m 747952.m 747957.m 747962.m 747967.m 747972.m
 747977.m 747982.m 747987.m 747992.m 747997.m 748002.m 748007.m
 748012.m 748017.m 748022.m 748027.m 748032.m 748037.m 748042.m
 748047.m 748052.m 748057.m

and these y-values (or northings):

6299940.m 6299945.m 6299950.m 6299955.m 6299960.m 6299965.m 6299970.m
 6299975.m 6299980.m 6299985.m 6299990.m 6299995.m 6300000.m 6300005.m
 6300010.m 6300015.m 6300020.m 6300025.m 6300030.m 6300035.m 6300040.m
 6300045.m 6300050.m 6300055.m 6300060.m 6300065.m 6300070.m 6300075.m
 6300080.m 6300085.m 6300090.m 6300095.m 6300100.m 6300105.m 6300110.m
 6300115.m 6300120.m 6300125.m 6300130.m 6300135.m 6300140.m 6300145.m

6300150.m 6300155.m 6300160.m 6300165.m 6300170.m 6300175.m 6300180.m
 6300185.m 6300190.m 6300195.m 6300200.m 6300205.m 6300210.m 6300215.m
 6300220.m 6300225.m 6300230.m 6300235.m 6300240.m 6300245.m 6300250.m
 6300255.m 6300260.m 6300265.m 6300270.m 6300275.m 6300280.m 6300285.m
 6300290.m 6300295.m 6300300.m 6300305.m 6300310.m 6300315.m 6300320.m
 6300325.m 6300330.m 6300335.m 6300340.m 6300345.m 6300350.m 6300355.m
 6300360.m 6300365.m 6300370.m 6300375.m 6300380.m 6300385.m 6300390.m
 6300395.m 6300400.m 6300405.m 6300410.m 6300415.m 6300420.m 6300425.m
 6300430.m 6300435.m 6300440.m

METEOROLOGICAL DATA : 13123124 15 1.0 42 F 69

1 Peak values for the 100 worst cases (in milligrams/m3)

Averaging time = 1 hour

Rank	Value	Time Recorded	Coordinates
		hour,date	(* denotes polar)
1	1.03E+03	20,23/04/14	(747767, 6300210, 0.0)
2	1.01E+03	21,12/06/14	(747767, 6300210, 0.0)
3	9.98E+02	21,04/12/14	(747782, 6300215, 0.0)
4	9.53E+02	20,07/04/14	(747767, 6300210, 0.0)
5	9.53E+02	21,24/08/14	(747767, 6300210, 0.0)
6	9.47E+02	21,26/02/14	(747782, 6300215, 0.0)
7	8.58E+02	13,18/07/14	(747782, 6300215, 0.0)
8	8.56E+02	19,12/06/14	(747767, 6300210, 0.0)
9	8.55E+02	20,18/12/14	(747792, 6300225, 0.0)
10	8.47E+02	10,22/07/14	(747782, 6300215, 0.0)
11	8.41E+02	09,16/02/14	(747767, 6300210, 0.0)
12	8.41E+02	10,02/03/14	(747767, 6300210, 0.0)
13	8.34E+02	19,18/12/14	(747782, 6300215, 0.0)
14	8.31E+02	19,14/05/14	(747767, 6300210, 0.0)
15	8.13E+02	20,25/10/14	(747752, 6300210, 0.0)

16	8.06E+02	14,27/12/14	(747767, 6300210,	0.0)
17	8.05E+02	14,16/07/14	(747782, 6300215,	0.0)
18	8.05E+02	16,16/09/14	(747782, 6300215,	0.0)
19	7.99E+02	21,03/04/14	(747762, 6300215,	0.0)
20	7.87E+02	20,24/08/14	(747762, 6300215,	0.0)
21	7.58E+02	10,21/06/14	(747782, 6300220,	0.0)
22	7.52E+02	18,06/12/14	(747782, 6300220,	0.0)
23	7.45E+02	07,20/06/14	(747782, 6300220,	0.0)
24	7.43E+02	16,03/06/14	(747782, 6300215,	0.0)
25	7.40E+02	20,12/06/14	(747767, 6300215,	0.0)
26	7.39E+02	07,15/08/14	(747782, 6300220,	0.0)
27	7.28E+02	21,28/12/14	(747762, 6300205,	0.0)
28	7.28E+02	08,29/04/14	(747782, 6300220,	0.0)
29	7.27E+02	18,11/04/14	(747782, 6300215,	0.0)
30	7.26E+02	08,10/01/14	(747782, 6300215,	0.0)
31	7.25E+02	12,13/08/14	(747782, 6300215,	0.0)
32	7.25E+02	15,16/09/14	(747782, 6300215,	0.0)
33	7.25E+02	19,13/02/14	(747782, 6300220,	0.0)
34	7.23E+02	13,15/04/14	(747782, 6300215,	0.0)
35	7.20E+02	19,03/04/14	(747782, 6300215,	0.0)
36	7.15E+02	11,13/06/14	(747782, 6300215,	0.0)
37	7.15E+02	16,20/06/14	(747782, 6300215,	0.0)
38	7.13E+02	18,01/04/14	(747782, 6300215,	0.0)
39	7.13E+02	15,06/12/14	(747782, 6300215,	0.0)
40	7.13E+02	21,14/03/14	(747782, 6300215,	0.0)
41	7.12E+02	07,28/03/14	(747767, 6300210,	0.0)
42	7.11E+02	18,12/06/14	(747767, 6300210,	0.0)
43	7.10E+02	08,18/06/14	(747782, 6300215,	0.0)
44	7.04E+02	13,14/02/14	(747767, 6300210,	0.0)
45	7.04E+02	11,02/03/14	(747767, 6300210,	0.0)
46	7.02E+02	15,16/07/14	(747782, 6300215,	0.0)
47	6.99E+02	18,10/02/14	(747767, 6300210,	0.0)
48	6.99E+02	07,16/02/14	(747767, 6300210,	0.0)
49	6.99E+02	08,16/02/14	(747767, 6300210,	0.0)
50	6.99E+02	10,16/02/14	(747767, 6300210,	0.0)
51	6.99E+02	08,28/04/14	(747767, 6300210,	0.0)
52	6.98E+02	16,16/07/14	(747782, 6300215,	0.0)
53	6.94E+02	16,15/09/14	(747767, 6300210,	0.0)

54	6.82E+02	18,03/04/14	(747767, 6300210,	0.0)
55	6.81E+02	07,26/02/14	(747767, 6300210,	0.0)
56	6.75E+02	18,17/03/14	(747782, 6300215,	0.0)
57	6.74E+02	08,20/06/14	(747767, 6300210,	0.0)
58	6.68E+02	12,15/07/14	(747767, 6300210,	0.0)
59	6.65E+02	08,03/07/14	(747782, 6300215,	0.0)
60	6.57E+02	21,26/10/14	(747787, 6300225,	0.0)
61	6.56E+02	08,14/05/14	(747787, 6300225,	0.0)
62	6.56E+02	19,21/07/14	(747762, 6300215,	0.0)
63	6.48E+02	13,02/09/14	(747782, 6300215,	0.0)
64	6.48E+02	20,13/09/14	(747762, 6300200,	0.0)
65	6.46E+02	08,14/02/14	(747782, 6300215,	0.0)
66	6.43E+02	14,16/09/14	(747782, 6300215,	0.0)
67	6.36E+02	20,21/03/14	(747762, 6300200,	0.0)
68	6.35E+02	07,26/10/14	(747782, 6300215,	0.0)
69	6.29E+02	21,07/04/14	(747762, 6300215,	0.0)
70	6.26E+02	07,02/03/14	(747767, 6300210,	0.0)
71	6.26E+02	17,15/07/14	(747767, 6300210,	0.0)
72	6.26E+02	09,28/03/14	(747782, 6300215,	0.0)
73	6.26E+02	20,18/04/14	(747782, 6300215,	0.0)
74	6.13E+02	18,24/08/14	(747787, 6300225,	0.0)
75	6.02E+02	16,11/04/14	(747782, 6300215,	0.0)
76	5.93E+02	17,19/04/14	(747782, 6300220,	0.0)
77	5.93E+02	07,02/09/14	(747782, 6300220,	0.0)
78	5.93E+02	07,06/10/14	(747782, 6300220,	0.0)
79	5.92E+02	12,07/07/14	(747782, 6300220,	0.0)
80	5.91E+02	09,21/06/14	(747782, 6300220,	0.0)
81	5.90E+02	09,21/10/14	(747767, 6300210,	0.0)
82	5.85E+02	13,07/07/14	(747782, 6300220,	0.0)
83	5.79E+02	13,15/07/14	(747767, 6300210,	0.0)
84	5.77E+02	15,15/04/14	(747782, 6300220,	0.0)
85	5.77E+02	13,11/07/14	(747782, 6300220,	0.0)
86	5.77E+02	10,18/07/14	(747782, 6300220,	0.0)
87	5.77E+02	12,02/09/14	(747782, 6300220,	0.0)
88	5.75E+02	07,22/04/14	(747782, 6300220,	0.0)
89	5.72E+02	07,08/03/14	(747782, 6300215,	0.0)
90	5.70E+02	08,12/08/14	(747782, 6300220,	0.0)
91	5.68E+02	18,13/09/14	(747767, 6300210,	0.0)

92	5.68E+02	20,23/09/14	(747787, 6300215,	0.0)
93	5.68E+02	21,18/12/14	(747787, 6300215,	0.0)
94	5.65E+02	21,25/10/14	(747767, 6300215,	0.0)
95	5.64E+02	07,18/04/14	(747782, 6300220,	0.0)
96	5.64E+02	17,25/09/14	(747782, 6300220,	0.0)
97	5.56E+02	20,25/09/14	(747777, 6300220,	0.0)
98	5.56E+02	17,07/04/14	(747767, 6300210,	0.0)
99	5.51E+02	18,19/04/14	(747782, 6300220,	0.0)
100	5.50E+02	21,25/09/14	(747767, 6300215,	0.0)

Appendix C – Methyl bromide guideline

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015



Australian Government
**Department of Agriculture
and Water Resources**

The Australian Fumigation Accreditation Scheme (AFAS)

AFAS METHYL BROMIDE FUMIGATION STANDARD

**Version 2.3
August 2015**

CONTENTS

Fumigant considerations – risk assessment, commodity, dosage, temperature5

1.1 Risk assessment 5

1.2 Commodity (Non perishable) 5

1.3 Commodity (Perishable) 5

1.4 Dosage 6

1.5 Temperature 7

The fumigation site 8

2.1 Site requirements 8

2.2 Site floor 8

Consignment suitability for fumigation 9

3.1 Fumigant circulation 9

3.2 Fumigant penetration 10

The fumigation enclosure 11

4.1 Chamber fumigation 12

4.2 Pressure tested container 13

4.3 Un-sheeted container 14

4.4 Sheeted enclosures 15

4.5 Safety 16

Preparing the fumigation enclosure 17

5.1 Monitoring tubes 17

5.2 Fumigant supply pipes 18

5.3 Fans 19

5.4 Sand and water snake specifications 19

Calculating the dosage of fumigant required 20

6.1 Calculation of fumigation enclosure volume 20

6.2 Calculation of fumigant dosage 20

Performing the fumigation 21

7.1 Using a vaporiser 21

7.2 Distributing fumigant within the enclosure 22

7.3 Checking for leaks 22

Monitoring and maintaining fumigant concentrations 23

8.1 Monitoring frequency 23

8.2 Fumigant levels – Start-point and End-point 24

8.3 Fumigant concentrations 25

8.4 Topping-up 27

Completing the fumigation 28

9.1 Ventilation 28

9.1 Continued 29

9.2 Certification 29

APPENDIX 1: Fumigation of Perishable Commodities 30

APPENDIX 2: Fumigation of vessels with methyl bromide 32

APPENDIX 3: Commodities for which problems may occur when fumigated with methyl bromide 39

APPENDIX 5: Example of a fumigation certificate 41

APPENDIX 6: Pressure testing chambers and containers for gas-tightness 43

APPENDIX 7: Monitor tube placement for container fumigation 46

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 8: Fumigant gas supply pipe systems 47

APPENDIX 9: Calculating the volume of differently shaped fumigation enclosures... 48

APPENDIX 10: Vaporisers for methyl bromide..... 49

APPENDIX 11: Methyl bromide monitoring table..... 51

APPENDIX 12: Examples of 'Top-up' calculations..... 53

APPENDIX 13: Methyl bromide as a quarantine fumigant 55

APPENDIX 14: Methyl bromide as an ozone depleting gas 55

APPENDIX 15: Glossary of terms 56

How to use this Standard

This standard is divided into two main sections:

- AFAS Requirements
- Descriptive Appendices

AFAS Requirements

AFAS requirements for this section are designed to be subject to audit during quality control procedures, either by the Australian Government Department of Agriculture (hereafter referred to as the department), by other quarantine authorities or by authorised agents of either.

This section is divided into two main columns:

MANDATORY

This column lists conditions that **MUST** be achieved and actions which **MUST** be undertaken in order to conform to the requirements of the AFAS Standard.

INFORMATIVE

This column lists information that may be helpful to a fumigator in achieving the Mandatory Requirement.

Appendices

These appendices provide information on a range of issues that may be helpful to a fumigator on various aspects of the fumigation procedure.

MANDATORY		INFORMATIVE	
FUMIGANT CONSIDERATIONS – RISK ASSESSMENT, COMMODITY, DOSAGE, TEMPERATURE			
1.1 Risk assessment		The purpose of risk assessments is to ensure that any fumigation undertaken is carried out in such a way that minimises any Workplace Health and Safety (WH&S) risks, meets local regulations, protects the local population and the environment, and addresses potential adverse effects on the commodity being fumigated. A risk assessment may be written or visual, as appropriate	
1.1.1 Before commencing any fumigation process a risk assessment must be carried out.			
1.2 Commodity (Non perishable)		Some commodities are unsuited to this treatment as they absorb large quantities of methyl bromide e.g oils, fats and finely ground materials. This may cause tainting or phyto-toxicity and may lead to hazards such as the presence of excessive bromide residues. This may result in the fumigated commodity not being suitable for its intended use. If there is concern that a commodity may be adversely affected by methyl bromide, importers, exporters and fumigators should seek expert advice (outside the department) regarding its effects or conduct tests on the commodity. <u>See APPENDIX 3: Commodities for which problems may occur when fumigated with methyl bromide.</u> This table lists some commodities for which experts have found problems when fumigated with methyl bromide. This list is not comprehensive and is provided for guidance only.	
1.2.1 The commodity must be suitable for methyl bromide fumigation.	See the Biosecurity Import Conditions (BICON) database http://www.agriculture.gov.au/import/online-services/bicon for information on specific commodities.		
1.3 Commodity (Perishable)			
1.3.1 Fumigation of nursery stock must only be performed in Australia.		Perishable commodities include cut flowers, fresh fruit, vegetables and nursery stock. Additional requirements for the fumigation of perishable goods are set out in APPENDIX 1: Fumigation of perishable commodities	
1.3.2 Fumigation of fresh flowers must only be performed in Australia (unless exemptions are in place).			

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE										
<p>1.4 Dosage</p> <p>1.4.1 Dosage must conform to:</p> <ul style="list-style-type: none"> • Permit conditions to import Quarantine Material into Australia; • The department’s Biosecurity Import Conditions (BICON) database; • Quarantine Directions (within Australia). <p>1.4.2 For the majority of commodities (excluding perishables) treatment dosages must be based on the anticipated minimum ambient temperature that the commodities inside the fumigation enclosure will experience during the fumigation period.</p>	<p>Overdosing (the application of fumigant at rates above those specified) to compensate for poor fumigation practice or inadequate equipment or sheeting should not be undertaken.</p> <p>See the BICON database (http://www.agriculture.gov.au/import/online-services/bicon)</p>										
<p>TABLE 1 : COMMON DOSAGE RATES FOR METHYL BROMIDE FUMIGATION</p> <table border="1" data-bbox="762 224 1117 1070"> <thead> <tr> <th>PEST/COMMODITY</th> <th>REQUIRED CONCENTRATION</th> </tr> </thead> <tbody> <tr> <td>Giant African Snail</td> <td>128g/m³ at 21 °C for 24 hours at Normal Atmospheric Pressure (NAP)</td> </tr> <tr> <td>Khapra Beetle</td> <td>80 g/m³ for 48 hours with a minimum concentration of 24 g/m³ after 24 hours at NAP</td> </tr> <tr> <td>Other Stored Product Pests of Quarantine concern</td> <td>32 g/m³ at 21 °C for 24 hours at NAP</td> </tr> <tr> <td>Timber</td> <td>48 g/m³ at 21 °C for 24 hours at NAP</td> </tr> </tbody> </table>	PEST/COMMODITY	REQUIRED CONCENTRATION	Giant African Snail	128g/m ³ at 21 °C for 24 hours at Normal Atmospheric Pressure (NAP)	Khapra Beetle	80 g/m ³ for 48 hours with a minimum concentration of 24 g/m ³ after 24 hours at NAP	Other Stored Product Pests of Quarantine concern	32 g/m ³ at 21 °C for 24 hours at NAP	Timber	48 g/m ³ at 21 °C for 24 hours at NAP	
PEST/COMMODITY	REQUIRED CONCENTRATION										
Giant African Snail	128g/m ³ at 21 °C for 24 hours at Normal Atmospheric Pressure (NAP)										
Khapra Beetle	80 g/m ³ for 48 hours with a minimum concentration of 24 g/m ³ after 24 hours at NAP										
Other Stored Product Pests of Quarantine concern	32 g/m ³ at 21 °C for 24 hours at NAP										
Timber	48 g/m ³ at 21 °C for 24 hours at NAP										

MANDATORY	INFORMATIVE								
<p>1.5 Temperature</p> <p>1.5.1 Fumigation for quarantine purposes is not permitted if the ambient minimum temperature falls below 10 °C.</p> <p>1.5.2 Dosage must be compensated for temperatures below 21 °C.</p> <p>For each 5°C (or part of 5°C) the temperature is expected to fall below 21 °C, 8g/m³ must be added to the dosage, unless otherwise specified by the department.</p> <p>For example, using the standard dosage of 48g/m³ for a 24 hour exposure period, the dosage at:</p> <table style="margin-left: 40px;"> <tr> <td>21 °C and above is</td> <td>48 g/m³</td> </tr> <tr> <td>16 – 20 °C is</td> <td>56 g/m³</td> </tr> <tr> <td>11 – 15 °C is</td> <td>64 g/m³</td> </tr> <tr> <td>10 °C is</td> <td>72 g/m³</td> </tr> </table> <p>The fumigation provider must record the temperature information on the fumigation certificate.</p> <p>1.5.3 Heating of fumigation enclosures.</p> <p>The temperature in the fumigation enclosure must be raised above 10 °C during fumigation if the minimum temperature inside the enclosure is expected to fall below 10 °C.</p>	21 °C and above is	48 g/m³	16 – 20 °C is	56 g/m³	11 – 15 °C is	64 g/m³	10 °C is	72 g/m³	<p>At temperatures below 10 °C the fumigant has decreased effectiveness against pests, and more of the gas may be absorbed by the commodity. Excessive fumigant uptake can pose an increased safety risk, as the gas is difficult to remove from the commodity.</p> <p>Minimum ambient temperature</p> <p>The minimum ambient temperature that the fumigation enclosure is expected to experience over the duration of the treatment should be determined by checking with the official weather bureau in the country where the fumigation is taking place. This temperature should be used when determining the dosage. Alternatively, temperature recording equipment may be used to verify the temperature within the enclosure during the fumigation exposure period.</p> <p>See APPENDIX 5: Example of a fumigation certificate.</p> <p>Heaters incorporating a fan and thermostat may be used for this purpose. Flash proof heaters should be used if the commodity is flammable.</p> <p>Consideration can also be given to storing and fumigating the commodity in heated warehouses during extended cold periods.</p>
21 °C and above is	48 g/m³								
16 – 20 °C is	56 g/m³								
11 – 15 °C is	64 g/m³								
10 °C is	72 g/m³								

MANDATORY		INFORMATIVE	
THE FUMIGATION SITE			
2.1 Site requirements			
2.1.1	<p>The fumigation site must:</p> <ul style="list-style-type: none"> • Be able to be isolated from unprotected personnel. • Be well ventilated. • Be sheltered from high winds (as much as possible). • Have a power supply available (either mains or generator). 	<p>The site should be protected from adverse weather conditions such as high winds that can affect fumigation performance.</p> <p>Electrical power or a generator will need to be accessible on site to run fans and heaters during fumigation treatments.</p>	
2.2 Site floor			
2.2.1	<p>The fumigation floor must be flat and even.</p>	<p>Uneven surfaces for fumigations performed in containers can cause the container itself to flex making it difficult to get a good seal and prevent excessive leakage of the fumigant.</p>	
2.2.2	<p>The fumigation site floor must be impermeable to the fumigant for sheeted containers and stacks.</p>	<p>Surfaces sealed with concrete or hot mix asphalt, that is, with a smooth surface finish that are in good condition and meet the requirements listed to the left, generally provide good floor surfaces for effective sheet fumigation.</p> <p>Where unsealed cracks exist in a floor intended for fumigation, they may be sealed with an impervious sealant.</p> <p>Surfaces such as soil (including cement consolidated soil), sand, base rock and paving (stones or blocks) do not provide a suitable floor for a sheet fumigation enclosure.</p> <ul style="list-style-type: none"> • On porous or unsuitable surfaces gas proof sheets should be used or the floor should be permanently sealed; • Plastic sheeting or paper containing a tar (asphalt) layer may be used for this purpose. 	
	<p>The floor of any site used for fumigations performed under sheets must be:</p> <ul style="list-style-type: none"> • Free of stones and other sharp objects so that a gas-tight seal can be made between the sheets and the floor; • Free of cracks (including unsealed expansion joints in concrete floors) and drains or any other openings that will reduce the gas tightness of the enclosure. <p>Where unsealed cracks or drains are present, they must be no closer than 1 metre from the fumigation enclosure.</p>		

MANDATORY		INFORMATIVE
CONSIGNMENT SUITABILITY FOR FUMIGATION		
3.1 Fumigant circulation		
<p>3.1.1 There must be sufficient free air space to circulate the fumigant and achieve uniform distribution throughout the enclosure.</p>	<p>The fumigator must be able to demonstrate that the required concentration of methyl bromide can reach the target of the fumigation by taking and recording concentration readings from representative points within the enclosure.</p> <p>See 5.1 Monitoring tubes and, 7.2 Distributing fumigant within the enclosure</p>	<p>The free air space requirements for effective treatment of a consignment will vary depending on the commodity and the method of packing.</p> <p>As a guide, there should be at least 350 mm of free airspace in total with 200 mm free air space above the commodity, 50 mm below and the remaining 100 mm at the sides and between the commodities.</p> <p>Where commodities are stacked on the floor there must be sufficient free air space between individual items to allow the fumigant to act effectively on the target of the fumigation throughout the entire enclosure.</p> <p>If there is insufficient space to allow the monitoring tubes to be positioned according to the requirements then it is unlikely that the consignment can be fumigated effectively.</p>
<p>3.1.2 Timber must be separated by a minimum of 5 mm of air space in one dimension every 200 mm.</p>	<p>The separators must allow for any sagging to ensure that the 5 mm minimum separation is maintained along the entire length of the timber.</p>	

MANDATORY	INFORMATIVE
<h3>3.2 Fumigant penetration</h3>	
<p>3.2.1 The target of the fumigation must not be wrapped in or coated with materials that are impervious to methyl bromide.</p> <p>The fumigator must verify that the consignment is not wrapped in impervious materials that may prevent the methyl bromide from reaching the target of the fumigation.</p> <p>The fumigator must verify that the target of the fumigation does not have impervious surfaces or coatings such as paints, lacquers and veneers that may prevent the effective penetration of methyl bromide.</p> <p>Impervious wrappings such as plastic, tarred or waxed papers, aluminium foil etc. must be perforated, cut or removed prior to fumigation to allow the methyl bromide to reach the target of the fumigation.</p> <p>Impervious wrapping does not need to be cut or removed prior to fumigation if it conforms to the AFAS wrapping and perforation standard and is not more than one layer thick.</p>	<p>If the consignment cannot be fully inspected for impervious materials because of problems with accessibility the fumigator can;</p> <ul style="list-style-type: none"> • Rely on a packing declaration from the supplier/shipper/ packer that describes how the consignment is packaged and what packing materials have been used that allows assessment of the consignment’s suitability for fumigation. <p>Or, if this documentation is not available;</p> <ul style="list-style-type: none"> • Contact another party that has sufficient knowledge of the consignment to obtain a written declaration that states that it is free from impervious surfaces or wrappings that would prevent an effective fumigation. <p>If suitable declarations cannot be obtained the container should be unpacked for inspection prior to fumigation. The inspection must be conducted either by the fumigator or by another party that subsequently provides the fumigator with a written declaration indicating that it is free from impervious surfaces or wrappings.</p> <p>The AFAS Wrapping and Perforation Standard To meet AFAS perforation requirements for fumigation impervious materials must contain not less than four (4) perforations of 6 mm diameter / 100 cm² (10 cm x 10 cm square) or five (5) perforations of 5 mm diameter / 100 cm². Plastic wraps containing numerous pinholes (at least 6 holes / cm²), frequently used for transportation of fruit and vegetables are also acceptable.</p> <p>Methyl bromide will, in general, only penetrate 100 mm from the surface into timber within the fumigation exposure period.</p>
<p>3.2.2 Untreated timber products must have at least one physical dimension which is less than 200 mm thick.</p> <p>Timber products must be fumigated before any surface coating such as lacquering or paint is applied unless the product has at least one uncoated surface and a maximum thickness of 100 mm from the uncoated surface.</p>	

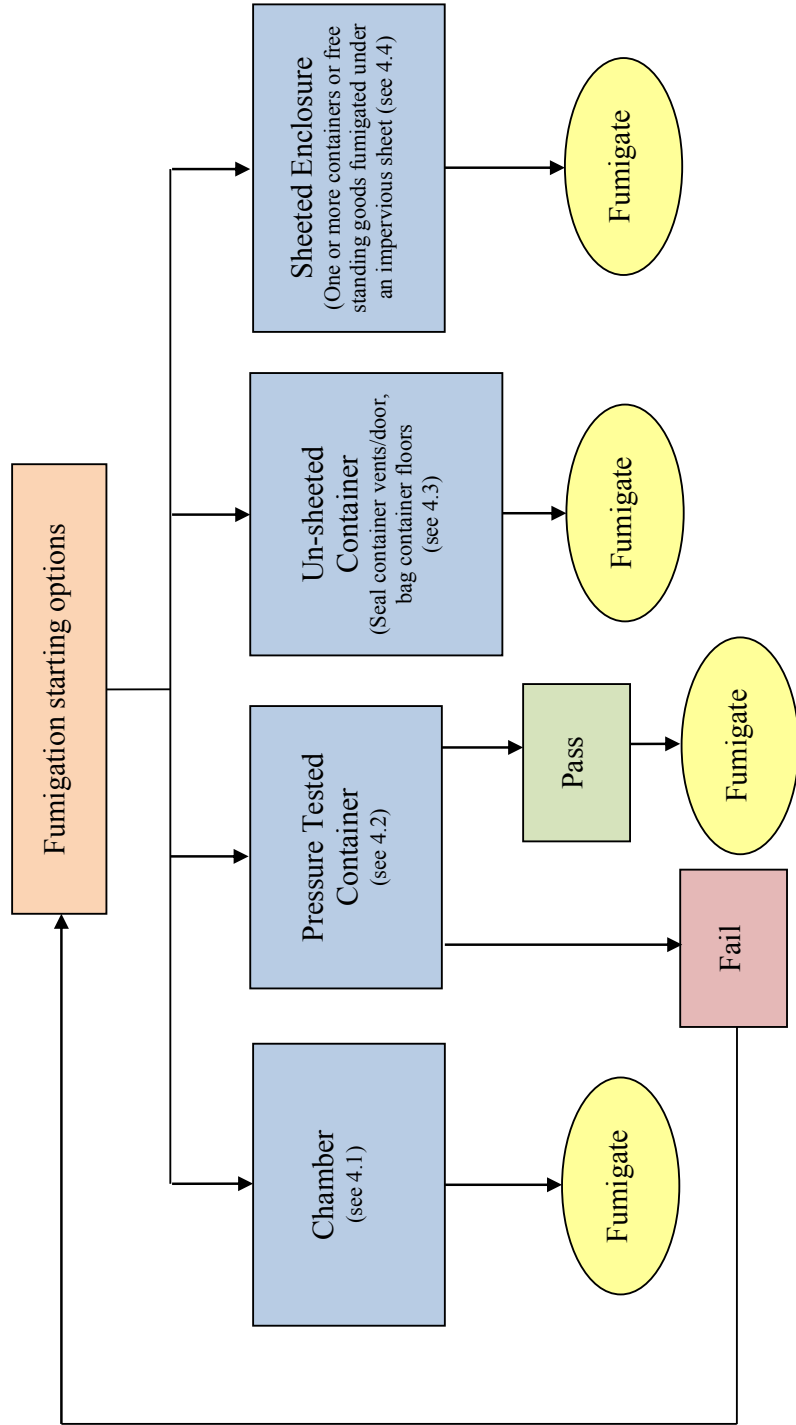
INFORMATIVE

MANDATORY

THE FUMIGATION ENCLOSURE

FUMIGATION TREATMENTS FOR QUARANTINE PURPOSES MUST BE CARRIED OUT IN GAS-TIGHT ENCLOSURES

There are several types of enclosures that are suitable for quarantine fumigations of cargo. This diagram illustrates the possible fumigation enclosure options.



AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

INFORMATIVE	
MANDATORY	
<p>4.1 Chamber fumigation</p> <p>4.1.1 A fumigation can be performed in a permanent structure specifically designed for fumigation. This includes shipping containers fixed in place and converted for this purpose.</p> <p>4.1.2 A pressure decay time from 200 to 100 Pa of 10 seconds or more must be achieved to verify that a chamber is gas-tight.</p>	<p>To satisfy these requirements, the fumigation chamber must:</p> <ul style="list-style-type: none"> • Be constructed from rigid materials on all sides including the door • Be permanently sealed along all joints between the walls, roof and floor • Be gas-tight once the door is closed without the need to use tape, sealant, sand snakes or any other means to ensure a gas tight seal. • Not have anything enter the chamber through the door that will interfere with the seal such as monitor tubes, supply pipes or electrical leads. • Have an inbuilt circulation system to adequately distribute the fumigant throughout the chamber. • Have an inbuilt extraction system that actively removes the fumigant from the enclosure and vents it to the open air above the roofline or directs it for recapture; and • Pass a pressure test at least every 6 months.
	<p>The following actions should occur before performing any chamber fumigation:</p> <ul style="list-style-type: none"> • Check that the chamber is not damaged and that there are no objects between the chamber and the chamber door to impair the seal; • Visually inspect the door seals of the chamber and replace where necessary <p>In addition to the pressure test results, deterioration in the ability of the chamber to retain fumigant can indicate the need for maintenance work</p> <p>See APPENDIX 6: Pressure testing enclosures for gas-tightness.</p> <p>Stricter pressure test requirements are considered necessary for fumigation chambers because they are often located inside buildings and in close proximity to unprotected personnel.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY		INFORMATIVE
<p>4.2 Pressure tested container</p>		
<p>4.2.1 A container can be used for fumigations without the need to sheet or seal the doors and base of the container if it passes a pressure test.</p>	<p>If the decay time between 50 Pa and 25 Pa is less than 5 seconds, the container must be enclosed under a gas proof sheet or adequately sealed (see un-sheeted container for requirements) before being fumigated with methyl bromide.</p>	<p>See APPENDIX 6: Pressure testing enclosures for gas-tightness.</p>
<p>4.2.2 A pressure decay time from 50 to 25 Pa of 5 seconds or more must be achieved to verify that a container is gas-tight.</p>	<p>Care must be taken to ensure that monitoring tubes, fumigant supply pipes and electrical cables introduced into a container after the pressure test, are adequately sealed to maintain a gas-tight condition.</p>	

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

INFORMATIVE	
MANDATORY	
<p>4.3 Un-sheeted container</p> <p>4.3.1 A container can be used for fumigations without the need to pressure test or enclose under a gas-proof sheet provided the container can be adequately sealed to ensure a gas tight enclosure.</p>	<p>The container must be checked for any visible holes/damage which may cause gas loss. Visible holes/damage must be repaired.</p> <p>All air vents must be sealed with tape or other suitable means.</p> <p>The door seals and areas where the supply pipes and monitoring lines exit the container must be carefully checked for leaks and sealed with tape or other suitable means.</p> <p>A suitable barrier must be placed around the external base of the container up to the level of the floor to reduce the amount of air passing underneath the container. (This is not required for fumigations performed on skeletal trailers)</p> <p>If the fumigation is performed in a container on a skeletal trailer the following additional requirements apply:</p> <ul style="list-style-type: none"> • The floor of the container must be leak checked and any leaks must be adequately sealed. • The trailer must remain stationary for the duration of the fumigation and until safely ventilated to 5ppm or less.
	<p>The container vents and doors can be sealed using tape and/or other suitable sealants. Pay particular attention to the front of the container where the leads and supply pipes exit the container.</p> <p>Sand snakes can be used to create this barrier. Ensure sand snakes seal all gaps at the base of the container to reduce the amount of air passing underneath.</p> <p>See 5.4 – Sand and water snake specifications</p>

MANDATORY		INFORMATIVE
<p>4.4 Sheeted enclosures</p>		
<p>4.4.1 Containers and free-standing goods can be fumigated under gas proof sheets.</p> <p>4.4.2 Prior to every treatment all fumigation sheets must be visually inspected for tears, holes and abrasions. These must be repaired or the sheet replaced.</p> <p>4.4.3 The sheets must:</p> <ul style="list-style-type: none"> • Be free from any defects (for example faulty seams/welds, tears or holes); • Have a permeability of less than 0.02 grams per square metre (of fumigation sheet) per 24 hours (multiplied by the dose in g/m³). <p>4.4.4 Sheets must be positioned to create a gas-tight seal with the floor.</p>	<p>For any sheet fumigation:</p> <ul style="list-style-type: none"> • Fumigation sheets must be positioned or protected with suitable padding to avoid any sharp corners or objects that might damage them; • Sheets must be arranged so that there is at least 500 mm of sheet extending beyond the limit of the seal; <p>In high winds, ropes or belts must be used to hold fumigation sheets in place to prevent them from flapping loose.</p>	<p>Joining fumigation sheets</p> <p>Fumigation sheets can be joined by tightly rolling a 400 mm to 500 mm overlapped join, which should be secured by tight gripping welding style clips.</p> <p>Joins should be made on, and supported by, a solid surface e.g. a container roof or wall.</p> <p>When battens are used, there must be at least three to four full turns of the sheets around the battens and the rolled sheets must be held together with tight gripping clips.</p> <ul style="list-style-type: none"> • Corners and areas where ropes, electrical leads, gassing pipes and monitoring tubes emerge from between or under the sheets must be tightly sealed; • Loose fumigation sheeting on corners of stacks must be secured by folding, rolling and clipping to prevent blowing out in the wind; • Where one or more containers are being fumigated under a sheet, at least one door of each container must be fully opened. <p>Sand or water snakes used to seal the junction of fumigation sheets and the floor must be overlapped and positioned to prevent fumigant leakage.</p> <p>See 5.4 Sand and water snake specifications</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY		INFORMATIVE
<p>4.5 Safety</p>		
<p>4.5.1 The fumigation enclosure and the surrounding area must be made safe for unprotected personnel.</p>	<p>A 'risk area' must be set up with a minimum of 3 metres clearance around the fumigation enclosure in the open, or 6 metres clearance in an enclosed area, and warning signs put in place. The area must be cleared of any unprotected personnel, that is, personnel not wearing a respirator, and at no time during the fumigation treatment should unprotected personnel be allowed to enter the 'risk area'.</p>	
<p>4.5.2 A full-face respirator or self-contained breathing apparatus must be used when releasing fumigant and while working within the risk area after the fumigant has been released.</p>	<p>Respirators must be fitted with a correct gas cartridge and specified by the manufacturer as suitable for methyl bromide (AX filter type).</p>	<p>Gas filter canisters should be used and replaced in accordance with the manufacturer's instructions.</p>

MANDATORY		INFORMATIVE
PREPARING THE FUMIGATION ENCLOSURE		
5.1 Monitoring tubes		
<p>5.1.1 All fumigations must be monitored. For enclosures larger than 30 cubic metres (equivalent to the average internal volume of a 20 ft shipping container), a minimum of three monitoring tubes must be positioned within the enclosure.</p> <p>5.1.2 For enclosures smaller than 30 cubic metres, a minimum of one monitoring tube must be placed at the top centre of the commodity being fumigated.</p> <p>5.1.3 For commodities not fumigated inside a container (e.g. large items of industrial and agricultural machinery, bagged grain, stacks of timber) the entire enclosed space within the fumigation sheets must be treated as a single fumigation enclosure.</p>	<p>Monitoring tubes must be placed as far as practicable from fumigant supply pipes.</p> <p>ONE container must have one monitoring tube placed:</p> <ul style="list-style-type: none"> • at the top back of the commodity – as far from the doors as possible; • as close to the centre of the commodity as is practicable; • at the front base of the commodity. <p>TWO containers (in the one enclosure) must have one monitoring tube placed:</p> <ul style="list-style-type: none"> • at the top centre of the commodity in each container; • at the front base of the commodity in either container. <p>THREE containers or more (in the one enclosure) must have one monitoring tube placed:</p> <ul style="list-style-type: none"> • at the top centre of the commodity in each container. <p>See APPENDIX 7: Monitoring tube placement for container fumigation.</p>	<p>Monitoring tube inlets should be at least 2 metres from the outlet of fumigant supply pipes.</p> <p>Before placing monitoring tubes inside an enclosure, ensure that:</p> <ul style="list-style-type: none"> • Each monitoring tube can be identified through the use of tags or individually coloured tubes. <p>Fumigant monitoring tube specifications</p> <p>Crush-proof nylon, hydraulic tubing or similar (The internal diameter must no smaller than the internal diameter of the sampling probe of the concentration measuring instrument) is effective for monitoring gas concentrations when containers and other enclosures are fumigated.</p> <p>Care should be taken to ensure that:</p> <ul style="list-style-type: none"> • The monitoring tubes do not absorb methyl bromide; • A free flow mixture of gas/air can be maintained; • The monitoring tubes are joined to the sampling inlet of the measuring instrument so that no fresh air is drawn in while the readings are being taken; • No kinks or blockages are present in the tubes; and • Monitoring tubes extend beyond the boundary of the risk area.

MANDATORY	INFORMATIVE
<p>5.2 Fumigant supply pipes</p> <p>5.2.1 Fumigant supply pipes must be positioned to allow the fumigant to be introduced into the free air space around the commodity.</p> <p>5.2.2 Multiple containers under the one enclosure must have a fumigant supply pipe in each container.</p>	<p>Monitoring tube inlets should be at least 2 metres from the outlet of fumigant supply pipes.</p> <p>Sealing fumigant supply pipes</p> <p>To prevent leakage from supply pipes:</p> <ul style="list-style-type: none"> • Make a gas-tight seal around every supply pipe exit point from the enclosure; • Seal the exposed ends after the fumigant has been introduced into the enclosure. <p>Multiple fumigant supply pipes per enclosure</p> <p>The use of multiple fumigant supply pipes will assist in distributing the fumigant when large enclosures or several containers in the one enclosure are treated.</p> <p>Where the system is balanced, it is possible to effectively deliver all of the fumigant through the entire system simultaneously.</p> <p>Where the system cannot be balanced, the correct amount of fumigant should be dispensed through each supply pipe in turn until the total amount of fumigant is applied.</p> <p>See APPENDIX 8: Fumigant gas supply pipe systems.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE
<p>5.3 Fans</p> <p>5.3.1 Fans must be positioned to ensure that the fumigant is rapidly and effectively distributed throughout the fumigation enclosure.</p> <p>5.3.2 For methyl bromide fumigation in small enclosures (such as freight containers), at least one fan must be used. For fumigation in larger enclosures, at least two fans must be used.</p> <p>5.3.3 Where multiple containers are fumigated under the same sheets, fans must be placed in each container.</p>	<p>Where high velocity and high volume fans are used, they should not run for longer than necessary after the introduction of the fumigant, as they may force the fumigant out of the enclosure.</p> <p>Fans should have a capacity to make at least 20 air changes an hour, taking into consideration the volume of the enclosure</p>
<p>5.4 Sand and water snake specifications</p> <p>5.4.1 When using sand snakes, a minimum of two rows of sand snakes must be placed side by side with joints overlapping (like brickwork), and laid flush against the enclosure to create a continuous seal.</p> <p>5.4.2 When using water snakes a single, continuous water snake must be laid flush against the enclosure to create a continuous seal.</p>	<p>Additional sand snakes may be placed on corners and other areas where fumigant leakage may be higher due to folds in the sheet or the presence of pipes or electrical leads.</p> <p>If water snakes are used, the sheets should be weighed down and sealed using a single, continuous water snake placed flush against the enclosure. Particular attention should be given to ensure a complete seal where the ends of the water snake meet. Water snake placement should not start or end on a corner.</p>

MANDATORY		INFORMATIVE
CALCULATING THE DOSAGE OF FUMIGANT REQUIRED		
6.1 Calculation of fumigation enclosure volume		
<p>6.1.1 The volume of a fumigation enclosure must be calculated from the measured dimensions.</p> <p>When fumigating sheeted enclosures the measured external dimensions must be used</p> <p>Where an enclosed un-sheeted container or chamber is used for fumigation, the volume of any gas circulation equipment external to the chamber must be included in the calculation of the enclosure volume, together with the known internal volume of the container or chamber</p> <p>See APPENDIX 9: Calculating the volume of differently shaped fumigation enclosures.</p>	<p>The volume of most freight containers is commonly found on the outside of the container, but this measurement can only be used if the container is not fumigated under a sheet.</p> <p>See 4.2 Pressure testing requirements for un-sheeted containers.</p>	
6.2 Calculation of fumigant dosage		
<p>6.2.1 The dosage of methyl bromide applied to a fumigation enclosure must conform to the requirements for the commodity and country of origin as found in the BICON database.</p> <p>6.2.2 Compensation must be applied to the dosage for fumigant mixtures containing less than 100% methyl bromide.</p> <p>6.2.3 Compensation must be applied for temperatures below 21° C.</p>	<p>To calculate the dosage (weight) of methyl bromide to be introduced into the fumigation enclosure, the following formula must be applied:</p> <p>$D = V \times C$</p> <p>Where:</p> <p>D = Dosage (in grams);</p> <p>V = Volume (in cubic metres);</p> <p>C = Required concentration (in grams per cubic metre).</p> <p>To calculate compensation for a mixture of 98% methyl bromide and 2% chloropicrin the following formula applies:</p> <p>$D = (V \times C) \div 0.98$</p>	

MANDATORY	INFORMATIVE
PERFORMING THE FUMIGATION	
7.1 Using a vaporiser	
<p>7.1.1 A vaporiser must be used for all fumigations conducted for quarantine purposes.</p>	<p>Methyl bromide must be applied to the fumigation enclosure in gaseous form. This must be achieved in all circumstances by applying the liquid fumigant through a vaporiser (HOT GASSING) in order to fully volatilise the fumigant prior to its entry into the fumigation enclosure.</p> <p>See APPENDIX 10: Vaporisers for methyl bromide.</p>
	<p>In warm or hot climates, ambient temperatures cannot be relied on to adequately vaporise liquid methyl bromide during the gassing process.</p> <p>The water in the vaporiser unit should be raised to boiling point before any liquid methyl bromide is released into it. The water should be maintained at this temperature for as long as possible throughout the gas introduction process and should not be allowed to fall below 65 °C to ensure complete vaporisation of the methyl bromide (and chlotopicrin if present).</p> <p>The temperature can be monitored during the gas introduction process by holding the gas supply pipe from the vaporiser to the fumigation enclosure. The pipe should feel warm/hot throughout the period in which the gas is introduced. If the temperature of the pipe reduces significantly, either stop the introduction of the fumigant and allow the water in the vaporiser to re-boil, or slow the flow of the fumigant from the cylinder to the vaporiser.</p> <p>Complete fumigant vaporisation will allow more effective distribution and penetration of the fumigant, and will reduce the possibility of product damage and pest survival.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE
<p>7.2 Distributing fumigant within the enclosure</p> <p>7.2.1 Fans must be operating during the application of the fumigant to ensure even distribution within the enclosure.</p> <p>7.2.2 Effective distribution of methyl bromide must be determined by monitoring gas concentrations at all monitoring points at set times after the introduction of the gas.</p>	<p>If all concentration levels cannot be achieved within 15% of the lowest reading (equilibrium) the fumigant should be further circulated by turning on the fan for an additional period of time. Concentrations should then be measured to see if equilibrium has been reached.</p> <p>This process should be continued until either equilibrium is reached or when the concentration levels drop below the standard.</p> <p>The fumigation cannot start if the fumigant levels drop below the standard concentration (A) as displayed in APPENDIX 11: Methyl Bromide Monitoring Table. If the cause can be identified and rectified without removing the sheet or losing excessive fumigant from the enclosure, the enclosure may be re-dosed and the fumigation process continued.</p>
<p>7.3 Checking for leaks</p> <p>7.3.1 The fumigation enclosure and all application equipment must be free from leaks.</p>	<p>A small amount of fumigant should be released through the system prior to the release of the total dose. All joins and connections should be checked for leakage and corrective action taken, if required.</p>

MANDATORY	INFORMATIVE
MONITORING AND MAINTAINING FUMIGANT CONCENTRATIONS	
<p>8.1 Monitoring frequency</p> <p>8.1.1 Methyl bromide concentrations within the fumigation enclosure must be measured on at least two occasions during the fumigation exposure period; at the start of the fumigation exposure period and at the end of the fumigation exposure period.</p> <p>8.1.2 All instruments used for measuring and monitoring methyl bromide concentrations must be fit for the purpose, in good working order and calibrated on a regular basis according to manufacturer's instructions.</p> <p>8.1.3 All instruments used for measuring and monitoring methyl bromide concentrations within a fumigation enclosure must be fitted with a moisture absorption filter, an appropriate carbon dioxide (CO₂), or other filter, as required by the manufacturer.</p>	<p style="text-align: center;">NOTE</p> <p>The fumigation period begins when all the readings are at or above the standard concentration and equilibrium has been reached.</p> <p style="text-align: center;">Specifications for monitoring equipment</p> <p>Monitoring equipment requires regular calibration and maintenance to ensure it operates effectively. It is particularly important to maintain carbon dioxide and moisture absorbers fitted to instruments (if applicable). Where batteries are used, they should be checked regularly for working condition.</p> <p>Any monitoring equipment may be used providing it is capable of reliably measuring methyl bromide concentrations within the fumigation enclosure of between 2 – 200 g/m³.</p>

MANDATORY		INFORMATIVE														
TABLE 2 : MONITORING TIMES																
8.2 Fumigant levels – Start-point and End-point																
<p>8.2.1 Fumigant concentrations must be measured at the start and end of the fumigation exposure period.</p> <p>1. Start-point monitoring The fumigation exposure period begins when the methyl bromide concentrations at all monitoring points are <u>AT OR ABOVE THE STANDARD</u> and have reached <u>EQUILIBRIUM</u> (when all readings are within 15% of the lowest reading).</p> <p>2. End-point monitoring Methyl bromide concentrations at all monitoring points must be <u>AT OR ABOVE THE STANDARD</u> at the end of the fumigation period, before fumigation can be declared successful.</p> <p>See APPENDIX 11: Methyl Bromide Monitoring Table.</p>	<p>Fumigant concentrations must be measured at:</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Exposure period</th> <th style="width: 30%;">Start-point monitoring</th> <th style="width: 30%;">Mid-point monitoring</th> <th style="width: 15%;">End-point monitoring</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Less than 48 hours</td> <td style="text-align: center;"><i>Take the first readings once it is reasonable to expect that equilibrium has been achieved.*</i></td> <td style="text-align: center;"><i>Not required but may be undertaken</i></td> <td style="text-align: center;"><i>End of exposure period</i></td> </tr> <tr> <td style="text-align: center;">48 hours or more</td> <td style="text-align: center;"><i>Take the first readings once it is reasonable to expect that equilibrium has been achieved.*</i></td> <td style="text-align: center;"><i>24 hours after start and as required.</i></td> <td style="text-align: center;"><i>End of exposure period</i></td> </tr> </tbody> </table> <p>* Equilibrium can be achieved more quickly if:</p> <ul style="list-style-type: none"> • There is good free air space in the enclosure • There are sufficient fans and they are positioned to best effect • The methyl bromide is applied as a hot gas. 	Exposure period	Start-point monitoring	Mid-point monitoring	End-point monitoring	Less than 48 hours	<i>Take the first readings once it is reasonable to expect that equilibrium has been achieved.*</i>	<i>Not required but may be undertaken</i>	<i>End of exposure period</i>	48 hours or more	<i>Take the first readings once it is reasonable to expect that equilibrium has been achieved.*</i>	<i>24 hours after start and as required.</i>	<i>End of exposure period</i>		
Exposure period	Start-point monitoring	Mid-point monitoring	End-point monitoring													
Less than 48 hours	<i>Take the first readings once it is reasonable to expect that equilibrium has been achieved.*</i>	<i>Not required but may be undertaken</i>	<i>End of exposure period</i>													
48 hours or more	<i>Take the first readings once it is reasonable to expect that equilibrium has been achieved.*</i>	<i>24 hours after start and as required.</i>	<i>End of exposure period</i>													

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE																		
<p>8.3 Fumigant concentrations</p> <p>8.3.1 Fumigant concentrations must be at or above the standard concentration (A) at all times, as set out in the Methyl Bromide Monitoring Table.</p>	<p>The concentrations presented in the Methyl Bromide Monitoring Table are based on the required percentage retention in the following table:</p> <p style="text-align: center;">TABLE 3: STANDARD CONCENTRATIONS REQUIRED AT SPECIFIC MONITORING TIMES</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;"><i>Monitoring times</i></th> <th style="text-align: center;"><i>Concentration of original fumigant required</i></th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"><i>15 – 30 minutes</i></td> <td style="text-align: center;"><i>85% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>30 minutes – 1 hour</i></td> <td style="text-align: center;"><i>75% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>1 hour</i></td> <td style="text-align: center;"><i>70% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>2 hours</i></td> <td style="text-align: center;"><i>60% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>4 hours</i></td> <td style="text-align: center;"><i>50% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>12 hours</i></td> <td style="text-align: center;"><i>35% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>24 hours</i></td> <td style="text-align: center;"><i>30% or more</i></td> </tr> <tr> <td style="text-align: center;"><i>48 hours</i></td> <td style="text-align: center;"><i>25% or more</i></td> </tr> </tbody> </table> <p>See APPENDIX 11: Methyl Bromide Monitoring Table.</p>	<i>Monitoring times</i>	<i>Concentration of original fumigant required</i>	<i>15 – 30 minutes</i>	<i>85% or more</i>	<i>30 minutes – 1 hour</i>	<i>75% or more</i>	<i>1 hour</i>	<i>70% or more</i>	<i>2 hours</i>	<i>60% or more</i>	<i>4 hours</i>	<i>50% or more</i>	<i>12 hours</i>	<i>35% or more</i>	<i>24 hours</i>	<i>30% or more</i>	<i>48 hours</i>	<i>25% or more</i>
<i>Monitoring times</i>	<i>Concentration of original fumigant required</i>																		
<i>15 – 30 minutes</i>	<i>85% or more</i>																		
<i>30 minutes – 1 hour</i>	<i>75% or more</i>																		
<i>1 hour</i>	<i>70% or more</i>																		
<i>2 hours</i>	<i>60% or more</i>																		
<i>4 hours</i>	<i>50% or more</i>																		
<i>12 hours</i>	<i>35% or more</i>																		
<i>24 hours</i>	<i>30% or more</i>																		
<i>48 hours</i>	<i>25% or more</i>																		

See [Appendix 11 Methyl Bromide Monitoring Table](#)

Some quarantine treatments require a higher retention rate than what is specified in this Standard. In such cases the higher retention rate is the end-point concentration that must be achieved for a successful fumigation.

This is most common for fumigations of perishable commodities where there is a short exposure time.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY

8.3.2 Fumigant concentrations at all monitoring points must be within 15% of the lowest concentration at the start of the fumigation exposure period.

INFORMATIVE

If readings from the monitoring points are NOT within 15% of the lowest reading at start point, there may be a problem with:

- Inadequate fumigant distribution throughout the enclosure.
- Blockages in the monitoring tubes or other monitoring problems.
- Monitoring equipment (malfunction).

Where the problem is identified as inadequate fumigant distribution, the fan(s) should be turned on and run for a further period of 15-30 minutes and the readings retaken.

If fumigant levels are below the required standard concentrations at any time during the fumigation exposure period, in addition to the possible causes listed above, there may be a problem with:

- Fumigation sheets or fumigation floor.
- Gas-tight seals between sheets and floor.
- Highly sorptive commodity.
- Incorrect dosage.

If the cause can be identified and rectified without removing the sheet or losing excessive fumigant from the enclosure, the fumigation can continue as normal so long as concentrations are equal to or above the standard concentrations (A) as set out in the Methyl Bromide Monitoring Table. [See Appendix 11 Methyl Bromide Monitoring Table.](#)

Additional fumigant may need to be added to top-up the concentration to a satisfactory level.

Where the cause cannot be readily identified (particularly in smaller fumigation enclosures, such as containers) the fumigation should be stopped and the fumigant ventilated from the enclosure.

Once the area is safe (free of fumigant at levels hazardous to humans) the commodities and the enclosure should be inspected for possible causes.

MANDATORY	INFORMATIVE
<p>8.4 Topping-up</p> <p>8.4.1 Topping-up must only be undertaken when fumigant concentrations are above the minimum top-up level at all monitoring points.</p> <p>8.4.2 Topping-up is not an option for fumigations of less than 12 hours.</p> <p>When topping-up is done after the end point monitoring the exposure period must be extended for a further 4 hours and final monitoring readings must be taken and recorded.</p> <p>The top-up dosage must be applied in accordance with Section 7: Performing the fumigation.</p> <p>Topping-up is not an acceptable action solely to compensate for inadequate operational practices e.g. use of torn or unsuitable fumigation sheets.</p> <p>Topping-up must only be undertaken when fumigant concentrations are above the minimum concentration to allow top-up (B) at all monitoring points.</p> <p>Fumigant levels must not be topped-up above the maximum top-up concentration AFAS.</p> <p>In addition to the monitoring times in TABLE 2 monitoring must take place at intervals not greater than 6 hours apart throughout the fumigation period if it is suspected that the relevant final concentration will not be achieved. Monitoring at the set times must still be done.</p>	<p>There are two options available for topping-up methyl bromide:</p> <p><u>Option 1 – Top-up – Start-point and End-point monitoring with top-up option at the end.</u></p> <p>This option allows for topping-up the level of methyl bromide at the end of the fumigation period, but only in certain circumstances and only if fumigant concentration levels have been monitored according to TABLE 3.</p> <p>If the fumigant concentration falls below the <i>standard concentration</i> (A) but not below the <i>minimum concentration</i> (C) indicated in APPENDIX 11: Methyl Bromide Monitoring Table. The fumigant levels may be topped up to not more than the <i>maximum top-up concentration</i> (B).</p> <p><u>Option 2 – Top-up – Continuous monitoring with top-up options.</u></p> <p>This option should be used when highly sorptive commodities have to be fumigated and the need for a top-up is indicated.</p> <p>Commodities considered to be highly sorptive to methyl bromide include: Fish Meals; Bone Meals; Corn Meals; Nuts; Seeds; Fats; Coffee Beans and commodities packed in polystyrene material.</p> <p>See APPENDIX 12: Examples of 'Top-up' calculations.</p>

MANDATORY		INFORMATIVE	
COMPLETING THE FUMIGATION			
<p>9.1 Ventilation</p> <p>9.1.1 On completion of a fumigation treatment, the methyl bromide must be vented out of the fumigation chamber, container or enclosure.</p> <p>9.1.2 Ventilation of the enclosure must be conducted so that the workplace Threshold Limit Value (TLV) for methyl bromide is not exceeded outside of the risk area.</p>	<p>If there is the likelihood of exceeding the TLV, then the risk area must be extended beyond the recommended distance for the duration of the ventilation.</p>	<p>Ventilation of fumigation enclosures</p> <p>This can be done by either natural aeration or forced ventilation using fans or other appropriate equipment.</p> <p>The time taken to reach the TLV (5 ppm in Australia) may take longer than 48 hours, particularly when:</p> <ul style="list-style-type: none"> • Commodities are fumigated in 40 ft (12.2 m) containers; • Commodities are tightly packed or sorptive; • Free airspace around the commodity is less than a total of 350 mm. <p>Before measuring TLV, the fumigator should switch off all fans being used for aeration of the fumigation enclosure. Where containers have been sheeted, the sheet must be fully removed prior to testing for TLV. Where containers have been fumigated, fumigant concentrations should be sampled from one or more representative points from within the fumigation enclosure. After taking the samples the fumigator will close the enclosure and leave the risk area.</p> <p>After 30 minutes of ventilation, the fumigator should reopen the enclosure and check the fumigant concentration inside the enclosure. If the concentration is less than or equal to 5 ppm, the enclosure may be declared safe. If concentrations of fumigant above 5 ppm are detected, the fumigator should leave the risk area, re-ventilate using fans or naturally ventilate the enclosure for a further period of time and recommence the TLV check procedure. This process should be repeated until all sections of the fumigation enclosure have been proved safe for re-entry.</p>	<p>NOTE</p> <p>Commodities that have not been adequately ventilated threaten the health of people packing and inspecting fumigated commodities.</p> <p>A notice may be placed on the container stating: “Due to possible desorption of fumigant from the commodities within this container, further ventilation may be necessary before the container is entered and the commodities removed”</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE
<p>9.1 Continued</p>	
<p>9.1.3 At the end of the fumigation exposure period, concentrations of methyl bromide in the fumigation enclosure, the air spaces of the treated commodity and the surrounding area must fall below the TLV.</p> <p>9.1.4 The equipment used for measuring methyl bromide concentrations in 'risk areas' and post treatment clearance of enclosures must be fit for the purpose, in good working order and calibrated on a regular basis according to manufacturer's instructions.</p> <p>9.1.5 Equipment used for measuring TLV must be capable of detecting concentrations of between 1 – 100 ppm v/v.</p>	<p>Where there is no documentation showing that an enclosure or container has been ventilated, handlers should treat it as still 'under gas' until it can be declared safe.</p> <p>Before any unprotected personnel are allowed access to a fumigation enclosure and 'risk area' it must be declared free from hazardous levels of fumigant (at or below TLV).</p> <p>Before a fumigated container or commodity is released from the control of the fumigator, it must be declared free from hazardous levels of fumigant (at or below TLV) in air spaces of the commodity or packing material enclosing the commodity.</p>
<p>9.2 Certification</p>	
<p>9.2.1 Fumigation providers must issue a certificate indicating the fumigation was successful and conformed to the AFAS standard. To support the claims made on the fumigation certificate, a Record of Fumigation sheet must also be completed on site and retained for audit purposes.</p>	<p>See APPENDIX 4: Example of a record of fumigation.</p> <p>See APPENDIX 5: Example of a fumigation certificate.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 1: Fumigation of Perishable Commodities

In addition to the requirements described in the Methyl Bromide Fumigation Standard, perishable commodities fumigated to BICON and PHYTO database requirements must meet the following:

FRESH FRUIT AND VEGETABLES, NURSERY STOCK AND FRESH CUT FLOWERS	
MANDATORY	INFORMATIVE
<p>1. General conditions</p> <p>1.1 Impervious wrappings or bags without perforations must be removed or opened.</p> <p>1.2 The consignment must be prepared and stacked to allow effective fumigant circulation.</p> <p>1.3 Cartons, boxes and other receptacles used to transport fumigated perishable goods must also be fumigated.</p>	<p>If the plants are to remain in their original boxes or other packages, or are placed in other packages for fumigation, ensure that there is adequate ventilation by cutting holes or making numerous gaps in all sides of the packages.</p> <p>The AFAS Wrapping and Perforation Standard</p> <p>To meet AFAS perforation requirements for fumigation impervious materials must contain not less than four (4) perforations of 6 mm diameter / 100 cm² (10 cm x 10 cm square) or five (5) perforations of 5 mm diameter / 100 cm². Plastic wraps containing numerous pinholes (at least 6 holes / cm²), frequently used for transportation of fruit and vegetables are also acceptable.</p> <p style="text-align: center;">NOTE</p> <p>Methyl bromide concentrations may decline below an effective level when methyl bromide is used to treat commodities packed in polystyrene boxes.</p>
<p>2. Fresh fruit and vegetables</p> <p>2.1 The temperature of the fruit pulp must be measured for dose calculations, not the minimum ambient temperature.</p> <p>2.2 The lowest temperature recorded must be the temperature used to calculate the dose of methyl bromide for treatment purposes.</p> <p>2.3 A carbon dioxide absorption tube or filter must be used in addition to a moisture absorption tube in specific circumstances.</p>	<p>Some commodities require specific minimum temperatures, e.g. New Zealand strawberries 18 °C.</p> <p>Where appropriate, the commodity may be warmed to meet the minimum temperature requirement.</p> <p>Some perishable commodities (e.g. garlic and onions) release high amounts of carbon dioxide and this affects gas measurements of some instruments. It is particularly important to maintain the carbon dioxide and moisture absorbers fitted to instruments.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	
3. Nursery stock and fresh cut flowers	INFORMATIVE
<p>3.1 Pure methyl bromide must be used for nursery stock and fresh cut flowers.</p> <p>3.2 Fumigation of nursery stock and fresh flowers must not be conducted below 11 °C or above 30 °C.</p> <p>3.3 Plants that have been refrigerated or stored in a cool room must be brought up to ambient temperature of the enclosure prior to the introduction of methyl bromide.</p> <p>3.4 Fans must be used to disperse the fumigant throughout the enclosure.</p> <p>3.5 Where the lids of cardboard boxes are not sufficiently vented, the boxes must be opened and stacked to allow adequate gas circulation.</p>	<p>Plants may be covered with single sheets of damp newspaper so that the gas is not circulated directly on to them.</p> <p>The fumigation of plants above 30 °C should be avoided as plants may become stressed or damaged.</p> <p>Plants should not be wet, but roots should be moist to prevent damage.</p> <p>Low humidity during treatment may damage plants. Relative humidity in the fumigation enclosure should be held above 75% during fumigation.</p> <p>In the absence of water misters within the fumigation chamber, damp newspapers and shallow trays of water may also be placed on the floor of the fumigation chamber to help prevent plant desiccation.</p> <p>Excessive air currents during fumigation or the post-treatment aeration period aggravate injury. It is recommended that circulating and ventilating fans or blowers be operated for the minimum length of time required for distributing the fumigant evenly or for removing toxic concentrations after treatment.</p> <p>Alternatively, flowers can be removed from the cartons and placed upright in the fumigation enclosure.</p> <p>Some flowers, for example roses, may be imported with cardboard collars or plastic sleeves to prevent bruising during transport. These may be retracted or removed to allow effective gas circulation.</p>

MANDATORY	
4. Post fumigation	INFORMATIVE
<p>4.1 Fumigated plants must not be packed into plastic boxes or boxes lined with plastic.</p>	<p>The original packing material may be used as long as it has also been fumigated.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 2: Fumigation of vessels with methyl bromide

Application

In addition to the requirements outlined in the AFAS Methyl Bromide Standard and BICON, the Yacht appendix is intended for the fumigation of vessels that can be sheeted or sealed for fumigation.

THESE REQUIREMENTS APPLY TO VESSELS UNDER TWENTY FIVE (25) METRES IN LENGTH AND MAY BE APPLIED TO LARGER NON-COMMERCIAL VESSELS THAT CAN BE EFFECTIVELY SEALED. IT IS NOT INTENDED TO BE APPLIED TO THE FUMIGATION OF CARGO VESSELS.	
MANDATORY	INFORMATIVE
1. Prior to Fumigation	
1.1 An assessment must be made to determine if the vessel can be effectively fumigated.	Timber components must not be covered or coated. See Section 3.2 of the Standard.
1.2 Due to the complex nature of vessel fumigations, a written plan for each fumigation must be submitted to the department for approval before fumigation commences.	<p>The fumigator must visit the vessel to assess how it will be prepared and fumigated.</p> <p>The written plan must contain the following information:</p> <ul style="list-style-type: none"> • Location of fumigation site • How the vessel will be sealed/sheeted • If the vessel is to be sealed, how it will be pressure tested • The number and locations of fumigant supply pipes • The number and location of fans • The number and location of monitoring tubes • The calculation of fumigant to be used and enclosure volume. <p>See Section 6.1 of the Standard.</p> <p>The plan can be presented as a diagram with locations of supply pipes, fans and monitoring tubes clearly indicated.</p> <p>The diagram does not have to be to scale, but needs to be legible and should indicate the fumigant enclosure volume accounting for volume reductions for any added fittings etc.</p> <p>Yacht dimensions are usually provided in the owner’s manual.</p>

INFORMATIVE	
MANDATORY	
2. FUMIGATION PROCEDURE	
<p>2.1 The fumigation site must be secured and a safety risk assessment must be undertaken.</p>	<p>If the vessel is to be fumigated on water, a 'risk area' must be set up around the fumigation enclosure or moored vessel (3 metres if achievable) with warning signs visible from all sides of the vessel.</p> <p>Only authorised personnel are allowed within the risk area. The area must be cleared of any unprotected personnel, that is, personnel not wearing a respirator, and at no time during the fumigation should unprotected personnel be allowed to enter the risk area.</p>
<p>2.2 If the vessel is to be fumigated on water, weather conditions, such as sea and wind conditions for the following 24 hours must be taken into account.</p>	<p>Proximity to other vessels should be taken into consideration when fumigating.</p> <p>If the vessel to be fumigated is moored on a public jetty security personnel may be required.</p> <p>Permission to fumigate may be required from the relevant:</p> <ol style="list-style-type: none"> 1. Harbour master 2. Marina/Jetty 3. Council 4. Waterways <p>For containerised, dry dock, patent slip or flat rack fumigations refer to Section 2.1 and Section 2.2 of the Standard.</p> <p>The weather conditions should be determined by checking with the Bureau of Meteorology to obtain the forecast applicable to the area where the fumigation will be performed.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE
<p>2. Continued</p> <p>2.3 If fumigating on water the sheeting of a vessel must be weighted and extend below the water to ensure an air tight seal (the sheet must be secure enough not to be affected by sea conditions).</p> <p>2.4 If a vessel cannot be entirely sheeted, all windows, doors, hatches, ventilation points, entry/exit points, etc. must be made gas tight.</p> <p>2.5 Sealed vessels must be pressure tested.</p> <p>2.6 The vessel's volume must be determined so that the correct amount of fumigant can be applied.</p>	<p>It is preferable to sheet the entire vessel/container as per Section 4.3 of the Standard. Multiple vessels/containers may be fumigated under a single gas proof sheet. If the sheet is unable to enclose the mast or superstructure, a seal must be secured to prevent gas leakage</p> <p>Regardless of whether a vessel is sealed, containerized, individually sheeted or part of a multi-vessel fumigation, the fumigant supply pipe, fan and monitoring tube requirements in Section 5.1, Section 5.2 and Section 5.3 of the Standard apply.</p> <p>Water proof does not necessarily mean gas tight.</p> <p>Prior to every treatment, any items used for sealing the vessel must be visually inspected for tears, holes and abrasions, as these are a major contributing factor to significant gas loss.</p> <p>The entry/exit points for gas supply pipes and monitoring tubes must be made gas tight.</p> <p>The cabin or area to be treated must be sealed with tape. Any bung holes need to be sealed and all foam rubber, beds, etc. must be removed.</p> <p>See Section 4.2 and Section 4.3 of the Standard.</p> <p>See Appendix 6: Pressure testing enclosures for gas tightness of the Standard.</p>

MANDATORY	INFORMATIVE
<p>2. Continued</p> <p>2.7 Fumigant supply pipes must be positioned to allow fumigant to be introduced and circulated effectively throughout the vessel.</p> <p>See Section 5.2 of the Standard.</p> <p>Minimum requirements for single storey vessels:</p> <ul style="list-style-type: none"> • One pipe per vessel less than 15 metres in length. The line should be centrally located (e.g. mid-ship). • Two pipes per vessel greater than 15 metres in length. One line should be placed forward and one aft. <p>Minimum requirements for multi-storey vessels:</p> <ul style="list-style-type: none"> • One pipe per storey for vessels less than 15 metres in length. With due regard for internal lay out, the line should be centrally located (e.g. mid-ship). • Two pipes per storey for vessels greater than 15 metres in length. With due regard for internal lay out, one line should be placed forward and one aft. <p>2.8 Where multiple fumigant supply pipes are used, the entire system must be balanced in order to achieve even distribution throughout the enclosure.</p>	<p>The size and design of a vessel will determine the number of fumigant supply pipes needed for effective fumigation.</p> <p>Single storey vessels: Single storey vessels are those with one accommodation deck with under-floor compartments that have a shared air space and a simple weather deck. Vessels with a distinct separate but simple wheelhouse on the upper deck could be treated as a single storey vessel. Vessels with one accommodation deck, but segregated by waterproof bulkheads broken into distinct spaces, may need to be treated separately.</p> <p>Multi-storey vessels: Multi-storey vessels are those that have separate floors/levels, including inhabitable levels. Vessels with a single storey that have storage and bige areas under the floor should be treated as a single-storey vessel.</p> <p>Complex or unusual vessels will often have distinct sealed bulkheads and storage compartments (for example: patrol boats, fishing vessels and pack ice vessels). When fumigating these types of vessels, these requirements should be taken into account to determine fumigant supply pipe numbers and placement. In some cases, there will need to be a fan, a supply pipe and a monitoring tube in each separate compartment.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE
<p>2. Continued</p> <p>2.9 Fans must always be used in vessel fumigations.</p> <p>There must be enough fans situated in appropriate locations throughout the vessel, with enough capacity to adequately and evenly distribute the fumigant.</p> <p>Fans are required for at least the first 30 minutes of the fumigation or until equilibrium and initial dose concentrations have been reached. See Section 5.3 and Section 7.2 of the Standard.</p> <p>Minimum requirements are:</p> <p>Single storey vessels:</p> <ul style="list-style-type: none"> • One fan per vessel for small single cabin area vessels (e.g. cabin cruisers). The fan must be located adjacent to an injection line. • Two fans per vessel between 15 – 30 metres in length. One fan must be placed forward and one aft. • Three fans per vessel greater than 30 metres in length. One fan must be placed forward, one mid-ship and one aft. <p>Multi-storey vessels:</p> <ul style="list-style-type: none"> • Two fans per storey. One fan must be placed forward and one aft. 	<p>Fans should run sequentially to assist with the movement of the fumigant from areas where it has been introduced to areas where no fumigant supply pipe is present.</p> <p>All doors and compartments should be opened to allow fans to be effective.</p> <p>High velocity and high volume fans should not run for longer than 15 – 20 minutes after the introduction of the fumigant, as they may force the fumigant out of the enclosure.</p> <p>The size and design of a vessel will determine the number of fans needed.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY	INFORMATIVE
<p>2. Continued</p> <p>2.10 Vessels must have a minimum of three monitoring tubes per storey/level.</p> <p>2.11 Inside the vessel, all monitoring tubes must be located at least 2 metres away from any fumigant supply pipes.</p> <p>Minimum requirements are:</p> <p>Single storey vessels: Three tubes per vessel. Each vessel must have one tube placed as follows:</p> <ul style="list-style-type: none"> • Ceiling level forward • Mid-ship around 1.5 metres above the floor. • At or below floor level aft. <p>For vessels greater than 30 metres in length, four monitoring tubes are required. These are to be situated as above, with the additional placed mid-ship – one in a cabin and one in a corridor, both around 1.5 metres above the floor.</p> <p>Multi-storey vessels: Three monitoring tubes per storey. Each storey must have one tube placed as follows:</p> <ul style="list-style-type: none"> • Ceiling level forward • Mid-ship around 1.5 metres above the floor • Below floor level aft (If it is not possible to place the tube below floor level it must be placed at floor level). 	<p>The size and design of a vessel will determine the number of monitoring tubes.</p>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

MANDATORY		INFORMATIVE
2. Continued		
2.12 Dosage and Temperature	<p>See Section 1.4 of the Standard. See Section 1.5 of the Standard. See Section 6.2 of the Standard. See Section 8.3 of the Standard. See Section 8.4 of the Standard.</p>	
2.13 Monitoring	<p>See Section 7.3 of the Standard. See Section 8.1 of the Standard.</p>	
2.14 Ventilation	<p>See Section 9.1 of the Standard.</p>	

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 3: Commodities for which problems may occur when fumigated with methyl bromide

Commodity	Notes
1. Foodstuffs: a. Butter, lard and fats; b. Iodised salt stabilised with sodium hyposulphite; c. Full fat soybean flour, whole wheat flour, other high protein flours and baking powders; d. Nuts with high oil content; e. Certain baking sodas, cattle licks, salt blocks, or other foodstuffs containing reactive sulphur compounds; f. Bone meal.	Never exceed the recommended dosage or exposure periods for food or foodstuff commodities.
2. Leather Goods	Particularly kid or other leather goods tanned with sulphur processes.
3. Woollens	Caution should be used in the fumigation of Angora woollens. Some adverse effects have been noted on woollen socks, sweaters, shawls and yarn.
4. Viscose rayon	Rayons processed or manufactured with the use of carbon bisulfide.
5. Photographic chemicals	Excluding camera film or X-ray film.
6. Paper: a. Silver polishing papers; b. Certain writing and other papers cured by sulphide processes; c. Photographic prints; d. "Carbonless" carbon paper; e. Blueprint papers.	
7. Rubber Goods: a. Sponge rubber; b. Foam rubber, such as rug padding, pillows, cushions, mattresses, and some car seals; c. Rubber stamps and other similar forms of reclaimed rubber.	
8. Vinyl	
9. Furs	
10. Feathers	Especially in feather pillows.
11. Charcoal, cinder blocks and activated carbon	
12. Horsehair articles	
13. Oil artworks	
14. Sulphur-based paint	
15. Cellophane	
16. Polystyrene packaging and containers	Polystyrene can absorb large quantities of methyl bromide, which may take a long time to desorb.
17. Perishable plant products including fruit and vegetables	Both fresh and dry vegetables are generally tolerant to treatment with methyl bromide. Some varieties of fruit may be susceptible to injury resulting in external markings on the skin or internal injury appearing as browning of the flesh
18. Live plants, bulbs, seeds	Methyl bromide is one of the few fumigants that may be used safely on a wide range of living plants without causing harmful effects. However, there are a number of genera known to be adversely affected by methyl bromide and some species should only be fumigated when fully dormant. Actively growing plants are more susceptible to harm than dormant plants.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 4: Example of a record of fumigation

Methyl Bromide - Record of Fumigation

Job Details									
Job Identification		Customer Name			Start Date of Fumigation			Location	
Description of Consignment									
Target of Fumigation					Container Numbers / Consignment Identification				
Fumigation Details									
The consignment complies with the following requirements:									
Adequate free airspace, no impervious surfaces or wrapping, maximum timber thickness & spacing								<input type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Sheeted Stack		Length = _____			<input type="checkbox"/> Un-sheeted Container		Volume (m ³)		
<input type="checkbox"/> Sheeted Container/s		Width = _____			<input type="checkbox"/> Chamber				
Size: _____ Qty: _____		Height = _____							
Specified Dose Rate		Exposure Period			Forecast Minimum Temp		Dose Rate Used		
g/m ³		hrs			°C		g/m ³		
Calculated Dose		Chloropicrin <input type="checkbox"/> N/A			Actual Dose Applied		Time Dosing Finished		
g		%			g		g		
Concentration Readings									
Phase	Time of Reading	Standard g/m ³	Monitor Line Readings by Location					Equilibrium Calculation	Top-up Dose
			1:	2:	3:	4:	5:		
Start								%	
								%	
During									
End									
Comments									
Ventilation									
Initial TLV		Date & Time Taken			2 nd TLV Reading		Date & Time Taken		
ppm					ppm				
Fumigator in Charge					Government Officer (if supervised)				
Name		Signature			Name		Signature		

For a copy go to <http://www.agriculture.gov.au/import/arrival/treatments/treatments-fumigants>

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 5: Example of a fumigation certificate

COMPANY LETTERHEAD
(including address as it appears on the AFAS treatment providers list)

AFAS – METHYL BROMIDE FUMIGATION CERTIFICATE

Certificate number: [] AEI: []

TARGET OF FUMIGATION DETAILS

Target of fumigation: [] Commodity [] Packing [] Both Commodity and Packing

Commodity: Quantity:

Consignment link:

Country of origin: Port of loading: Country of destination:

Name and address of exporter: Name and address of importer:

TREATMENT DETAILS

Date fumigation completed: Place of fumigation:

DAFF prescribed dose rate (g/m³): Exposure period (hrs):

Forecast minimum temp (°C): Applied dose rate (g/m³):

How was the fumigation conducted? [] Un-sheeted Container [] Sheeted Container/s [] Chamber [] Pressure Tested Container [] Sheeted Stack

Container number/s (where applicable):

Does the target of the fumigation conform to the plastic wrapping, impervious surface and timber thickness requirements at the time of fumigation? Yes [] No []

Ventilation Final TLV reading (ppm): (not required for Stack or Permanent Chamber fumigations)

DECLARATION

By signing below, I, the AFAS accredited fumigator responsible, declare that these details are true and correct and the fumigation has been carried out in accordance with all the requirements in the AFAS Methyl Bromide Fumigation Standard.

ADDITIONAL DECLARATIONS

.....

Signature Date Name of Accredited Fumigator AFAS Accreditation Number

Company stamp

For a copy go to http://www.agriculture.gov.au/import/arrival/treatments/treatments-fumigants

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

How to complete the AFAS Approved Standard Fumigation Certificate

Details of the consignment and information relating to the fumigation must be included on the fumigation certificate for it to be accepted by the department. This information should be on a single page and in a format consistent with the above template. Following is advice on completing this fumigation certificate template.

Only fumigation certificates from AFAS countries issued by a treatment provider on the AFAS Acceptable Treatment Providers list will be accepted by the department.

Certificate must be on the treatment provider's letterhead

The letterhead must include the address of the fumigation treatment provider that matches the address published on the department's treatment providers list (TPL). Where a company has more than one branch the address on the letterhead must match that on the TPL for the branch that issues the certificate.

Certificate Number / AFAS Registration Number

Each certificate must include a unique certificate number issued by the treatment provider and the treatment provider's AFAS Registration Number. For audit and investigation purposes the certificate number must link to the treatment provider's fumigation records for the treatment covered by the certificate.

Target of the Fumigation Details

Select the option that best describes the target of the fumigation. This may be the commodity (goods), the packaging (including pallets and/or container) or both.

Consignment Link

The certificate must include a link to some other official documentation related to the consignment such as: a bill of lading number, a commercial invoice number, a preferential tariff certificate number, a packing list number, a letter of credit number or container number. If there is insufficient room on the certificate you may use the additional declarations field or attach a complete list to the certificate.

Consignment Details

The certificate must also include the quantity, the country of origin, the intended port of loading and country of destination as well as the name and addresses of the exporter and importer.

Treatment Details

- Date fumigation completed: is the date on which the fumigation exposure period is complete.
- Place of fumigation: is the general location in which the fumigation took place, e.g. Town / City.
- Prescribed dose rate (g/m³): is the prescribed concentration of methyl bromide (MBr) required to effectively treat the target of the fumigation.
- Exposure period (hrs): is the prescribed duration of the fumigation.
- Forecast minimum temperature (°C): is the minimum temperature in degrees Celsius forecast by an official source for the period of fumigation.
- Applied dose rate (g/m³): is the concentration of MBr applied to the fumigation enclosure including adjustments made to the prescribed dosage to compensate for forecast minimum temperatures between 21°C and 10°C.
- How was the fumigation conducted: Select the fumigation enclosure type and include container number/s if the treatment was conducted in the container/s the target of the fumigation will be shipped in.
- Does the target of the fumigation conform to the AFAS plastic wrapping, impervious surface and timber thickness requirements at the time of fumigation? This declaration identifies that at the time of fumigation all AFAS plastic wrapping, impervious surface and timber thickness requirements have been met. If there is no plastic wrapping or impervious surfaces on the target of fumigation, the fumigator should answer 'yes' as all plastic wrapping and impervious surface requirements are met. Where there requirements are not met the fumigation should not be conducted.
- Ventilation, final TLV reading (ppm): The final threshold limit value (TLV) reading is when the methyl bromide concentration within the enclosure falls to 5 ppm or below. Record the MBr concentration reading to declare the enclosure is gas free. Where multiple containers are fumigated in one enclosure, TLV is required for each container. Where a stack or permanent chamber fumigation is performed, answer 'NA' (not applicable) as no TLV is required.

Declaration

The AFAS accredited fumigator (or accredited officer if the certificate is endorsed by the relevant regulatory authority) responsible for ensuring that the treatment is effective and performed according to the requirements of the AFAS Methyl Bromide Fumigation Standard must sign and date the certificate and print their name and accreditation number. They may also wish to stamp the certificate with their company stamp.

Additional Information

Any additional information that the fumigator wishes to supply may be included in the Additional Declarations field.

False declarations may result in AFAS accreditation being revoked.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 6: Pressure testing chambers and containers for gas-tightness

Procedure for pressure testing a chamber

Check the monitor tubes, supply pipes and exhaust system valves are closed.

The pressure inside the closed chamber must be raised to 250 Pa using high-pressure compressed air supplied from a portable compressor or gas cylinders.

- 1) As the pressure inside the chamber reaches 250 Pa, turn off the compressed air supply.
- 2) Allow the pressure to decay to 200 Pa.
- 3) Start measuring the time (in seconds) when it reaches 200 Pa.
- 4) Stop measuring the time (in seconds) when it reaches 100 Pa.
- 5) Record the pressure decay time.

The chamber can be pressurised by attaching the source of compressed air to the supply pipe and the pressure decay can be measured by attaching a suitable pressure measuring instrument to one of the monitoring tubes.

Procedure for pressure testing a shipping container

Inspection of empty containers

If a container can be selected prior to packing, the procedure below should be followed.

The container should be positioned to allow easy access to all four sides and the roof. It should stand on a flat, horizontal surface to avoid twisting (or racking) that may prevent the doors from providing an adequate seal.

The container should be examined before pressure testing to ensure it is structurally sound, the sides and roof are free of significant holes, and free of obvious distortion. Containers that are obviously damaged (e.g. where large holes and gaps are present in the roof and walls, or where the doors, door seals and locks do not fit and function properly) are not suitable and should not be pressure tested.

Where rust is present, the affected areas should be closely inspected and checked for the presence of holes. Containers with holes, gaps or those that are badly rusted are not suitable for pressure testing. The doors must make firm contact with each other, the doorframe and floor sill so that their seals function effectively. The rubber seals around the doors should be unbroken, leaving no obvious gaps. Containers with faulty doors and door seals are unsuitable for pressure testing.

The interior of the container should be examined from inside, with the doors closed so that any gaps or holes should be visible as they will allow light to enter the container. Containers with any holes and gaps are unsuitable for pressure testing.

Containers with:

- Wet or damaged floors are not suitable for pressure testing;
- Dry floors that are in good condition showing no signs of damage are suitable for pressure testing.

Sealing the vents

All vents must be sealed on the outside of the container – **not the inside**.

Make sure the area around each vent is dry and free from grease, then completely cover and seal to make them gas-tight. The most effective way to seal the vents is to completely cover them with plastic duct tape.

It is important to unseal all vents at the end of the exposure period – and always before the container is loaded onto any form of transport.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

Pressurising the container

This should be done without drilling holes through the walls of the container.

A 'finger manifold' is recommended for pressure testing a container.

The finger manifold is designed to deliver high pressure compressed air into a container, rapidly pressurise it and then allow the pressure decay time to be measured. The manifold has twelve 'fingers', nine of which deliver compressed air into the container while the other three measure the pressure within the container. The 'fingers' are made of soft copper tubing that can be bent to shape as necessary.

The manifold is bent to fit over the front of the sill so that it can be sealed between the right hand door and the sill, and removed after the pressure test has been completed.

Instruments for measuring the pressure decay time

The pressure inside the container can be measured using a variety of instruments. The equipment required ranges from relatively simple to proprietary instruments including:

- A simple U tube manometer or an inclined manometer, using a manually operated stop watch;
- Any sensitive pressure gauge, using a manually operated stop watch;
- A purpose made instrument, the CONTESTOR, which combines a pressure sensor with a timer that cuts in when the required pressures have been achieved.

Measuring the decay time

The pressure inside the container must be raised to 100 Pa using high-pressure compressed air supplied from a portable compressor or gas cylinders.

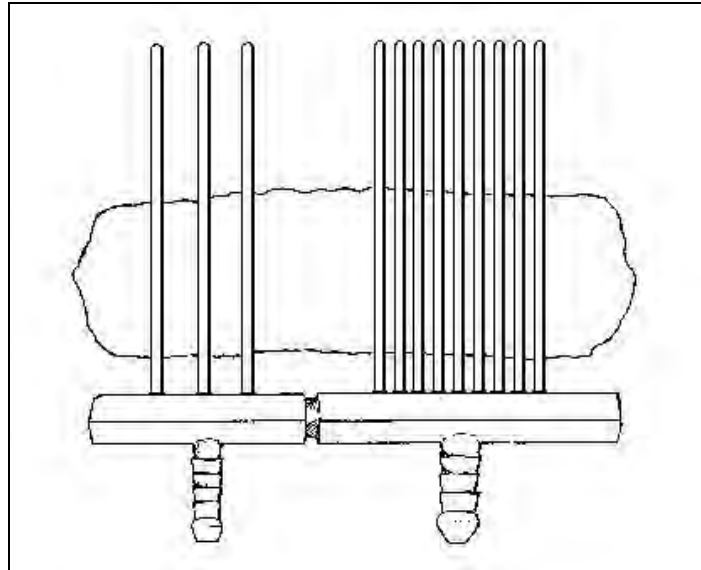
- 6) As the pressure inside the container reaches 100 Pa, turn off the compressed air supply.
- 7) Allow the pressure to decay to 50 Pa.
- 8) Start measuring the time (in seconds) when it reaches 50 Pa.
- 9) Stop measuring the time (in seconds) when it reaches 25 Pa.
- 10) Record the pressure decay time.

NOTE

Chambers with a pressure decay time from 200 to 100 Pascals of 10 seconds or more are considered gas-tight. Shipping containers with a pressure decay time from 50 to 25 Pascals of 5 seconds or more are considered gas-tight and are suitable for use as one-off fumigation enclosure. Where the pressure decay time does not meet the minimum requirements, the container must be enclosed under gas proof sheets or adequately sealed.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

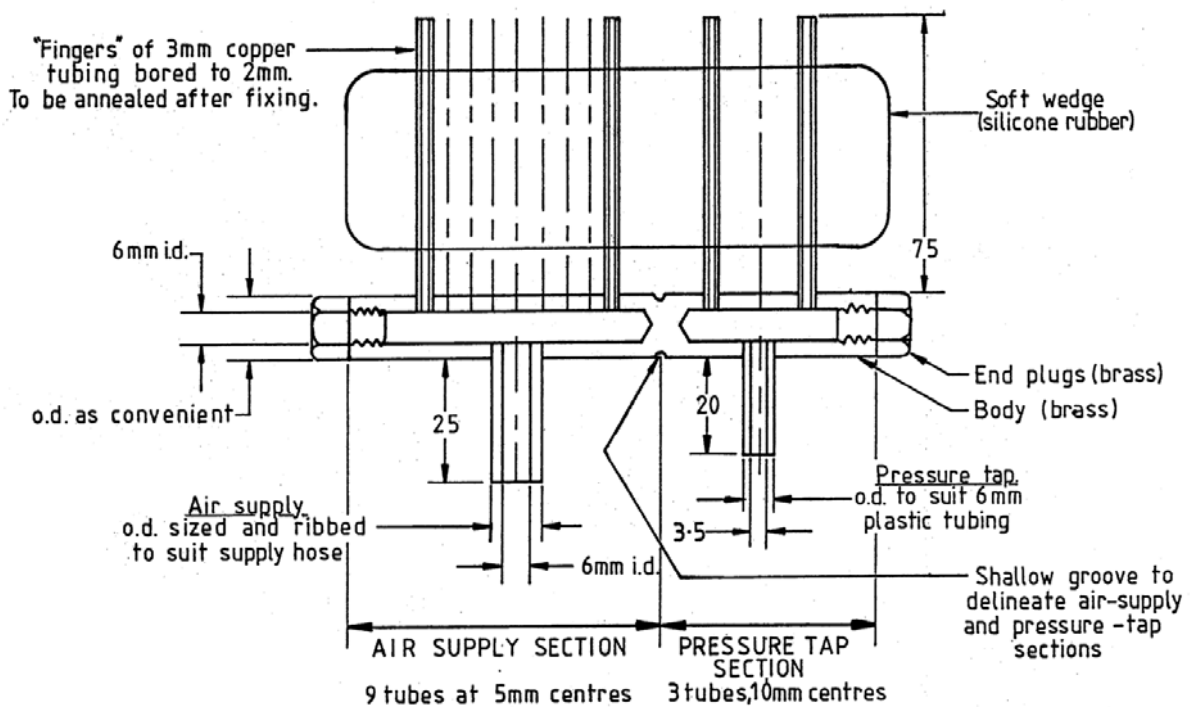
FIGURE 1 – FINGER MANIFOLD FOR DELIVERING HIGH PRESSURE COMPRESSED AIR INTO A CONTAINER AND MEASURING THE PRESSURE INSIDE THE CONTAINER.



The 'finger manifold' is designed to deliver compressed air into a container, pressurise it and allow the pressure decay to be measured. The manifold (illustrated above) has twelve 'fingers', nine of which deliver compressed air into the container, while three measure the pressure within it. The 'fingers' are made of soft copper tubing that can be bent to shape as necessary.

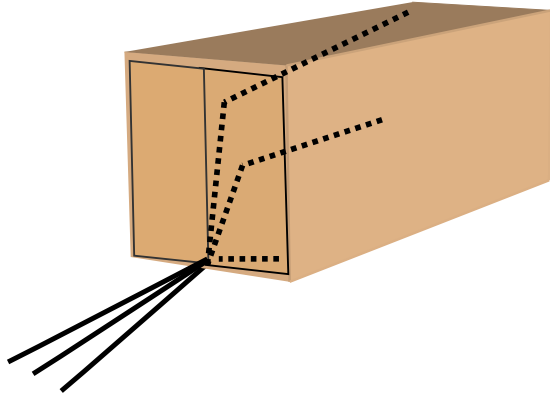
The manifold can be bent to fit either over the front of the sill or between the vertical door seal. In either case sealant is applied between the fingers of the manifold and door seals and removed after the pressure test has been completed.

FIGURE 2 – TECHNICAL DRAWING OF THE FINGER MANIFOLD FOR PRESSURE TESTING FREIGHT CONTAINERS.



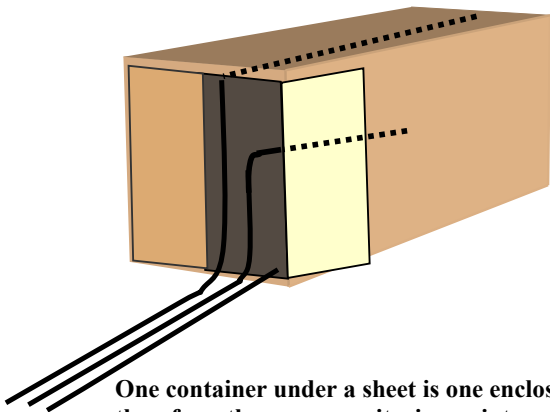
APPENDIX 7: Monitor tube placement for container fumigation

Un-sheeted containers

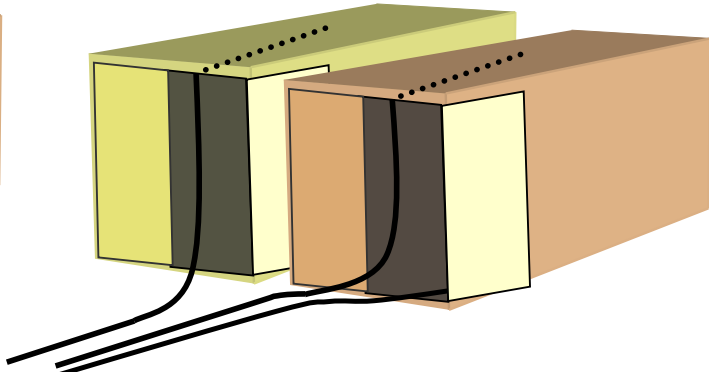


One or more containers without sheets. Each container is a separate enclosure therefore, three gas monitoring points in each container. (1) Top back (2) Middle centre (3) Front base.

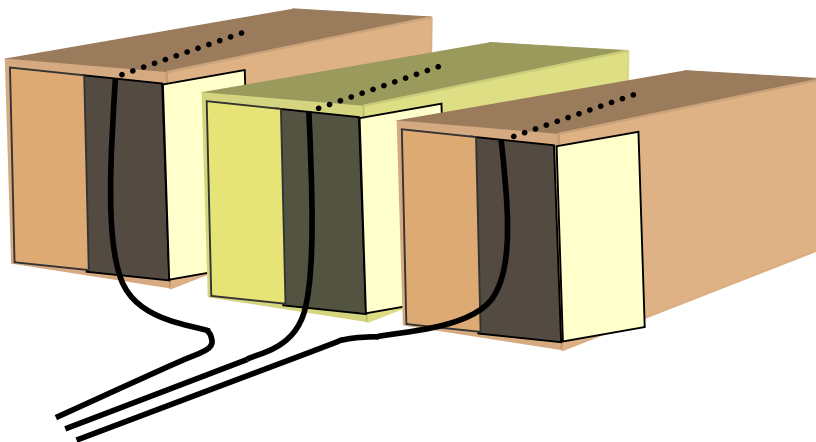
Containers fumigated under sheet



One container under a sheet is one enclosure therefore, three gas monitoring points. (1) Top back (2) Middle centre (3) Front base.



Two containers under a sheet is one enclosure, therefore at least three gas monitoring points. One top centre of the commodity in each container, one front base of either container.



Three or more containers under a sheet is one enclosure, therefore at least one gas monitoring point in EACH container at the top centre of the commodity.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 8: Fumigant gas supply pipe systems

When gas is introduced into an enclosure through multiple supply pipes of differing length or diameter, the amount of gas flowing through each pipe will vary due to friction between the gas and sides of the pipe, as well as the flow dynamics of the gas.

Arrangements of gas supply pipes for single and multiple manifold systems to ensure balanced distribution of fumigant gas into the fumigation enclosure.

Gassing pipes of unequal length or diameter
Apply equal quantity through each tap in turn

Gassing pipes of equal length and diameter
Apply equal quantity through all taps at the same time

Complex systems
All splits must contain pipes of equal length and diameter
 $a+c+c = b+d+d$

Multiple Manifold Systems
M – Volumetric measuring device (dispenser) or scales.

Gassing pipes of unequal length or diameter
Pipes connected individually and equal quantities of gas dispensed

Gassing pipes of equal length and diameter
Pipes connected to manifold and total quantity of gas dispensed

Complex Systems

These examples demonstrate possible methods of creating balanced systems for distribution of fumigant gas.

Multiple manifold systems are the most adaptable, allow for quick, safe and effective fumigation and are recommended.

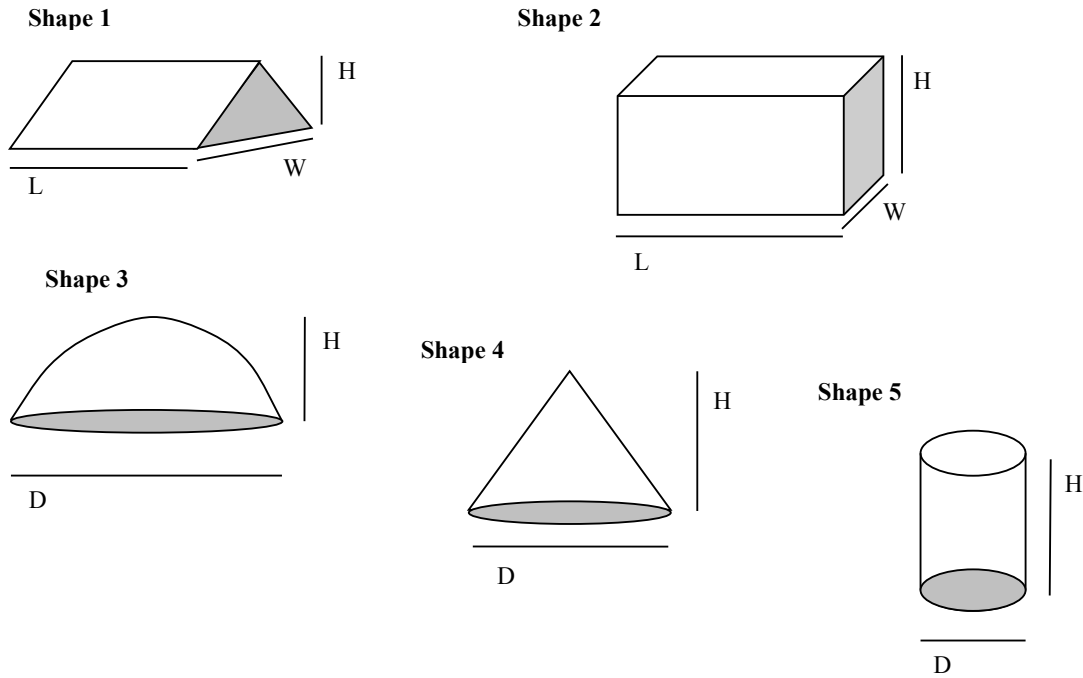
Single Manifold Systems

The overlying principle is that a balanced system will distribute the same volume of gas through each arm of the system at the same time. If it is not possible to achieve a balanced system then balanced application must be achieved by distributing measured amounts of gas through each arm of the system in turn.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 9: Calculating the volume of differently shaped fumigation enclosures

The following guidelines may be used to assist in calculating the volume of differently shaped fumigation enclosures:



The internal volume of a fumigation enclosure can be calculated by adding up the volume of its parts where:

- L = Length
- R = Radius (Diameter/2)
- π (Pi) = 3.142
- W = Width
- D = Diameter (Radiusx2)
- H = Height

Volumes are:

- Shape 1 (triangular prism): $1/2(L \times W \times H)$
- Shape 2 (rectangular prism): $L \times W \times H$
- Shape 3 (dome): $2/3(\pi \times R \times R \times R)$
- Shape 4 (cone): $1/3(\pi \times R \times R \times H)$
- Shape 5 (cylinder): $\pi(R \times R) \times H$

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 10: Vaporisers for methyl bromide

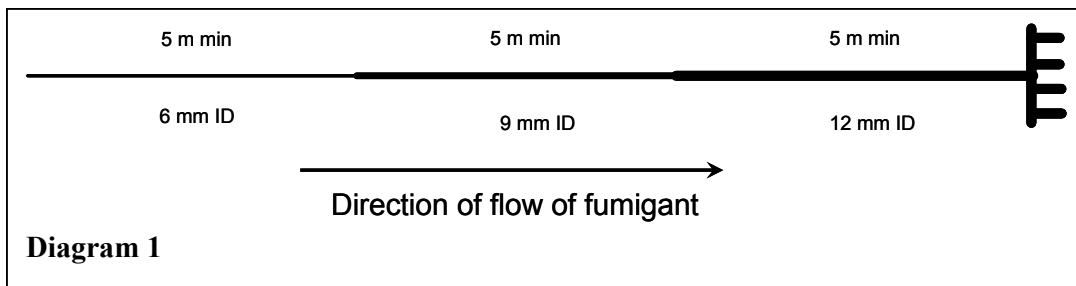
The following is a design for a simple yet sophisticated vaporiser that can be made cheaply with locally available components.

The following materials and methods are required:

The Heat Transfer Coil

The coil should be made from copper tubing and should be at least 12 metres long. It can be made from one continuous length of copper tubing (12 mm in diameter [ID]). However, a much faster gas flow can be achieved by constructing it from three five metre lengths of tubing of increasing diameter; 6 mm ID, 9 mm ID and 12 mm ID, for example. The system illustrated below (Diagram 1) will allow the gas to escape quickly through the outlet, avoiding excessive back-pressure, which can slow down gas flow from the cylinder.

The whole system should allow for at least 0.1 square metres of tubing surface for every kilogram of fumigant to be vaporised each minute.



The lengths of tubing must be carefully joined in a manner that is completely gas-tight. Suitable connectors should be fitted to the inlet and outlet to meet the requirements of the gas inlet and outlet pipes. This instruction shows the use of a manifold with four outlet taps that easily allow for a balanced system to fumigate up to four or more containers at the same time, ensuring that the same amount of gas is introduced to each.

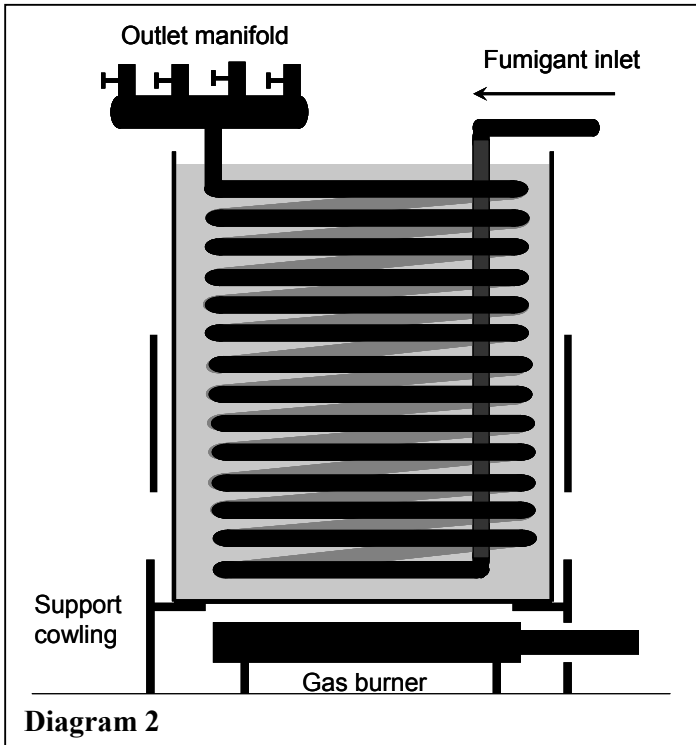
The manifold should be constructed from 19 mm to 24 mm tubing, with suitable gas taps and outlets fitted.

The tubing should be coiled as tightly as possible to allow for the coil to fit into a suitable water container. The inlet and outlet ends should be positioned above the top segment of the coil so that they are clear of the water bath (see Diagram 2).

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

The Water Container

Stainless steel sheet 1.6 mm thick should be used to construct the water container and cowling because mild steel sheet rusts very rapidly. Handles should be provided to allow for lifting.



A cowling should be included to support the container above the gas burner and to protect the burner from the wind.

The Gas Burner

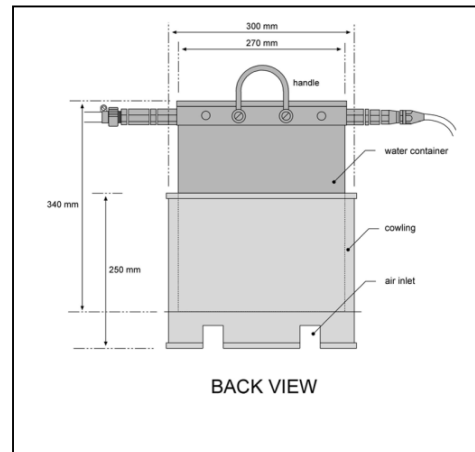
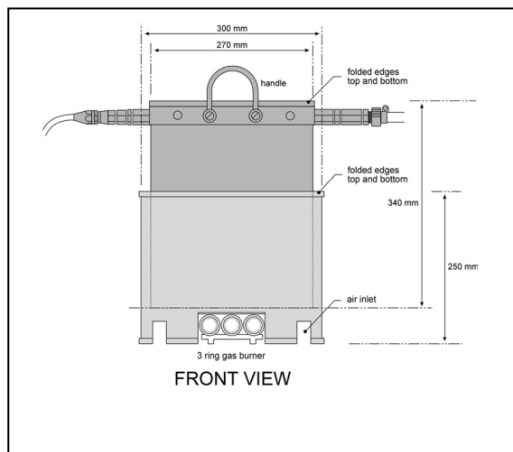
A three-ring gas burner of the type used for boiling large food pots is satisfactory.

Care should be taken to use a burner that can be adjusted to burn with a hot flame, to ensure that adequate heat can be applied to the water container both before and during the application of the fumigant.


Fittings

The choice of fittings for both inlet and outlet will depend on the individual and the equipment used.

However it is strongly recommended that good quality, gas rated fittings are used. Threaded fittings on all gas piping is strongly recommended, rather than relying on hose clamps to hold piping in place on bare copper tubing.



APPENDIX 11: Methyl bromide monitoring table
Methyl Bromide Monitoring Table

Dosing Phase	Initial Dose	32 g/m ³	40 g/m ³	48 g/m ³	56 g/m ³	64 g/m ³	72 g/m ³	80 g/m ³	88 g/m ³	128 g/m ³	Dosing is complete once ALL the required amount of gas has been applied to the enclosure. Start Point is achieved when ALL concentration readings are at or above the Standard AND within 15% of the lowest reading (equilibrium).
Gas Distribution Phase	¼ - ½ hr 85% or more of initial dose	32	40	48	56	64	72	80	88	128	The duration of the fumigation is measured from when the Start Point is achieved. For example, if a 24 hr fumigation reaches Start Point 1 ½ hrs after dosing, the fumigation is completed 25 ½ hrs after applying the dose and ALL concentrations at are or above the standard specified for 24 hrs.
	¼ - 1 hr 75% or more of initial dose	32	40	48	56	64	72	80	88	128	
	> 1 hr 70% or more of initial dose	32	40	48	56	64	72	80	88	128	
Fumigation Phase	2 hrs 60% or more of initial dose	24.2	29	33.8	38.5	46.4	51.2	56	60.8	84.8	 <p>A = Standard Concentration B = Minimum concentration to allow top-up C = Maximum top-up concentration</p>
	4 hrs 50% or more of initial dose	21	25	29	33	40	44	48	52	72	
	12 hrs 35% or more of initial dose	16.2	19	21.8	24.6	30.4	33.2	36	38.8	52.8	
	24 hrs 30% or more of initial dose	14.6	17	19.4	21.8	27.2	29.6	32	34.4	45.4	
	48 hrs 25% or more of initial dose	13	15	17	19	24	26	28	30	40	

Version October 2014

Table 4: Minimum Concentrations Required for a Range of Dose Rates at Specific Times

Hours	Retention	Minimum Standard Concentrations Required (g/m ³)													
		32	48	56	64	72	80	88	96	104	128	136	144	152	
¼	85.00%	27.2	40.8	47.6	54.4	61.2	68.0	74.8	81.6	88.4	108.8	115.6	122.4	129.2	
½	75.00%	24.0	36.0	42.0	48.0	54.0	60.0	66.0	72.0	78.0	96.0	102.0	108.0	114.0	
1	70.00%	22.4	33.6	39.2	44.8	50.4	56.0	61.6	67.2	72.8	89.6	95.2	100.8	106.4	
2	60.00%	19.2	28.8	33.6	38.4	43.2	48.0	52.8	57.6	62.4	76.8	81.6	86.4	91.2	
3	54.80%	17.5	26.3	30.7	35.1	39.5	43.8	48.2	52.6	57.0	70.1	74.5	78.9	83.3	
4	50.00%	16.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0	52.0	64.0	68.0	72.0	76.0	
5	47.80%	15.3	22.9	26.8	30.6	34.4	38.2	42.1	45.9	49.7	61.2	65.0	68.8	72.7	
6	45.70%	14.6	21.9	25.6	29.2	32.9	36.6	40.2	43.9	47.5	58.5	62.2	65.8	69.5	
7	43.70%	14.0	21.0	24.5	28.0	31.5	35.0	38.5	42.0	45.4	55.9	59.4	62.9	66.4	
8	41.80%	13.4	20.1	23.4	26.8	30.1	33.4	36.8	40.1	43.5	53.5	56.8	60.2	63.5	
9	40.00%	12.8	19.2	22.4	25.6	28.8	32.0	35.2	38.4	41.6	51.2	54.4	57.6	60.8	
10	38.30%	12.3	18.4	21.4	24.5	27.6	30.6	33.7	36.8	39.8	49.0	52.1	55.2	58.2	
11	36.60%	11.7	17.6	20.5	23.4	26.4	29.3	32.2	35.1	38.1	46.8	49.8	52.7	55.6	
12	35.00%	11.2	16.8	19.6	22.4	25.2	28.0	30.8	33.6	36.4	44.8	47.6	50.4	53.2	
16	33.35%	10.7	16.0	18.7	21.3	24.0	26.7	29.3	32.0	34.7	42.7	45.4	48.0	50.7	
20	31.65%	10.1	15.2	17.7	20.3	22.8	25.3	27.9	30.4	32.9	40.5	43.0	45.6	48.1	
24	30.00%	9.6	14.4	16.8	19.2	21.6	24.0	26.4	28.8	31.2	38.4	40.8	43.2	45.6	
28	29.15%	9.3	14.0	16.3	18.7	21.0	23.3	25.7	28.0	30.3	37.3	39.6	42.0	44.3	
32	28.31%	9.1	13.6	15.9	18.1	20.4	22.6	24.9	27.2	29.4	36.2	38.5	40.8	43.0	
36	27.47%	8.8	13.2	15.4	17.6	19.8	22.0	24.2	26.4	28.6	35.2	37.4	39.6	41.8	
40	26.64%	8.5	12.8	14.9	17.0	19.2	21.3	23.4	25.6	27.7	34.1	36.2	38.4	40.5	
44	25.82%	8.3	12.4	14.5	16.5	18.6	20.7	22.7	24.8	26.9	33.0	35.1	37.2	39.2	
48	25.00%	8.0	12.0	14.0	16.0	18.0	20.0	22.0	24.0	26.0	32.0	34.0	36.0	38.0	
Minimum concentration to allow top-up is		- 8g/m ³ below the Standard Concentration													
Maximum top-up concentration		+ 8g/m ³ above the Standard Concentration													

Concentration readings must be equal to or above the required concentrations specified for the hour preceding the reading. For example, a reading taken at 2.5 hours must be equal to or above the concentrations specified at 2 hours in the above table.

If the concentration measuring instrument used can only read in whole grams then the Minimum Standard Concentration required must be rounded up to the nearest whole number.

APPENDIX 12: Examples of ‘Top-up’ calculations

Chart 1: Graphic to illustrate use of top-up procedure described in this Standard

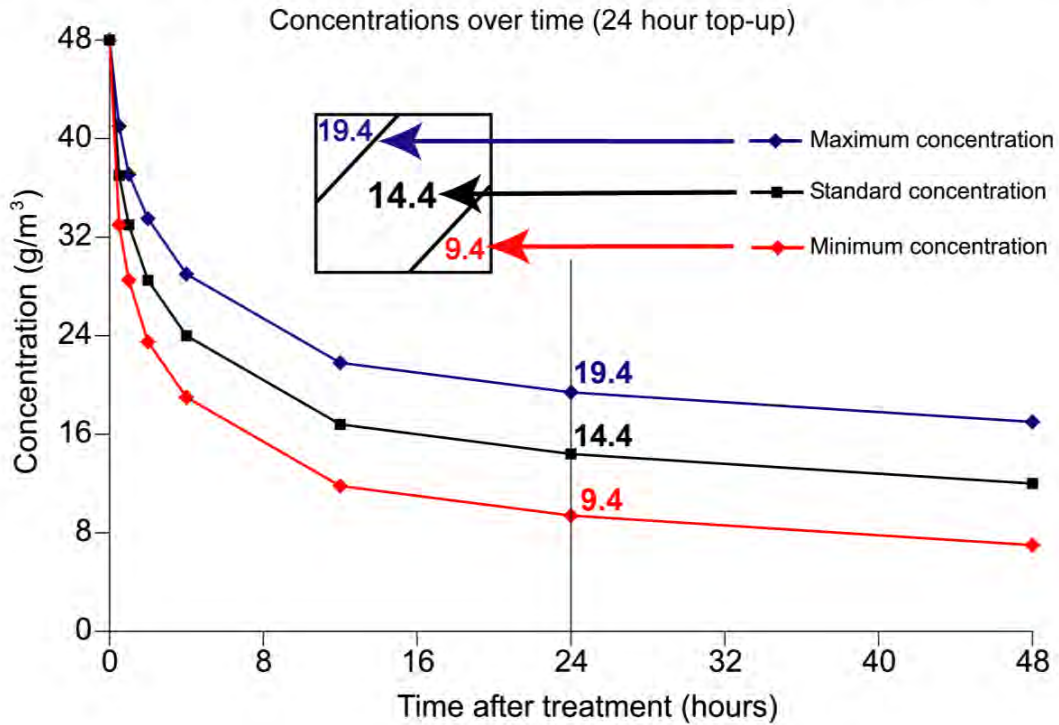


Chart 1 graphically shows what should happen to methyl bromide levels during a well-sealed, sheeted fumigation, based on the values in [Table 3](#). And an initial dosage of 48g/m³. Also shown are the boundaries around the standard concentration, below which the fumigation will not be acceptable. The middle line (standard concentration) represents the theoretical progress of a fumigation treatment in a well-sealed sheeted fumigation enclosure.

The middle line is the **AFAS standard concentration** (value A in the *Methyl Bromide Monitoring Table*).

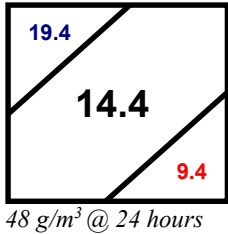
The lower boundary is the **Minimum concentration to allow top-up** (value B in the *Methyl Bromide Fumigation Monitoring Table*).

The upper boundary is the **Maximum top-up concentration** (value C in the *Methyl Bromide Fumigation Monitoring Table*).

If the methyl bromide concentration falls below the minimum concentration then **the fumigation has failed and a TOP-UP MAY NOT BE CARRIED OUT.**

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

Example 1 – Top-up at the end of the fumigation period



Fumigation has been carried out, applying methyl bromide at 48 g/m³. At 24 hours the lowest fumigant concentration at the monitor points is 12 g/m³.

12 g/m³ is below the AFAS Standard for 48 g/m³ at 24 hours (14.4 g/m³, as shown, centre figure) but above the Minimum Concentration to allow top-up (9.4 g/m³ as shown, bottom right figure).

The AFAS Standard allows for the fumigant concentration to be topped-up to the Maximum Top-Up Concentration (19.4 g/m³ as shown, top left figure).

To determine the amount of fumigant to be added to the enclosure, subtract the lowest concentration from the maximum top up value, as shown below:

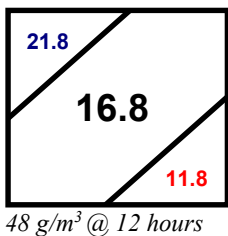
$$19.4 - 12 = 7.4 \text{ g/m}^3 \times \text{volume of the enclosure}$$

This figure is multiplied by the volume of the enclosure to determine the total dosage to be applied. The fumigant should be evenly distributed to the entire enclosure, using a vaporiser, with fans operating.

The fumigation period must be extended by 4 hours, at which time ALL monitor points must read at or above the standard (for the 24 hour standard figure).

Where any concentration has dropped below the standard, only one top-up procedure is permitted.

Example 2 – Continuous top-up during the fumigation period



Fumigation has been carried out, applying methyl bromide at 48 g/m³. At 12 hours the lowest fumigant concentration on the monitor tubes is 17 g/m³.

It is suspected that fumigant levels may drop below standard by the end of the fumigation and a decision to top-up is made.

The AFAS Standard allows for the fumigant concentration to be topped-up to the Maximum Top-Up Concentration (21.8 g/m³ as shown, top left figure).

To determine the amount of fumigant to be added to the enclosure, subtract the lowest concentration from the maximum top up value, as shown below:

$$21.8 - 17 = 4.8 \text{ g/m}^3 \times \text{volume of the enclosure}$$

This figure is multiplied by the volume of the enclosure to determine the total dosage to be applied. The fumigant should be evenly distributed to the entire enclosure, using a vaporiser, with fans operating.

No extension of the fumigation period is required, as long as the concentration has not fallen below the standard. Multiple top-up actions may take place where the concentration has not fallen below the standard.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 13: Methyl bromide as a quarantine fumigant

Methyl bromide fumigation has been used globally as a disinfection treatment for many years. It has a reputation for effectiveness against a wide range of pests and commodity combinations. It is favoured in many countries for plant quarantine because of its reputation for having:

- Good penetrating ability;
- Rapid action;
- High toxicity to a broad spectrum of insects and similar pests.

It is frequently used for treating timber, agricultural products, empty containers, foodstuffs, seeds and plants.

Due to its recognised effectiveness and the lack of well-tested alternatives, the department currently uses methyl bromide extensively for preventing exotic pest incursions into Australia. Methyl bromide is equally important as a treatment allowing Australian exporters to meet the importing requirements of other countries.

AFAS aims to minimise methyl bromide use where possible, due to its damaging effect on the ozone layer and the likelihood that it may be phased out completely. (see [Appendix 14: Methyl Bromide as an Ozone Depleting Gas](#)). This includes encouraging the efficient use of methyl bromide at minimum effective application rates and avoiding re-treatments by providing comprehensive and accurate information on treatment requirements.

Safety and methyl bromide formulations

Methyl bromide is an extremely toxic, odourless gas. Regulations in some countries may specify that methyl bromide used in fumigation treatments must contain a warning agent. This is typically 2% chloropicrin. However, methyl bromide with chloropicrin is phytotoxic to live plants, cut flowers, fresh fruit and vegetables and seeds. In Australia chloropicrin residues are not permitted in many foodstuffs.

NOTE

In some situations the chloropicrin may condense and pool, increasing the health and safety hazards associated with the use of methyl bromide.

APPENDIX 14: Methyl bromide as an ozone depleting gas

At a meeting of signatories to the Montreal Protocol in November 1992, methyl bromide was listed as a category 1 ozone depletant. This decision was made due to concern that methyl bromide's continued use would threaten the integrity of the ozone layer. This is a major environmental concern as the depletion of the ozone layer allows greater amounts of ultra violet (UV) radiation to reach the surface of the Earth. Subsequently, developed countries have agreed to progressively phase out the general use of methyl bromide by the year 2005 (except for quarantine and specific exemption purposes) and developing countries by 2015.

In recognition of the importance of methyl bromide as a quarantine tool, without alternatives in many cases, an international exemption on phase out for quarantine purposes has been agreed to for the time being. However, it is likely that as the agricultural use of methyl bromide is phased-out the costs of producing methyl bromide will increase substantially, and the gas may become increasingly difficult to obtain. As a result, and despite the current exemption, it is likely that methyl bromide has only a limited future for quarantine purposes.

AFAS recognises the ozone depleting properties of methyl bromide and seeks to actively promote reduced methyl bromide use, within the constraints of quarantine protection, through:

- Encouraging effective use of treatments with this fumigant at minimum effective application rates;
- Advising its client industries of acceptable alternatives to methyl bromide where available;
- Encouraging quality assurance practices that minimise reliance on end-point treatments as the primary measure to reduce quarantine risks associated with pest infestation in goods.

Australia supports the use of technologies that recycle or trap methyl bromide, preventing it from escaping into the atmosphere providing all other requirements of the AFAS Methyl Bromide Standard are met.

Suppliers and users of methyl bromide need to be aware that importing this gas into Australia without a licence, is prohibited under the Commonwealth's *Ozone Protection Act 1989*.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

APPENDIX 15: Glossary of terms

Term	Definition
Ambient temperature	Temperature of the air immediately surrounding the fumigation enclosure.
Chloropicrin	A strong-smelling chemical commonly added to the odourless methyl bromide to indicate the presence of gas.
Commodity	The item or goods that are being exported or targeted for fumigation.
Concentration	The amount of fumigant present at a certain point in the fumigation enclosure, usually expressed as grams per cubic metre (g/m ³)
Consignment	Refers collectively to the commodity, any packing materials used and the mode of transport such as a freight container.
Container (freight container)	Standardised transportation units intended to be suitable for transporting a variety of commodities.
Dosage	The calculated amount of fumigant applied to a fumigation enclosure, usually expressed as kilos or grams.
Dry dock	Narrow basin, trench or area that may be flooded and is large enough to hold a vessel. After flooding, the basin is able to be sealed from the body of water and emptied of water to allow work to be carried out on the vessel.
Dunnage	Materials used for supporting or protecting commodities during transportation.
External timber	Any timber components used in construction or fittings of the yacht e.g. railings, non-slip strips on deck.
Free air space	Empty space between, above or around a commodity to allow the fumigant access to the commodity to eradicate pests.
Fumigant	A chemical, which at a particular temperature and pressure can exist in a gaseous state in sufficient concentration and for sufficient time to be lethal to insects and other pests.
Fumigant supply pipe	A relatively large diameter pipe used to supply fumigant to a fumigation enclosure.
Fumigation	Application of a fumigant to a fumigation enclosure to eradicate pests.
Fumigation certificate	Documentation certifying that a fumigation treatment has been undertaken in compliance with AFAS requirements.
Fumigation chamber	A permanent chamber used for fumigation purposes that meets the AFAS pressure test requirements.
Fumigation enclosure	Any space or area designed to contain fumigant for the purposes of fumigation. Examples include gas-tight containers, gas-proof sheets sealed to an impermeable floor with sand or water snakes, and purpose built structures.
Fumigation sheets	Gas impervious material (generally made from vinyl, coated nylon or polyethylene) capable of creating a temporary fumigation enclosure (also known as tarps or tarpaulins).
Gas equilibrium	At the start of fumigation, where the gas concentration at each monitoring point is within 15% of the lowest reading. The department only accepts that a fumigation exposure has started AFTER it has been demonstrated that equilibrium has been achieved and concentrations at all monitoring points are at or above the standard.
Internal timber	Any timber items found inside the yacht e.g. wooden fittings, floors, drawers and panels.
Monitoring tube	A relatively small diameter tube used to withdraw a sample of gas/air mixture from within a fumigation enclosure for measuring fumigant concentration.
Normal atmospheric pressure (NAP)	Standard, natural atmospheric (air) pressure (10 ⁵ Pa).
Pallet	A platform used to support commodities during shipment generally of standard dimensions to allow for easy stacking. Pallets used in shipping are generally made of timber, plywood, metal, plastic or moulded fibreboard.

AFAS Methyl Bromide Fumigation Standard – Version 2.3 – August 2015

Term	Definition
Patent slip	Moveable cradle that is able to slide under the vessel's keel in the water, then transport the vessel beyond the high tide mark to a work area.
Perishable commodities	Cut flowers, fresh fruit, vegetables and nursery stock.
Permeability	The rate at which a substance (such as methyl bromide) flows through a material (such as a fumigation sheet).
Pest	Any animal, plant or other organism that may pose a threat to the community or the natural environment.
Phytotoxic	Poisonous to plants.
Quarantine pest	A pest of potential economic and/or environmental importance to an area where it is not yet present, or is present but not widely distributed and is being officially controlled.
Risk area	Any area in proximity to a fumigation enclosure into which fumigant may escape in hazardous concentrations as determined by local legislation relevant to fumigation practice in the location in which the treatment is performed. May also be referred to as 'danger area'.
Sand snake	Sand filled tubes approximately 1 metre long used as weights to hold fumigation sheets in place during fumigation.
Sealed vessel	Yacht or vessel that may be effectively sealed to retain gas pressure as per the AFAS pressure testing requirements (see Section 4.2, 4.3 and Appendix 5).
Sheet fumigation	A process of creating a gas-tight enclosure by covering/enclosing the commodities to be fumigated under a gas proof sheet, which is sealed to an impermeable floor (generally using sand or water snakes).
Sheeted vessel	Yacht or vessel that has been covered by a fumigation sheet that meets the department's requirements (see Section 4 and 5, Sheet fumigation).
Sorption/sorptive	The uptake of a fumigant by any material being treated with a fumigant. This may be reversible (unchanged fumigant may be released on ventilating) or irreversible (leading to residues of fumigant or breakdown of products in the commodity).
The department	Refers to the Australian Government Department of Agriculture.
Threshold Limit Value (TLV)	TLV is the maximum concentration of fumigant that a worker can be repeatedly exposed to in the workplace without harmful effects. This figure is based on an 8 hour day, 40 hour working week and is currently 5ppm in Australia.
Timber (also known as lumber)	A term of commerce for wood, either as logs or sawn units.
Under gas	Term used to describe container(s) that do not have documentation that states that the container has been ventilated to TLV (5ppm in Australia).
Uniform gas distribution	See gas equilibrium.
Water snakes	Water filled tubes used as weights to seal fumigation sheets to the floor. These perform the same function as sand snakes. Water snakes are much longer and wider than sand snakes.
Yachts	Non-commercial vessels of any dimension for private use, either powered or under sail.

Appendix D – Methyl bromide Safe Work Australia
Information Sheet

MANAGING RISKS OF METHYL BROMIDE EXPOSURE WHEN UNPACKING SHIPPING CONTAINERS INFORMATION SHEET

1

This Information Sheet provides guidance for workers and supervisors managing risks of methyl bromide exposure when unpacking shipping containers.

Workers may be exposed to other hazardous chemicals when unpacking containers. For information about handling methyl bromide and other hazardous chemicals safely you should refer to the relevant safety data sheet (SDS) or seek advice from a competent person.



Further information is in the:

- [Information Sheet: Managing risks of hazardous chemical exposure when unpacking shipping containers](#)
- [Information Sheet: Managing risks when unpacking shipping containers](#)
- AS 2476-2008: *General fumigation procedures*, and
- [Code of Practice: Managing risks of hazardous chemicals in the workplace](#).



What is methyl bromide?

Methyl bromide is widely used as a fumigant to prevent unwanted pests, for example insects and rodents, from being imported into Australia.

It is a colourless non-flammable gas which is heavier than air and odourless at low concentrations.

Chloropicrin is sometimes added to methyl bromide to give off a strong, sharp and highly irritating odour so that it is possible to detect the presence of methyl bromide without special equipment.



What are the hazards?

Methyl bromide is a neurotoxic gas which can affect the central nervous system. It is suspected of causing genetic defects.

Methyl bromide is a dangerous cumulative poison. The effects of exposure can be delayed from 48 hours to several months after exposure.



What are the risks of exposure to methyl bromide?

Workers are usually exposed to methyl bromide by breathing in gas trapped in the container or between packages inside the container. They may also come into contact with methyl bromide when handling contaminated packages.

Depending on exposure levels it can cause headaches, dizziness, vomiting, nausea, tremors, slurred speech and irritation to the eyes, respiratory system and skin. Exposure to high concentrations may cause pulmonary oedema (fluid in the lungs) or death.

Workers may not realise they have been exposed to methyl bromide because it has no odour and the onset of symptoms is delayed.



How do you control the risks?

Exposure to methyl bromide can be eliminated or minimised, by:

- checking notices on containers for the presence of methyl bromide—if methyl bromide is present, refer to the SDS for information about selecting and using appropriate control measures
- venting containers before workers enter them to allow methyl bromide to dissipate—residual methyl bromide can remain after venting due to:
 - poor venting procedures
 - off-gassing from items in the container, or
 - entrapment of the gas in packaging
- capturing methyl bromide vented from the container using recapture technology
- training workers in safe working procedures for unpacking fumigated containers including training on how to use testing equipment and personal protective equipment (PPE), and
- providing appropriate PPE e.g. respirators.

The levels of methyl bromide that workers are exposed to must be minimised, so far as is reasonably practicable. Workers must not be exposed to methyl bromide in concentrations over five parts per million (5 ppm) averaged over eight hours.



Further information about workplace exposure standards is in the [Guidance on the interpretation of workplace exposure standards for airborne contaminants](#).

Safe work procedures for unpacking containers fumigated with methyl bromide include:

- treating the container as if it has been fumigated when unsure whether it has been fumigated or not
- placing the container in an open area with good natural ventilation and downwind from other activities

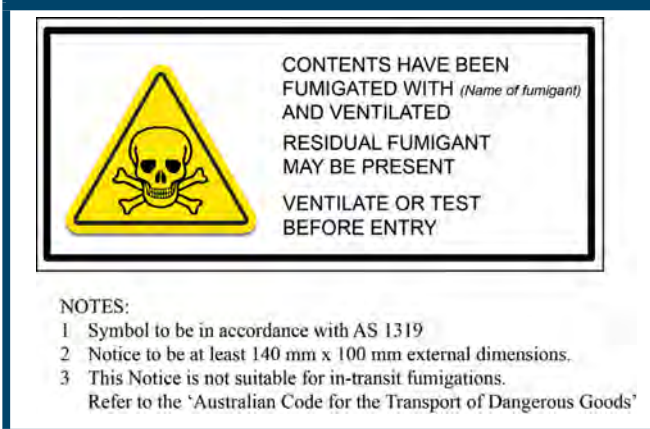
MANAGING RISKS OF METHYL BROMIDE EXPOSURE WHEN UNPACKING SHIPPING CONTAINERS INFORMATION SHEET

2

- preventing unauthorised access to the container using barriers and warning signs
- checking for fumigation warning notices (Figure 1) and clearance certificates

Note: Not all fumigated containers are labelled as fumigated or are certified. Importers and freight forwarders may not always include this information in consignment documentation.

Figure 1 Example of fumigation warning notice



- asking overseas suppliers or importers if the container has been fumigated, and
- testing the container for methyl bromide using a gas detector.

Note: A safe reading at the entrance of the container does not mean the container was not fumigated or that further inside the container has been cleared of methyl bromide. A competent person should use the detector in various locations in and around the shipping container.

Venting

Venting is an important control used to reduce concentrations of methyl bromide and other hazardous chemicals to safe levels before workers enter and unpack containers.

Venting procedures include:

- locating containers in an open area with good natural ventilation and downwind from other activities
- using mechanical ventilation e.g. extraction or blowing for at least 30 minutes to remove methyl bromide before workers enter containers. Longer ventilation times may be needed if:

- goods in the container have an absorbent quality e.g. wood, nuts and seeds, or
- air flow has been restricted because of the way the goods have been packed— methyl bromide can settle in cavities or between items
- if mechanical ventilation is not reasonably practicable:
 - using natural ventilation for at least 12 hours before entering the container, or
 - testing the air in the container to ensure the methyl bromide level is below the exposure standard of 5 ppm
- partially unpacking to allow further venting if the goods are tightly packed, and
- using PPE during unpacking.

You should seek advice from a competent person:

- if you do not know what chemicals are present but suspect the air may be contaminated despite having followed venting procedures, or
- if you do not have the resources necessary to make the container safe.

Personal protective equipment

If respiratory PPE or other PPE such as protective clothing is required workers must be trained in how to properly use and maintain the equipment. When choosing PPE make sure it does not cause undue discomfort or introduce new hazards.



Further information is in:

- AS/NZS 1715:2009: *Selection, use and maintenance of respiratory protective equipment*
- AS/NZS 1716:2012: *Respiratory protective devices*, and
- AS/NZS 4501 Set: 2008: *Occupational protective clothing*.

Air testing equipment

Choose air testing equipment depending on the type of hazardous chemicals present and whether the goods are flammable.

You should seek advice from a competent person if you are unsure about what type of gas detector to use.



Further information

For further information see the Safe Work Australia website (www.swa.gov.au).

Appendix E – Stability classes

Meteorological stability classes are calculated based on the solar elevation angle, cloud cover, cloud ceiling height and wind speed:

Surface wind speed at a height of 10 m (m/s)	Day Incoming solar radiation (Insolation)			Night ¹	
	Strong	Moderate	Slight	Thinly overcast or $\geq 4/8$ Low cloud cover	$\leq 3/8$ Cloud cover
< 2	A	A – B	B	F	F
2 – 3	A – B	B	C	E	F
3 – 5	B	B – C	C	D	E
5 – 6	C	C – D	D	D	D
> 6	C	D	D	D	D

Note 1: Night is defined as the period from 1 hour before sunset to 1 hour after sunrise.

Note 2: The neutral class (D) should be assumed for all overcast conditions during day or night.

Source: United States EPA *Screening Procedures for Estimating the Air Quality Impact of Stationary Sources Revised*, Office of Air Quality Planning and Standards 1992

GHD
 Level 15
 133 Castlereagh Street
 T: 61 2 9239 7100 F: 61 2 9239 7199 E: sydmail@ghd.com



© GHD 2017

This document is and shall remain the property of GHD. The document may only be used for the purpose for which it was commissioned and in accordance with the Terms of Engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited.

2126727-

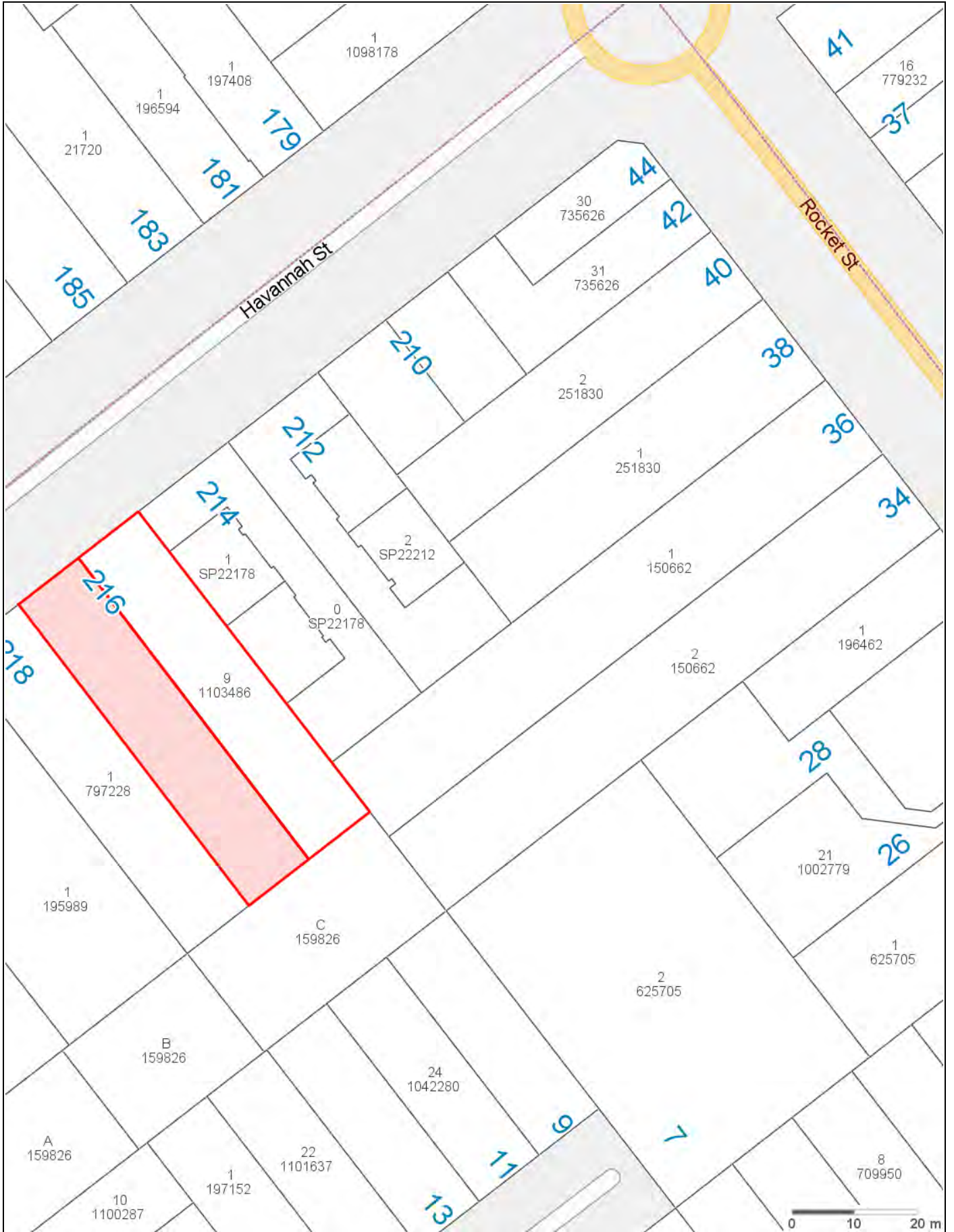
66852/https://projects.ghd.com/oc/Sydney/methylbromidefumigat/Delivery/Documents/2126727_RE P-1_Air Quality Impact Assessment_2017_12_15.docx

Document Status

Revision	Author	Reviewer		Approved for Issue		
		Name	Signature	Name	Signature	Date
0	P Pandey	E Smith	On file	E Milton	On file	09/10/2017
1	P Pandey	E Smith		E Milton		19/12/2017

www.ghd.com





Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!
 This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: BarnettL
Date: 9/02/2018
Projection: GDA94 / MGA zone 55
Map Scale: 1:800 @ A4



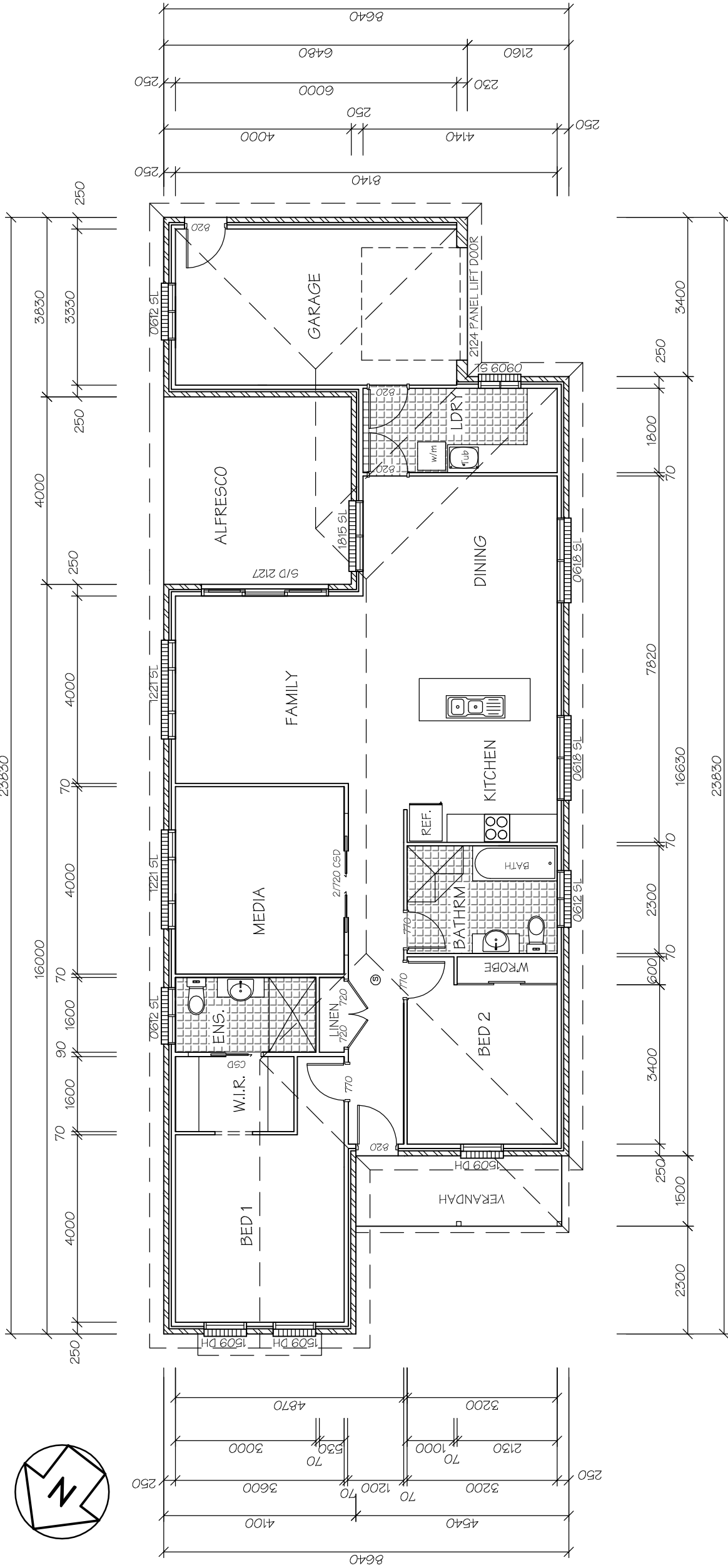
Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: BarnettL
 Date: 9/02/2018
 Projection: GDA94 / MGA zone 55
 Map Scale: 1:800 @ A4



Ⓢ DENOTES HARD WIRED SMOKE DETECTOR
to comply with AS3786



FLOOR PLAN - RESIDENCE 1

SCALE 1:100

BASIX REQUIREMENTS

REFER TO CERTIFICATE No. 8787345

WATER COMMITMENTS

- All showers to have min. 3 star rating showerheads (>7.5-9.0 L/min.)
- Each toilet to have min. 4 star rating flushing system
- All kitchen taps to have min. 4 star rating
- All bathroom basin taps to have min. 4 star rating
- Rainwater tank with a capacity of min. 1500 litres to collect all roof water and supply water to all W.C's
- cold water tap at washing machine and at least 1 outdoor tap
- Maximum area of landscaping = 85 sq m

THERMAL COMFORT COMMITMENTS

- External wall insulation - R1.86 min.
- Ceiling insulation - R3.6min
- Internal wall shared with garage - R1.14 min.
- Roof insulation - foil/sarking
- Roof colour - medium (solar absorptance 0.475-0.70)
- All windows and sliding doors to be improved aluminium frames with single clear glass (U-value:6.44, SHGC:0.75)

ENERGY COMMITMENTS

- Install instantaneous gas hot water system (min. 5 star rating)
- Install airconditioning system to living area only (min. 1 star rating)
- Install gas fixed flued heating system to living areas & bedrooms (Min. 4 star rating)
- Bathroom exhaust fan (not ducted) to be operated by manual on/off switch
- Kitchen exhaust fan to be ducted to roof or facade & operated by manual on/off switch
- Primary type of artificial lighting to be CFL, LED or fluorescent in:
 - 2 bedrooms
 - 3 living /dining rooms
 - the kitchen
 - all bathrooms
 - the laundry
 - all hallways
- Install gas cooktop and electric oven.
- Install fixed outdoor clothes drying line.

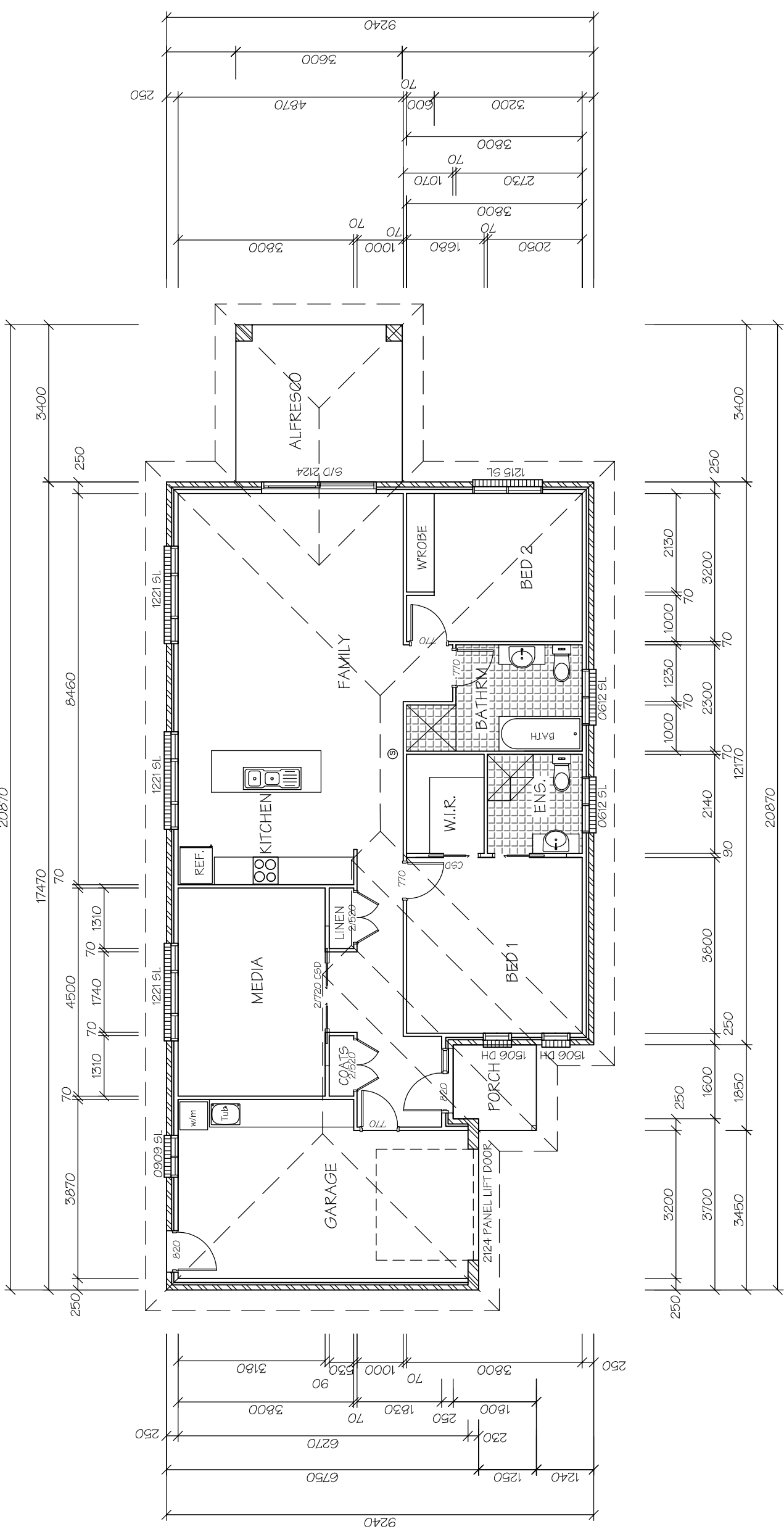
Areas:

Living:	140.7m ²
Garage:	24.4m ²
Alfresco & verandah:	22.8m ²
TOTAL:	187.9m ²

Project:

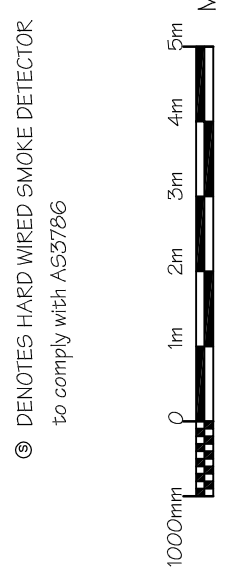
PROPOSED RESIDENCE 1
216 HAVANNAH STREET
BATHURST

Job No.	17.22	DWG. No.	2	Amdt.	B	No. in set	12
Scale:	AS SHOWN	Date:	13-11-17	File:	1722.dwg		



FLOOR PLAN - RESIDENCE 2

SCALE 1:100



BASIX REQUIREMENTS

REFER TO CERTIFICATE No. 8787485

WATER COMMITMENTS

- All showers to have min. 3 star rating showerheads (>7.5-9.0 L/min.)
- Each toilet to have min. 4 star rating flushing system
- All kitchen taps to have min. 4 star rating
- All bathroom basin taps to have min. 4 star rating
- Rainwater tank with a capacity of min. 1500 litres to collect all roof water and supply water to all W.C's
- cold water tap at washing machine and at least 1 outdoor tap
- Maximum area of landscaping = 70 sq m

THERMAL COMFORT COMMITMENTS

- External wall insulation - R1.86 min.
- Ceiling insulation - R3.6min
- Internal wall shared with garage - R1.14 min.
- Roof insulation - foil/sarking
- Roof colour - medium (solar absorptance 0.475-0.70)
- All windows and sliding doors to be improved aluminium frames with single clear glass (U-value:6.44, SHGC:0.75)

ENERGY COMMITMENTS

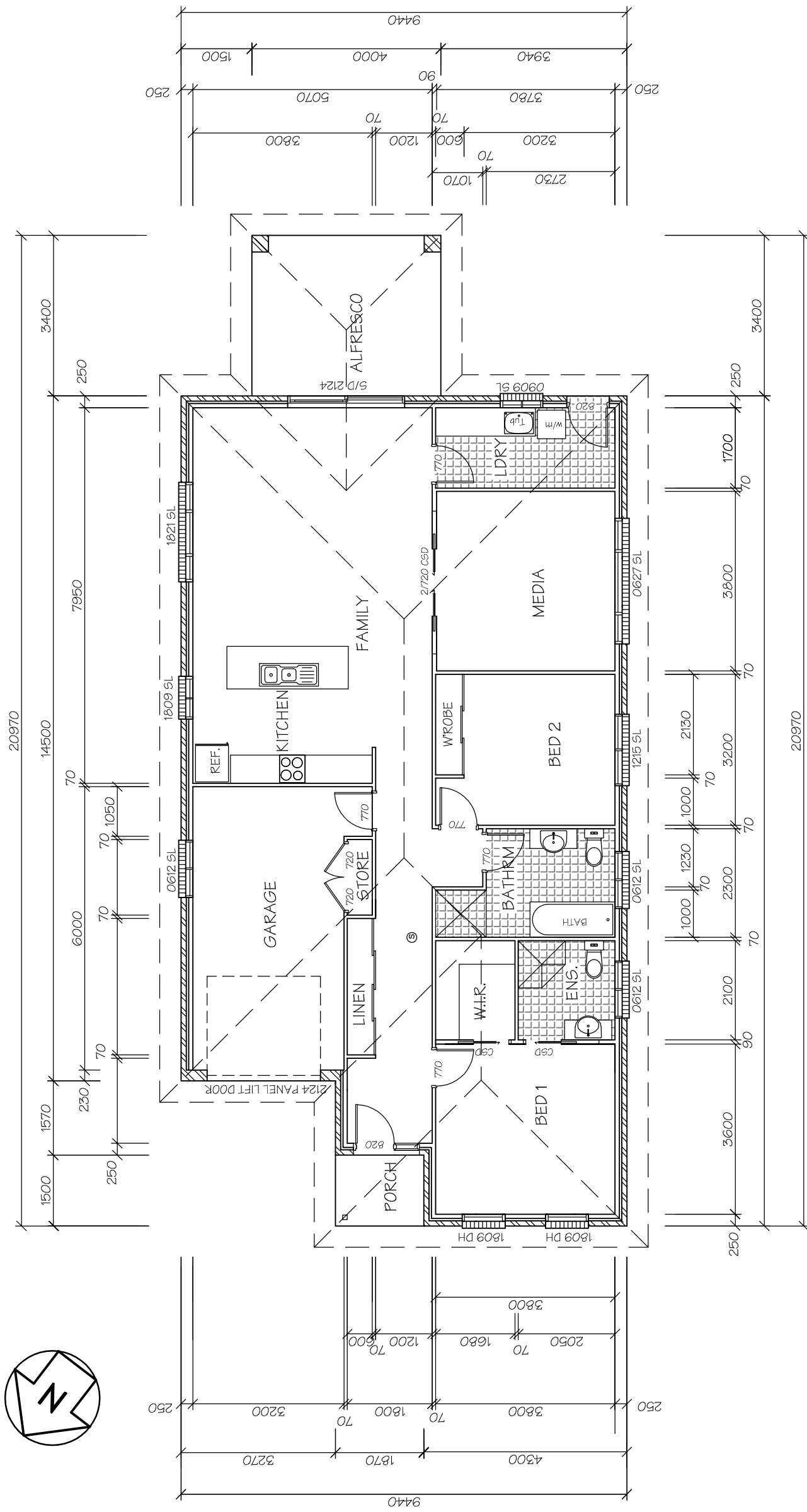
- Install instantaneous gas hot water system (min. 5 star rating)
- Install airconditioning system to living area only (min. 1 star rating)
- Install gas fixed flued heating system to living areas & bedrooms (Min. 4 star rating)
- Bathroom exhaust fan (not ducted) to be operated by manual on/off switch
- Kitchen exhaust fan to be ducted to roof or facade & operated by manual on/off switch
- Primary type of artificial lighting to be CFL, LED or fluorescent in:
 - 2 bedrooms
 - 3 living /dining rooms
 - the kitchen
 - all bathrooms
 - the laundry
 - all hallways
- Install gas cooktop and electric oven.
- Install fixed outdoor clothes drying line.

Areas:	Living: 120.8m ²
	Garage & laundry: 26.6m ²
	Alfresco & porch: 15.4m ²
	TOTAL: 162.8m ²

Project: **PROPOSED RESIDENCE 2**
216 HAVANNAH STREET
BATHURST

Job No.	17.22	DWG. No.	5	Amdt.	B	No. in set	12
---------	-------	----------	---	-------	---	------------	----

Scale: AS SHOWN	Date: 13-11-17	File: 1722.dwg
-----------------	----------------	----------------



⊙ DENOTES HARD WIRED SMOKE DETECTOR to comply with AS3786



FLOOR PLAN - RESIDENCE 3

SCALE 1:100

BASIX REQUIREMENTS

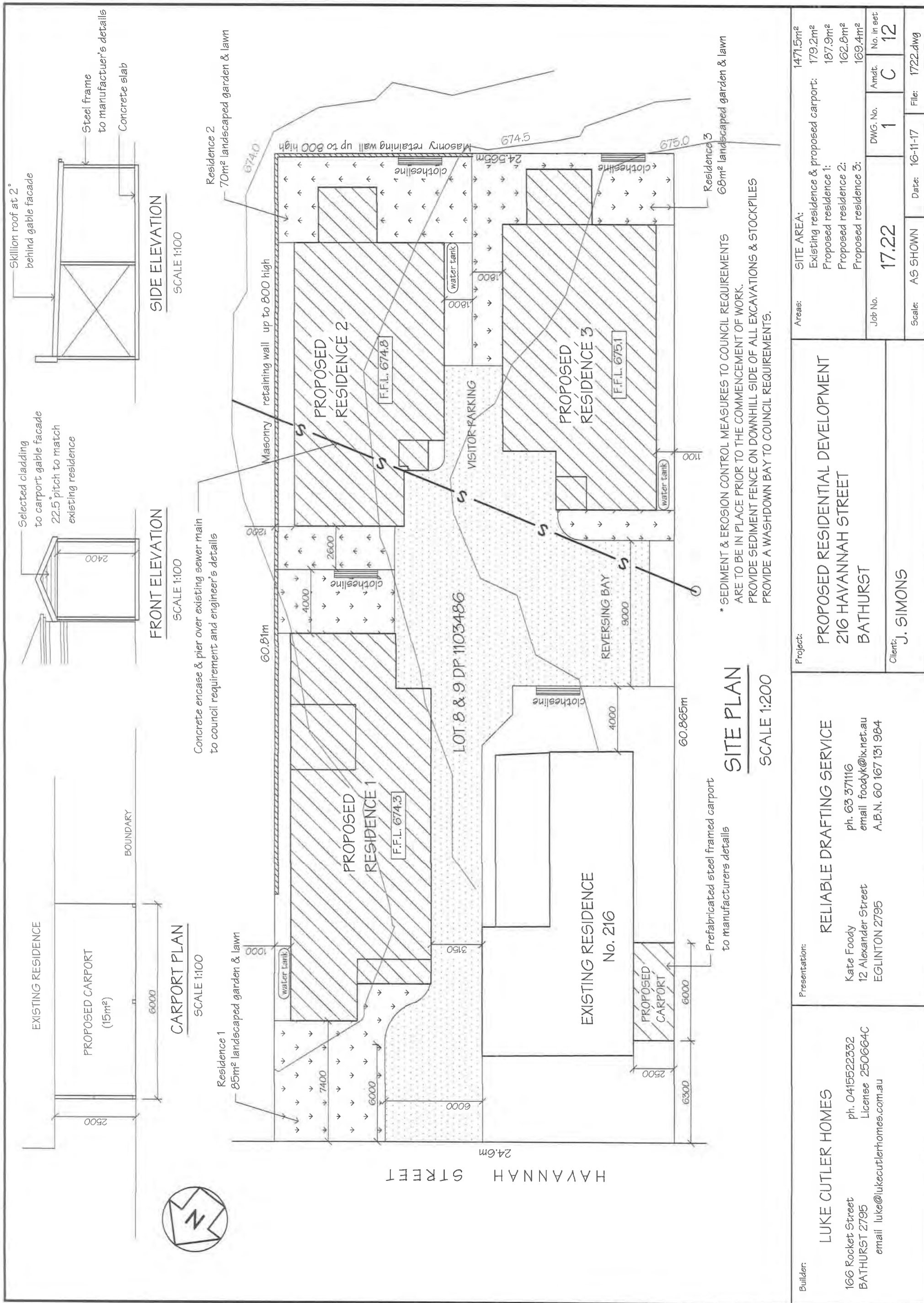
REFER TO CERTIFICATE No. 8787545

- WATER COMMITMENTS**
 All showers to have min. 3 star rating showerheads (>7.5-9.0 L/min.)
 Each toilet to have min. 4 star rating flushing system
 All kitchen taps to have min. 4 star rating
 All bathroom basin taps to have min. 4 star rating
 Rainwater tank with a capacity of min. 1500 litres to collect all roof water and supply water to all W.C's cold water tap at washing machine and at least 1 outdoor tap
 Maximum area of landscaping = 68 sq m

- THERMAL COMFORT COMMITMENTS**
 External wall insulation - R1.86 min.
 Ceiling insulation - R3.6min
 Internal wall shared with garage - R1.14 min.
 Roof insulation - foil/sarking
 Roof colour - medium (solar absorptance 0.475-0.70)
 All windows and sliding doors to be improved aluminium frames with single clear glass (U-value:6.44, SHGC:0.75)

- ENERGY COMMITMENTS**
 Install instantaneous gas hot water system (min. 5 star rating)
 Install airconditioning system to living area only (min. 1 star rating)
 Install gas fixed flued heating system to living areas & bedrooms (Min. 4 star rating)
 Bathroom exhaust fan (not ducted) to be operated by manual on/off switch
 Kitchen exhaust fan to be ducted to roof or facade & operated by manual on/off switch
 Primary type of artificial lighting to be CFL, LED or fluorescent in:
 2 bedrooms
 3 living /dining rooms
 the kitchen
 all bathrooms
 the laundry
 all hallways
 Install gas cooktop and electric oven.
 Install fixed outdoor clothes drying line.

Areas:	Living: 129.1m ²	Job No.	17.22	DWG. No.	8	Amdt.	B	No. in set	12
	Garage: 23.9m ²								
	Alfresco & porch: 16.4m ²								
	TOTAL: 169.4m ²								
Project:	PROPOSED RESIDENCE 3 216 HAVANNAH STREET BATHURST								
Scale:	AS SHOWN	Date:	13-11-17	File:	1722.dwg				

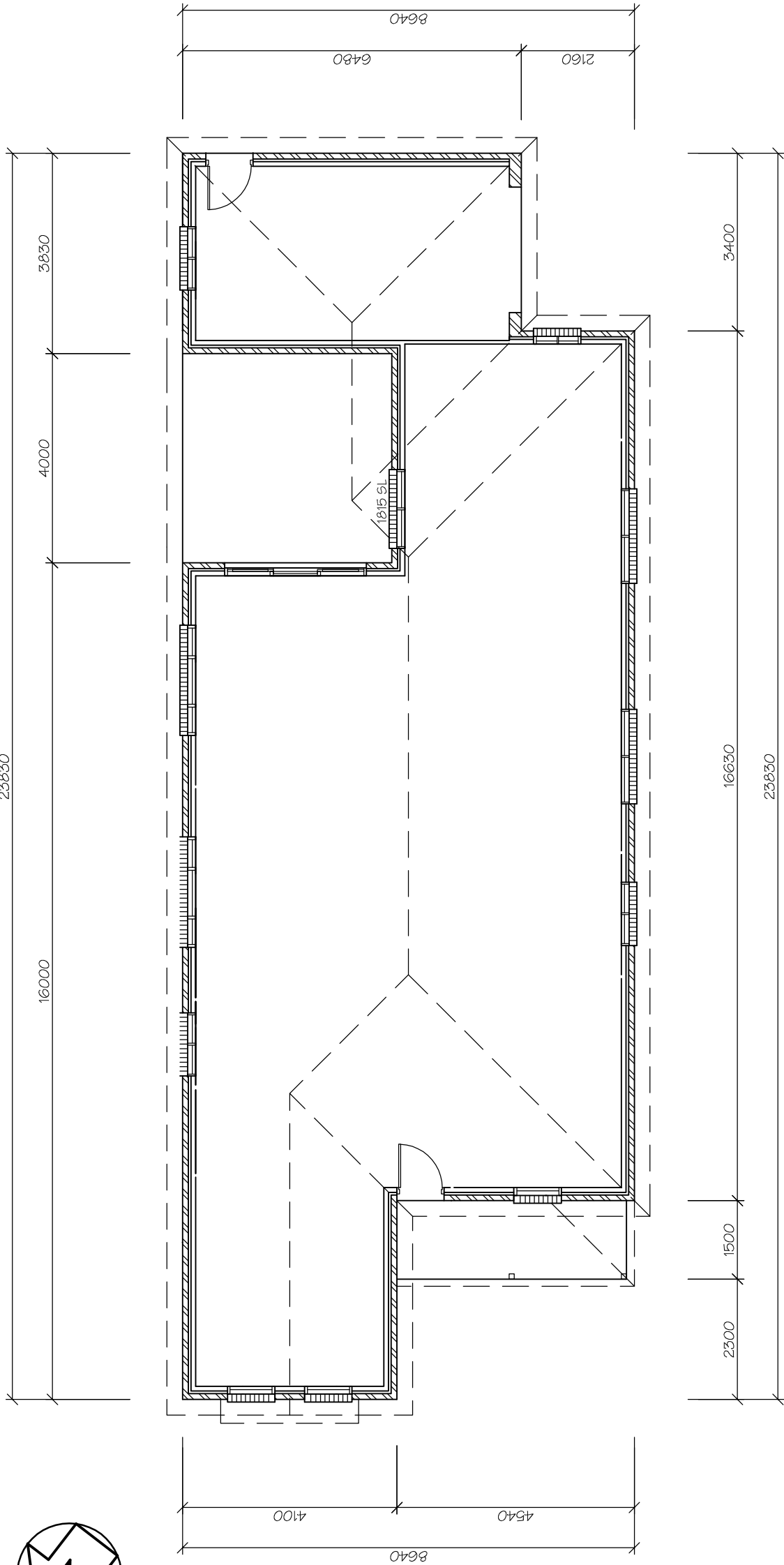


Builder:	LUKE CUTLER HOMES 166 Rocket Street BATHURST 2795 email luke@lukecutlerhomes.com.au
Project:	PROPOSED RESIDENTIAL DEVELOPMENT 216 HAVANNAH STREET BATHURST
Client:	J. SIMONS
Areas:	SITE AREA: Existing residence & proposed carport: 1471.5m ² Proposed residence 1: 179.2m ² Proposed residence 2: 187.9m ² Proposed residence 3: 162.8m ² Proposed residence 3: 169.4m ²
Job No.	17.22
DWG. No.	1
Amdt.	C
No. in set	12
Scale:	AS SHOWN
Date:	16-11-17
File:	1722.dwg

Presentation:	RELIABLE DRAFTING SERVICE Kate Foody 12 Alexander Street EGLINTON 2795 ph. 63 37116 email foodyk@ix.net.au A.B.N. 60 167 131 984
---------------	--

Builder:	LUKE CUTLER HOMES 166 Rocket Street BATHURST 2795 email luke@lukecutlerhomes.com.au
----------	--

Builder:	LUKE CUTLER HOMES 166 Rocket Street BATHURST 2795 email luke@lukecutlerhomes.com.au
----------	--

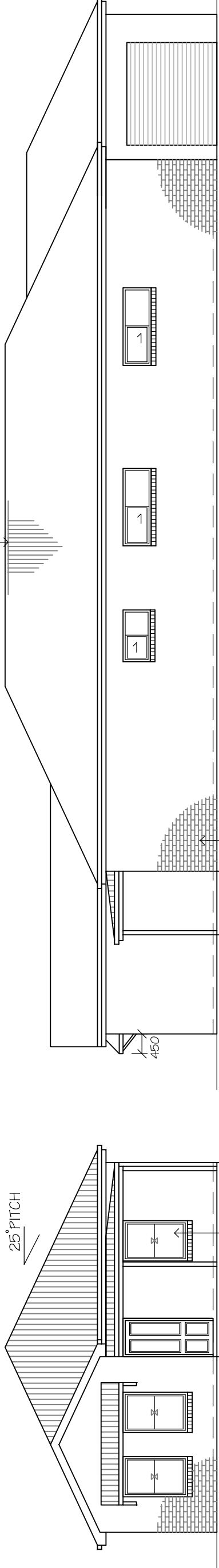


REDACTED FLOOR PLAN - RESIDENCE 1

SCALE 1:100



Areas:	Living: 140.7m ²			
	Garage: 24.4m ²			
	Alfresco & verandah: 22.8m ²			
	TOTAL: 187.9m ²			
Project: PROPOSED RESIDENCE 1 216 HAVANNAH STREET BATHURST				
Job No.	17.22	DWG. No.	3	No. in set 12
Amdt.	B			
Scale: AS SHOWN	Date: 13-11-17	File: 1722.dwg		



FRONT ELEVATION

SCALE 1:100

Aluminium framed double hung windows to front only

25° PITCH

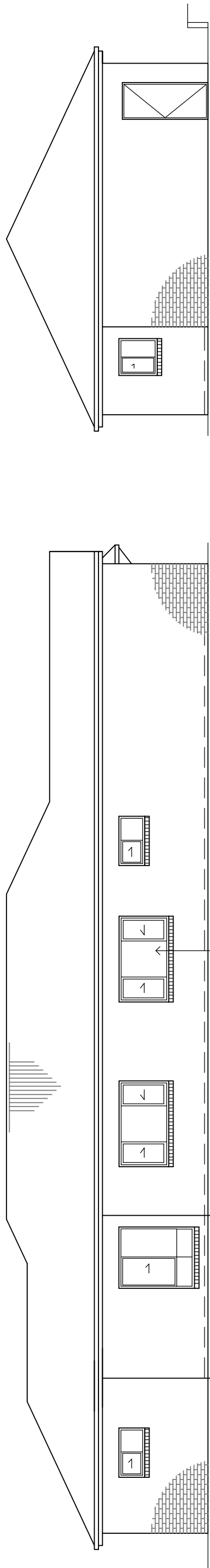
450

Face brickwork

Colorbond roofing

NORTH EAST ELEVATION

SCALE 1:100



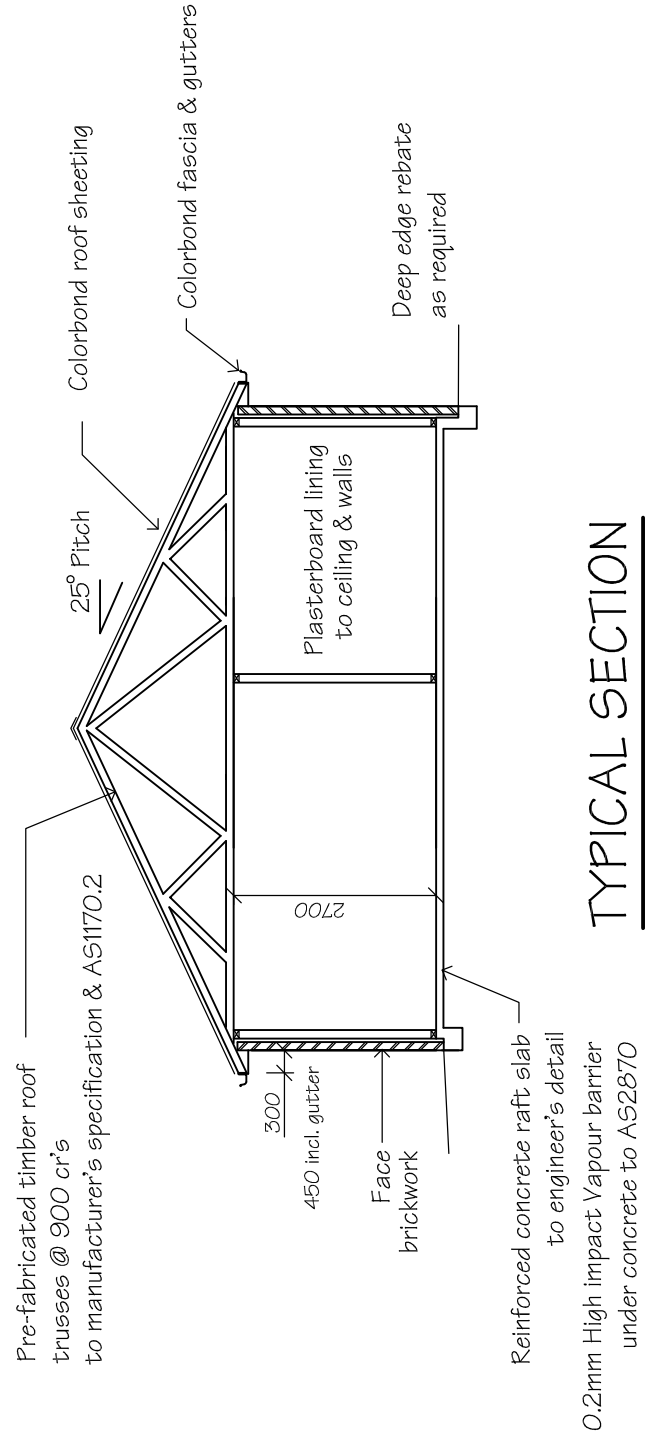
SOUTH WEST ELEVATION

SCALE 1:100

Aluminium framed sliding windows typ.

SOUTH EAST ELEVATION

SCALE 1:100



TYPICAL SECTION

SCALE 1:100

Pre-fabricated timber roof trusses @ 900 cr's to manufacturer's specification & AS1170.2

25° Pitch

Colorbond roof sheeting

Colorbond fascia & gutters

300

450 incl. gutter

Face brickwork

Plasterboard lining to ceiling & walls

Deep edge rebate as required

2700

Reinforced concrete raft slab to engineer's detail

0.2mm High impact Vapour barrier under concrete to AS2870

Project:
PROPOSED RESIDENCE 1
216 HAVANNAH STREET
BATHURST

Job No. 17.22

DWG. No. 4

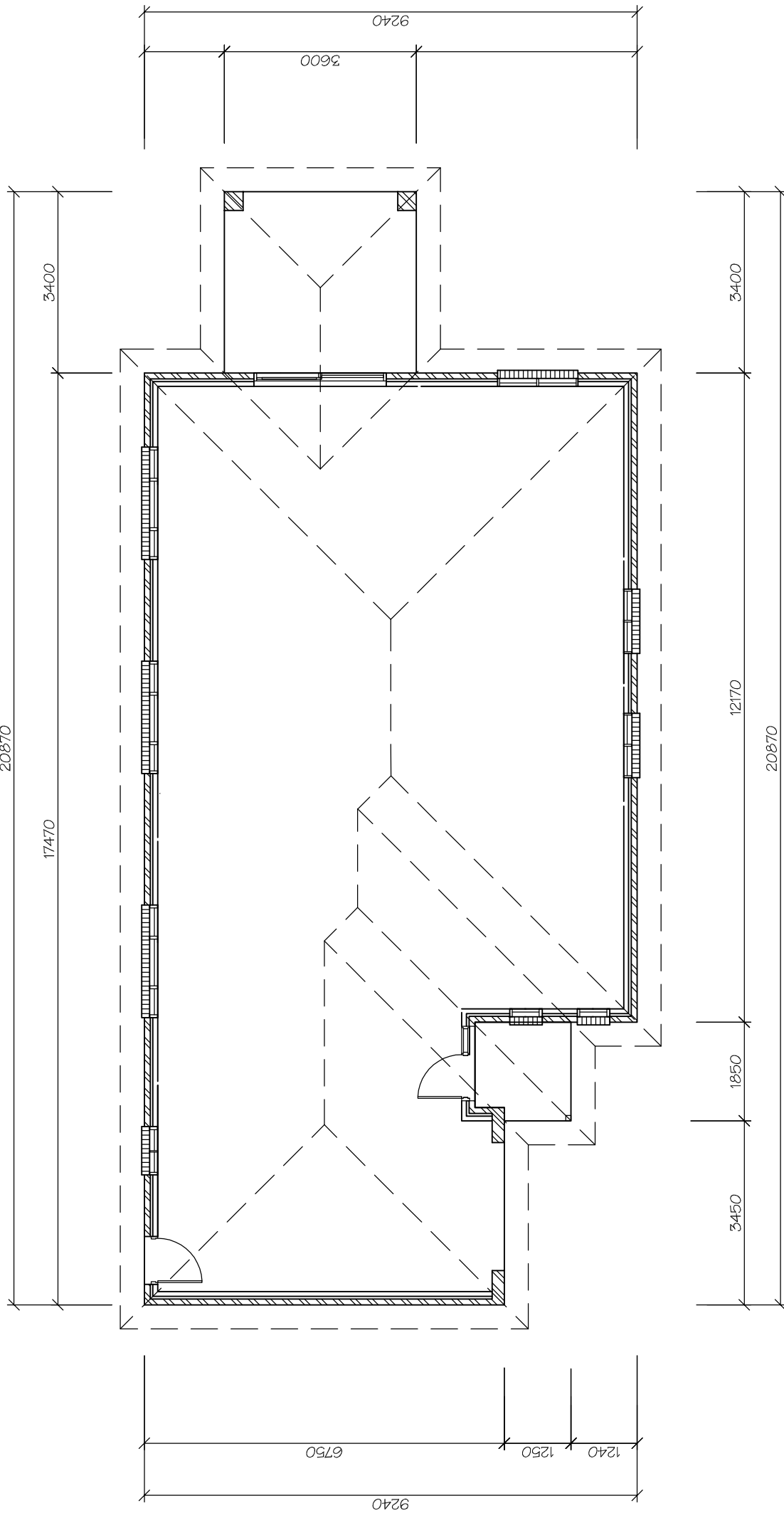
Amdt. B

No. in set 12

Scale: AS SHOWN

Date: 13-11-17

File: 1722.dwg

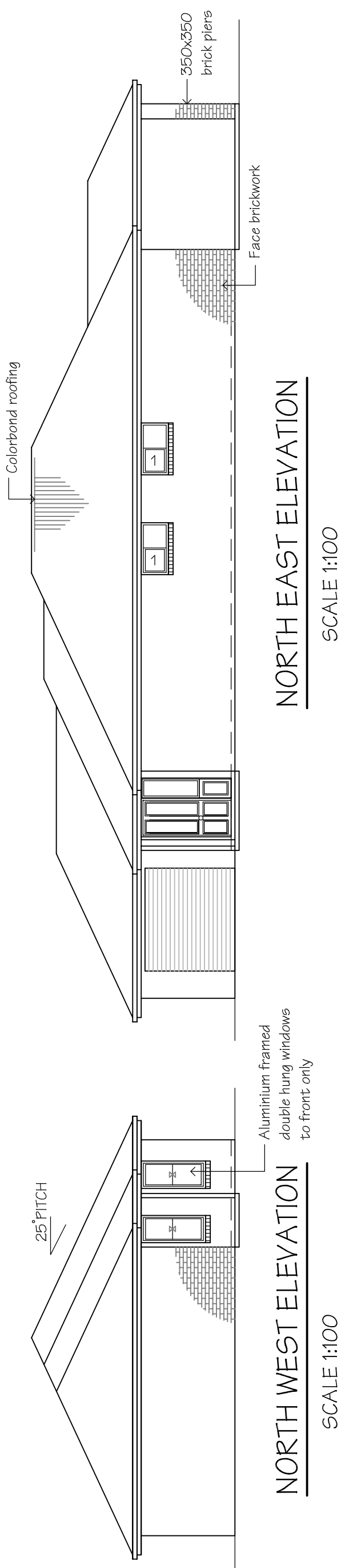


REDACTED FLOOR PLAN - RESIDENCE 2

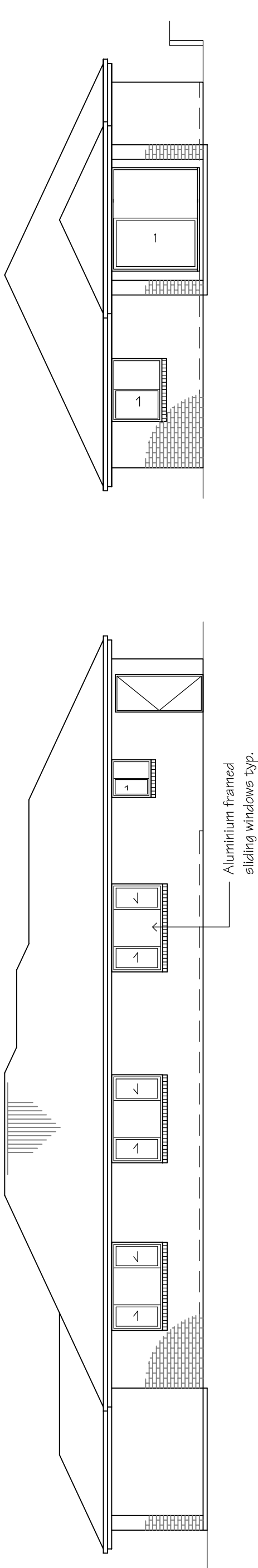
SCALE 1:100



Areas:	Living: 120.8m ²	DWG. No. 6	Amdt. B	No. in set 12
	Garage & laundry: 26.6m ²			
	Alfresco & porch: 15.4m ²			
	TOTAL: 162.8m ²			
Project: PROPOSED RESIDENCE 2 216 HAVANNAH STREET BATHURST				
Job No. 17.22				
Scale: AS SHOWN	Date: 13-11-17			File: 1722.dwg



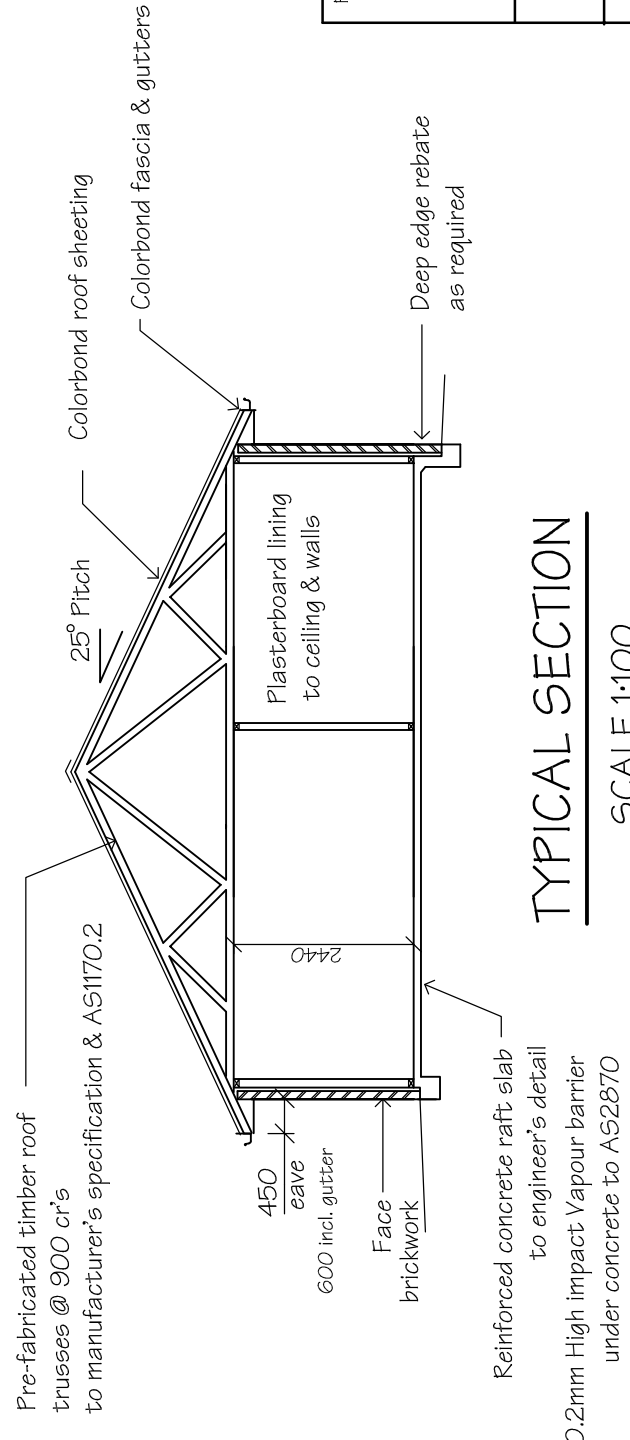
NORTH WEST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

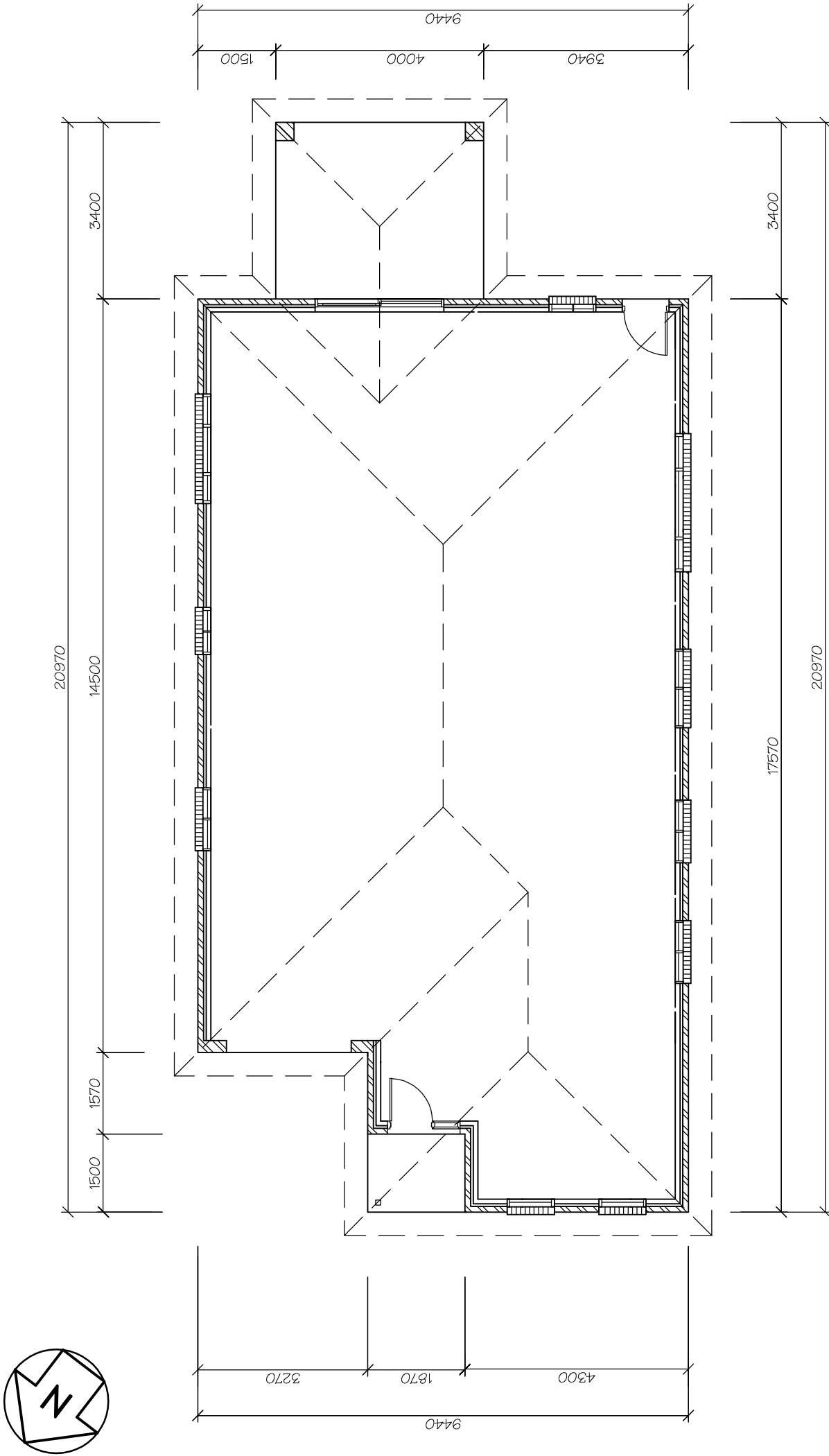
SOUTH WEST ELEVATION
SCALE 1:100

SOUTH EAST ELEVATION
SCALE 1:100



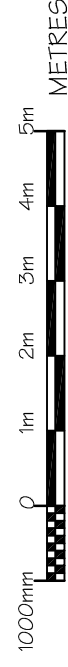
TYPICAL SECTION
SCALE 1:100

Project: PROPOSED RESIDENCE 2 216 HAVANNAH STREET BATHURST			
Job No. 17.22	DWG. No. 7	Amdt. B	No. in set 12
Scale: AS SHOWN	Date: 13-11-17	File: 1722.dwg	

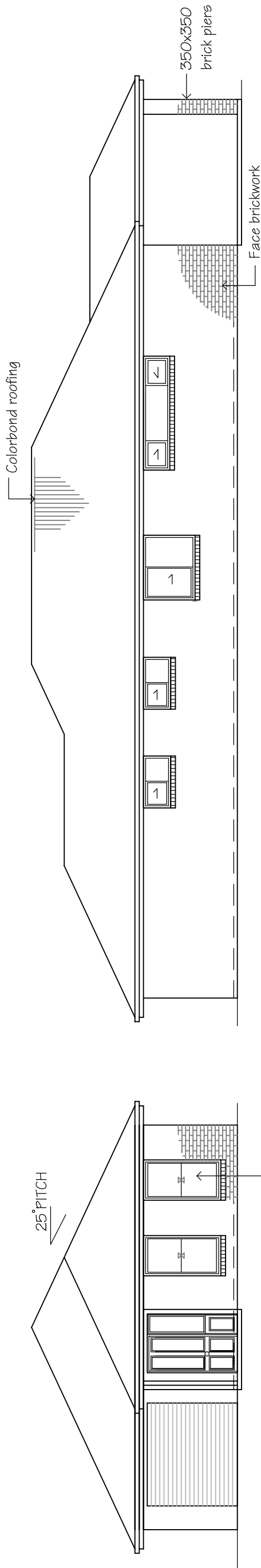


REDACTED FLOOR PLAN - RESIDENCE 3

SCALE 1:100

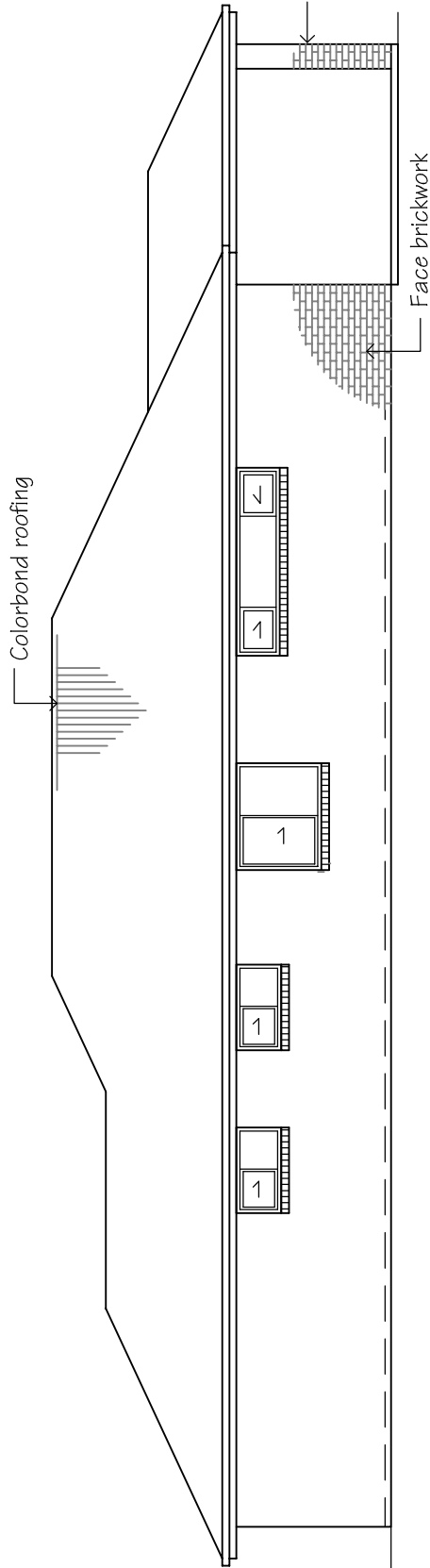


Areas:	Living:	129.1m ²			
	Garage:	23.9m ²			
	Alfresco & porch:	16.4m ²			
	TOTAL:	169.4m ²			
Project: PROPOSED RESIDENCE 3 216 HAVANNAH STREET BATHURST					
Job No.	17.22	DWG. No.	9	Amdt.	B
				No. in set	12
Scale:	AS SHOWN	Date:	13-11-17	File:	1722.dwg



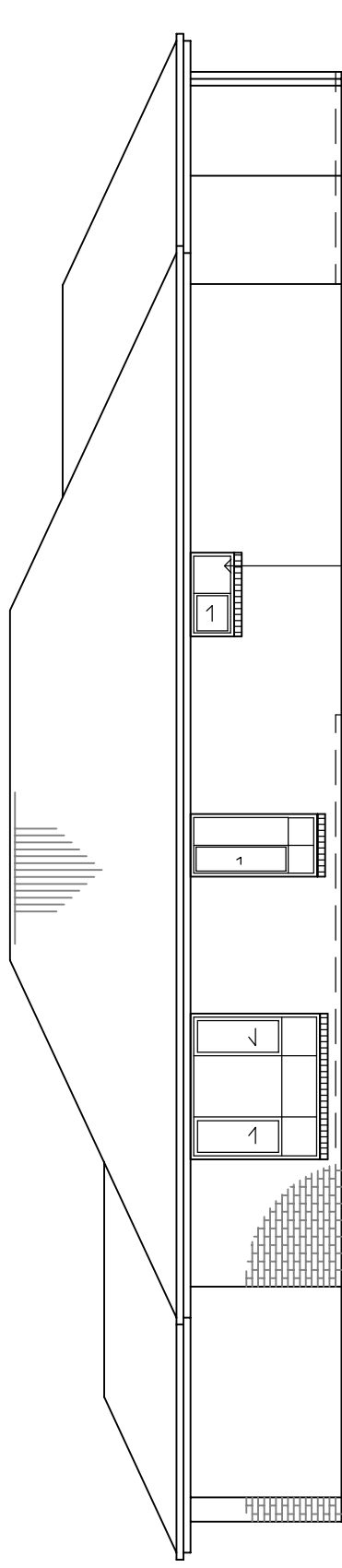
NORTH WEST ELEVATION

SCALE 1:100



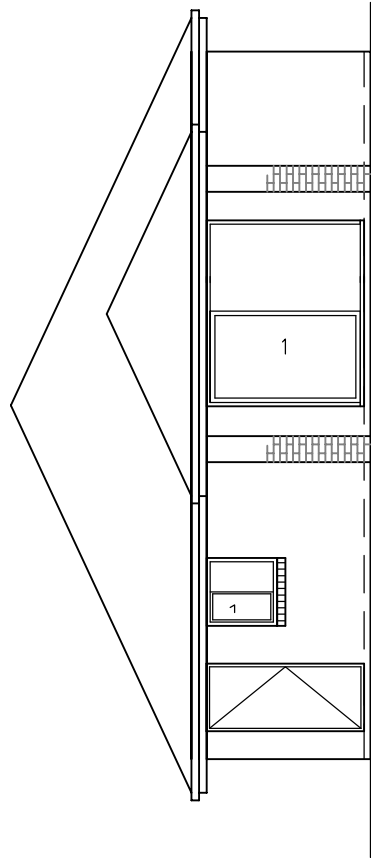
NORTH EAST ELEVATION

SCALE 1:100



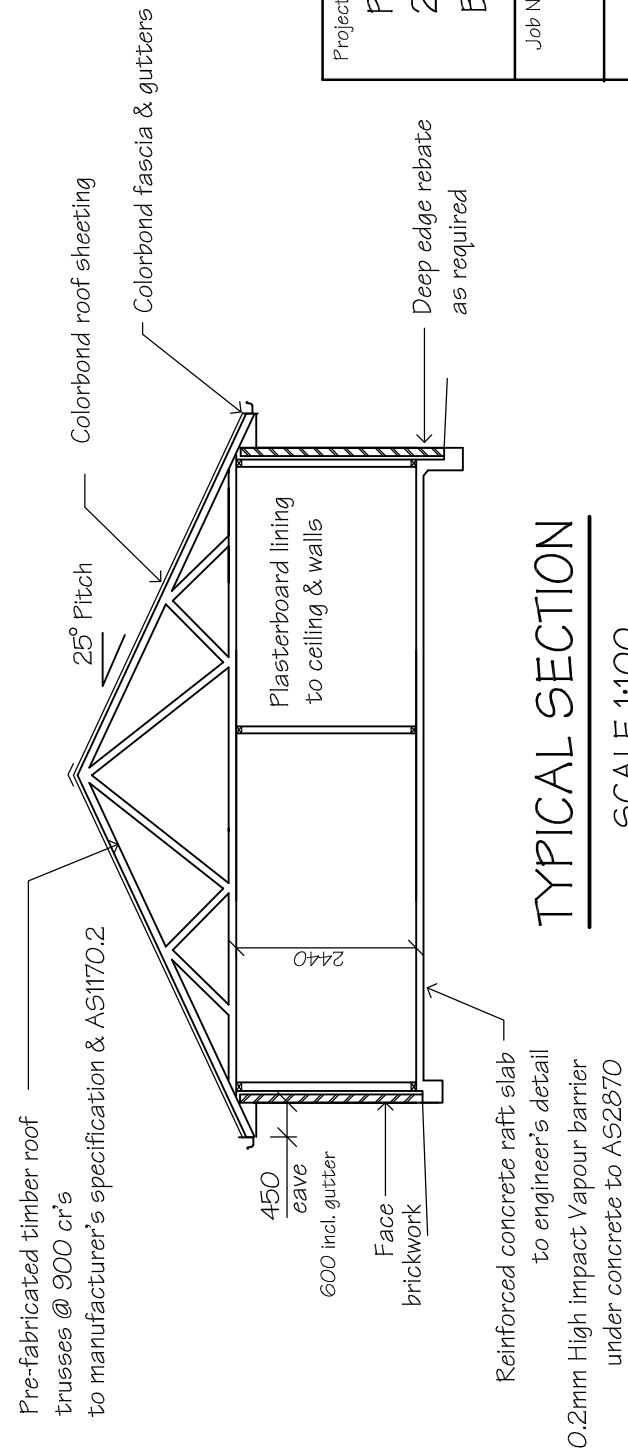
SOUTH WEST ELEVATION

SCALE 1:100



SOUTH EAST ELEVATION

SCALE 1:100



TYPICAL SECTION

SCALE 1:100

Project: PROPOSED RESIDENCE 3 216 HAVANNAH STREET BATHURST			
Job No. 17.22	DWG. No. 10	Amdt. B	No. in set 12
Scale: AS SHOWN	Date: 13-11-17	File: 1722.dwg	

SPECIFICATION

GENERAL

- * Drawings prepared from information supplied by the owner and/or builder.
- * Dimensions are in millimetres unless noted otherwise.
- * All dimensions shall be verified on site.
- * Do not scale off drawings.
- * It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- * These plans are to be read in conjunction with Engineer's details.
- * BCA refers to the Building Code of Australia - Volume 2, Housing Provisions.

STATUTORY REQUIREMENTS

- * All work to be carried out in accordance with the BCA, conditions imposed by the local authority and the commitments outlined in the relevant Basix certificate.
- * The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.
- * Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner.
- On completion the builder shall remove the convenience.

BCA REQUIREMENTS

- * All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of BCA.
- * All excavations and underfloor fill shall be in accordance with the engineer's details and Part 3.2.2 of BCA.
- * Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.3 of BCA.
- * Stormwater drainage shall be carried out in accordance with Part 3.1.2 of BCA.
- * All timber framework shall comply with Part 3.4.3 of BCA or AS1684.
- * Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- * All metal fittings used in structural timber joints and bracing must have corrosion protection.
- * All roof cladding shall comply with Part 3.5.1 of BCA and be installed in accordance with manufacturer's recommendations.
- * Gutters and downpipes shall be in accordance with Part 3.5.2 of BCA.
- * Sarking shall comply with AS/NZS4200.1&2.
- * Clay brickwork shall comply with Part 3.3 of BCA, & AS4773 or AS3700.
- * Masonry accessories shall be constructed & installed in accordance with AS4773 or AS3700. Appropriate ties shall be provided to articulated masonry joints.
- * Lintels used to support brickwork over wall openings shall comply with AS4773 or AS3700 and be protected from corrosion.

- * Weatherproofing of external masonry walls shall be carried out in accordance with AS4773 or AS3700.
- * Engaged piers in single leaf masonry walls shall be constructed in accordance with AS4773 or AS3700.
- * Internal wet areas to be waterproofed in accordance with Part 3.8.1 of BCA.
- Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- * All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in the Schedule of Works.
- * Windows and doors shall be manufactured and installed in accordance with AS2047.
- * All glazing shall comply with Part 3.6 of BCA.
- * All plumbing shall comply with the requirements of the relevant supply authority and AS3500, and be carried out by a licensed plumber.
- * All electrical work shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed electrician.
- * All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- * Provide and install hard wired smoke alarms in accordance with AS3786 and Part 3.7.2 of BCA.
- Smoke alarms must be interconnected where there is more than one alarm.
- * Installation of wall and floor tiles shall be in accordance with AS3958.1.
- * Inward swinging WC doors are to be fitted with lift off hinges to comply with Part 3.8.3.3 of BCA unless there is a clear space of at least 1.2m between the closet pan and doorway.
- * Mechanical ventilation is to be installed in accordance with Part 3.8.5 of BCA.
- * Building fabric must comply with Part 3.12.1 of the BCA. Insulation, where required, must comply with AS/NZS 4859.1
- * Building is to be sealed to the requirements of Part 3.12.3 of BCA, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- * Heating & cooling ductwork and piping must be protected and insulated in accordance with Part 3.12.5.1, 2 & 3 of BCA
- * The lamp power density of artificial lighting must not exceed the allowance of -
 - 5W/m² in a Class 1 building
 - 4W/m² on a verandah or similar
 - 3W/m² in a Class 10A building associated with a Class 1 building

Halogen lamps must be separately switched from fluorescent lamps.
Artificial lighting around the perimeter of the building must be controlled by a daylight sensor, or have an average light source efficacy of less than 40 Lumens/W
in accordance with Part 3.12.5.5 of BCA

Project:

PROPOSED RESIDENTIAL DEVELOPMENT
216 HAVANNAH STREET
BATHURST

Job No.

17.22

DWG. No.

11

Amdt.

B

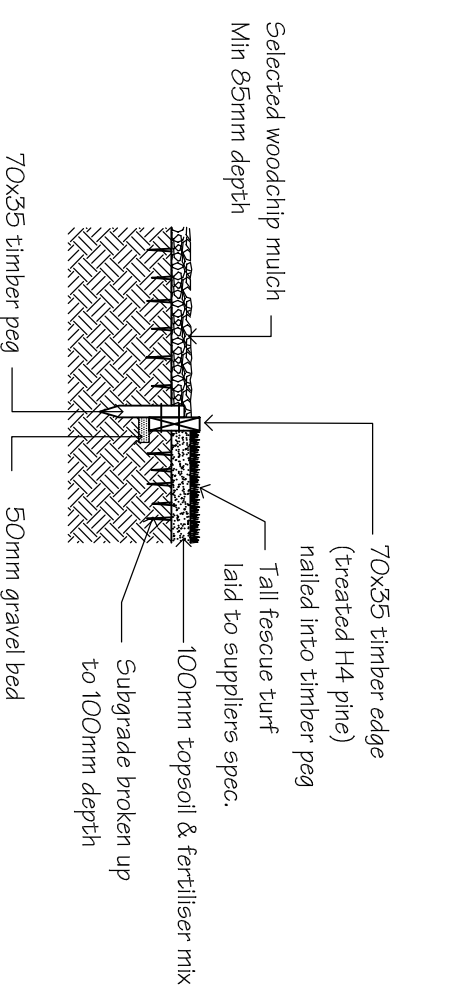
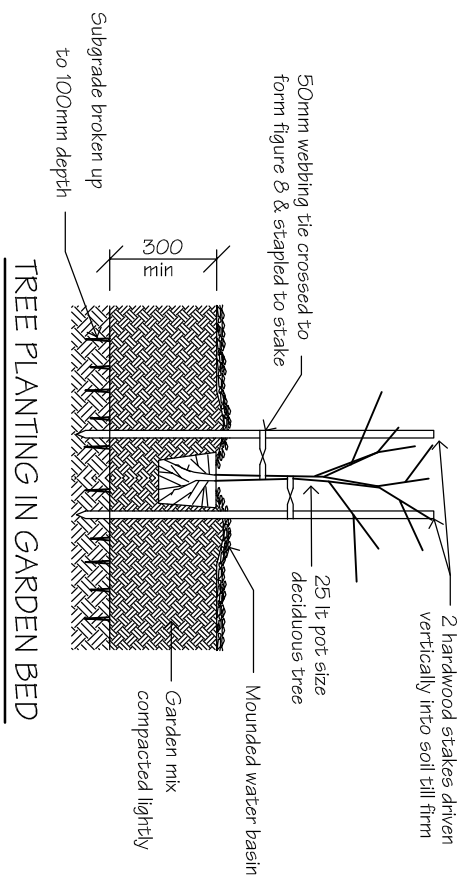
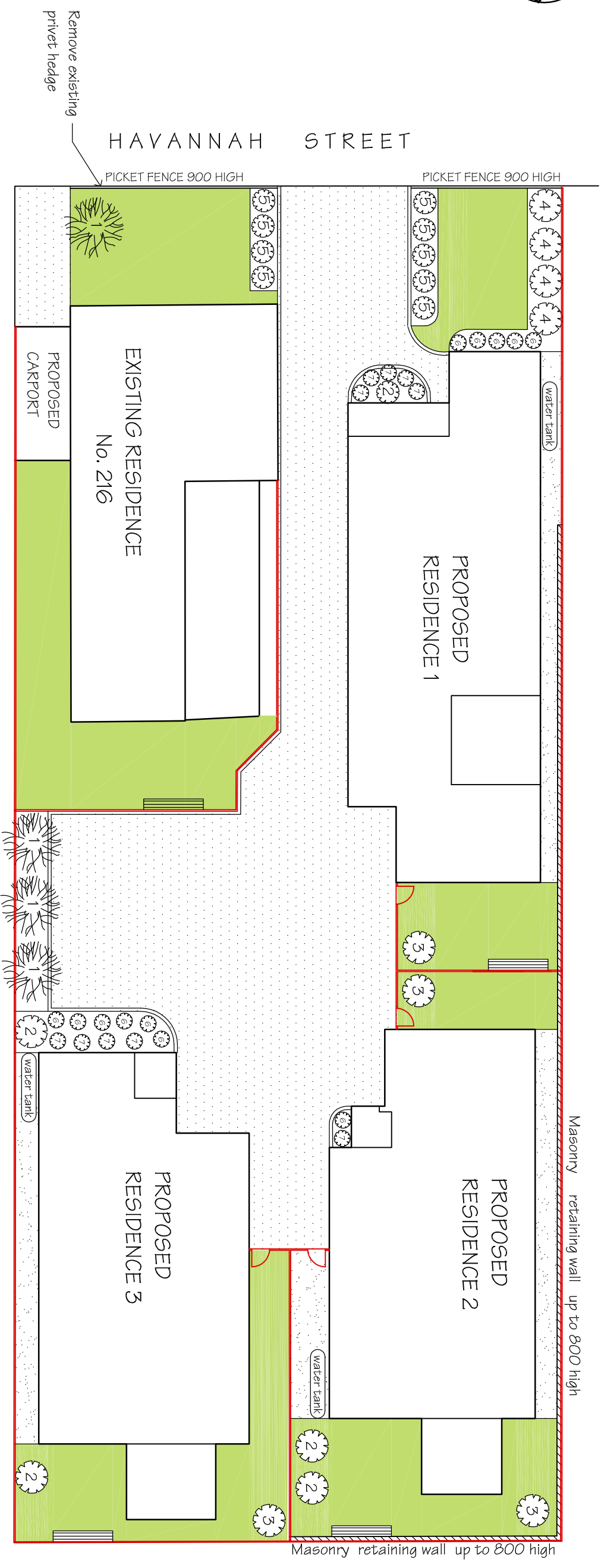
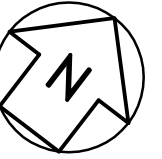
No. in set

12

Scale: AS SHOWN

Date: 13-11-17

File: 1722.dwg



LEGEND

- Concrete driveway to Engineer's details
- Washed river pebbles (20mm nom. dia.)
- Turf - tall fescue
- Colorbond fence 1.8m high
- 150mm high concrete kerb

PLANT SCHEDULE

Botanical name	Common name	Approx. Mature height	Quantity
MEDIUM TREES			
1 Betula pendula "Fastigiata"	Silver birch	11m	4
SMALL TREES			
2 Lagerstroemia indica	Crape Myrtle "Indian Summer"	4m	5
3 Acer palmatum 'Sango Kaku'	Coral Barked Maple	4m	4
4 Pfitosporum tenuifolium 'Silver Sheen'	Silver leaf Pfitosporum	3m	4
SHRUBS			
5 Rosmarinus officinalis	Rosemary	1m	9
6 Lavandula spp	Lavender	1m	12
7 Correa 'Wanni'	Native Fuchsia	1m	10

LANDSCAPE PLAN

SCALE 1:200

NOTES

1. Provide automated drip irrigation system to all garden beds in accordance with AS3500.
2. Garden beds to be excavated minimum 300mm and subgrade broken up to a depth of 100mm.
3. Clay soil shall be improved by adding gypsum as per manufacturers spec.
4. Backfill garden beds with selected garden mixture, compacted lightly and uniformly.
5. 150mm high concrete kerb is to be constructed between all landscaped areas and vehicular standing or manoeuvring areas.
6. Mulch all garden beds with 75mm depth of selected woodchip or similar.

Botanical name	Common name	Approx. Mature height	Quantity
MEDIUM TREES			
1 Betula pendula "Fastigiata"	Silver birch	11m	4
SMALL TREES			
2 Lagerstroemia indica	Crape Myrtle "Indian Summer"	4m	5
3 Acer palmatum 'Sango Kaku'	Coral Barked Maple	4m	4
4 Pfitosporum tenuifolium 'Silver Sheen'	Silver leaf Pfitosporum	3m	4
SHRUBS			
5 Rosmarinus officinalis	Rosemary	1m	9
6 Lavandula spp	Lavender	1m	12
7 Correa 'Wanni'	Native Fuchsia	1m	10

Project: **PROPOSED RESIDENTIAL DEVELOPMENT 216 HAYANNAH STREET BATHURST**

Job No. **17.22** DWG. No. **12** Amdt. **B** No. in set **12**

Scale: AS SHOWN Date: 13-11-17 File: 1722.dwg

2017/445/021

**Attn General Manager****Judith Henderson** to: Bathurst Regional Council

29/11/2017 04:27 PM

From: Judith Henderson <mother_hen2795@yahoo.com.au>
To: Bathurst Regional Council <council@bathurst.nsw.gov.au>

Ref: DA 2017/445

Dear Sir / Madam,

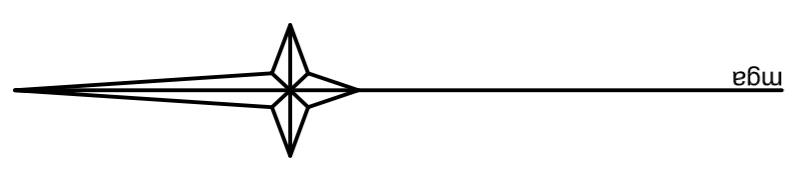
I am writing to you as an owner of a property adjoining this proposed development.

My major concerns (in no particular order) relate to the landscaping plan:

1. Reference is made to the removal of the privet hedge along the front of the property but no reference has been made to the elm tree at the rear of the property. This tree straddles the boundary between 216 Havannah St and my property and since it has a circumference of 3m it is difficult to miss. I want to keep the tree.
2. It is proposed to build a masonry retaining wall up to 800mm high along the boundary with my property. What will be the appearance of this wall from my property and what impact will have on the elm tree?
3. What is the proposed height of the boundary fence? What are its construction materials?
4. Related to *3 is the lack of privacy in my yard from both the windows of Proposed Residence 2 on the north-eastern side and the landscaped area at the rear of this residence as there would be an uninterrupted view of nearly all of my yard if the fence is not high enough.

Regards,

(Ms) Judith Henderson
36 Rocket St



- GAS — Underground Gas Lines. Not Located - by Scale only
- E — Electricity Powerlines
- T — Underground Telecommunication Lines
- V — Water Mains

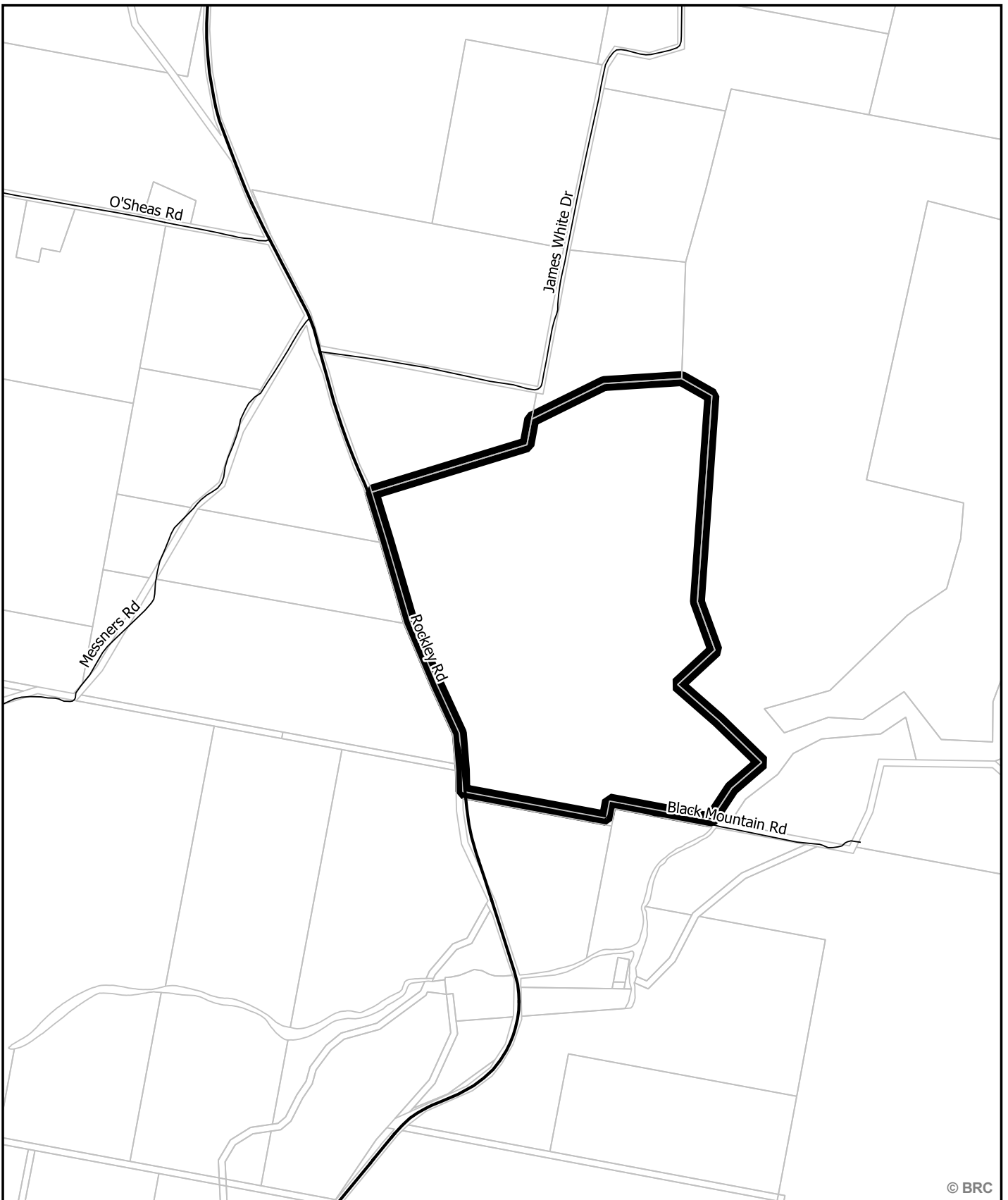
NOTES:
 LOT BOUNDARY DIMENSIONS AS SHOWN ARE NOT TITLE DIMENSIONS
 TO BE AVAILABLE IF A PLAN OF REDEFINITION (OR SUBDIVISION) WERE
 TO BE LODGED WITH LAND AND PROPERTY INFORMATION TODAY.

CAUTION:
 LEVELS ARE ON AHD (AUSTRALIAN HEIGHT DATUM).
 ORIGIN OF LEVELS: PM 3605 - RL 676.883 AHD
 SOURCE: SCIMS
 CONTOUR INTERVAL: 0.5 METRE.
 THE POSITION OF SURVEYED DATA HAS BEEN LOCATED TO
 TOPOGRAPHIC ACCURACIES.
 IF CLEARANCES TO BOUNDARIES OR OTHER FEATURES ARE
 CRITICAL, A FURTHER SURVEY MAY BE REQUIRED.
 THE TITLE TO THIS LAND HAS NOT BEEN CHECKED FOR
 EASEMENTS, RESTRICTIVE COVENANTS OR RESTRICTIONS
 AS TO USER.
 ALL UNDERGROUND SERVICES ARE SHOWN AS
 APPROXIMATE ONLY AND HAVE BEEN PRODUCED FROM
 AVAILABLE SERVICE PLANS AND BY FIELD SURVEY.
 THE SURVEYOR HAS NOT BEEN ADVISED OF ANY
 CONSTRUCTION ON SITE. THE RELEVANT AUTHORITIES
 SHOULD BE CONTACTED FOR LOCATION OF POSSIBLE
 POT-HOLES AND SERVICES. PRESENTATION OF
 POT-HOLES IS ESSENTIAL FOR PRECISE UNDERGROUND
 SERVICE LOCATION.
 TABLELANDS AND BUTTSWORTH SURVEYORS ACCEPT NO
 RESPONSIBILITY FOR ANY LOSS OR DAMAGE ARISING FROM
 THE USE (OTHER THAN FOR ITS ORIGINAL PURPOSE) OF
 THIS DRAWING. THE SURVEYOR'S LIABILITY IS LIMITED TO THE
 ORGANIZATIONS OTHER THAN OUR CLIENT MENTIONED BELOW.

NOTES:
 SP: REBAR MET FIT
 SW: WATER METER
 WM: WATER METER
 F: FENCE
 RP: POWER POLE
 CR: CROWN OF ROAD
 NS: NATURAL SURFACE
 TKB: TOP KERB LEVEL
 INV: PREPIT INVERT LEVEL
 PT: TOP OF PIT
 TK: TOP OF KERB
 H: WATER HYDRANT
 TREE WITH APPROXIMATE TRUNK
 DIAMETER, SPREAD & HEIGHT
 (TREE 0-400, 805, 1291)

<p>Amendments: No. Date:</p>	<p>Client: DAVID CHAPMAN</p>	<p>TABLELANDS & BUTTSWORTH SURVEYORS LAND DEVELOPMENT CONSULTANTS, SURVEYORS, TOWN PLANNERS & ENVIRONMENTAL</p> <p>71 Bentinck Street, BATHURST NSW P.O. Box 1495, Bathurst NSW 2795 Phone: (02) 6331 4918 Fax: (02) 6331 4921 Email: enquiries@mysurveyor.com.au ACN: 054 217 784</p>	<p>PLAN OF: DETAIL & LEVELS OVER LOTS 8 & 9 DP1103486 No.216 HAVANNAH STREET, BATHURST LGA BATHURST REGIONAL</p>	<p>REDUCTION RATIO: 1:200 @ A1</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">SURVEY</td> <td style="width: 50%;">MB</td> </tr> <tr> <td>DRAWN</td> <td>MB</td> </tr> <tr> <td>DATE:</td> <td>12 NOVEMBER 2015</td> </tr> <tr> <td>REF No.</td> <td>15194T&I</td> </tr> </table>	SURVEY	MB	DRAWN	MB	DATE:	12 NOVEMBER 2015	REF No.	15194T&I
SURVEY	MB											
DRAWN	MB											
DATE:	12 NOVEMBER 2015											
REF No.	15194T&I											
<p>No.216 HAVANNAH STREET, BATHURST</p>		<p>Sheet 1 of 1 Sheet</p>										

This drawing and the information shown herein is the property of Tablelands & Buttsworth Surveyors and may not be used for any purpose other than that for which this drawing is supplied. Any other use, copying or reproduction of all or any part of this drawing is prohibited without the written consent of Tablelands & Buttsworth Surveyors.



Bathurst Regional Council
 158 Russell Street
 Bathurst
 NSW
 2795
 Telephone: 02 6333 6111
 Facsimile: 02 6331 7211
 Web: www.bathurst.nsw.gov.au



Important Notice !

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground.

Bathurst Regional Council expressly disclaims all liability for errors or omissions of any kind whatsoever, or any loss, damage or other consequence which may arise from any person relying on information comprised in this Plan.

Note: The colours on this Plan do not indicate landuse zones under the Bathurst Regional Local Environment Plan 2014.

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD) heights. For most practical purposes GDA94 coordinates and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84) are the same.

Aerial
 Photography: ...

Contour
 Interval: ...

Projection: MGA94 Zone 55

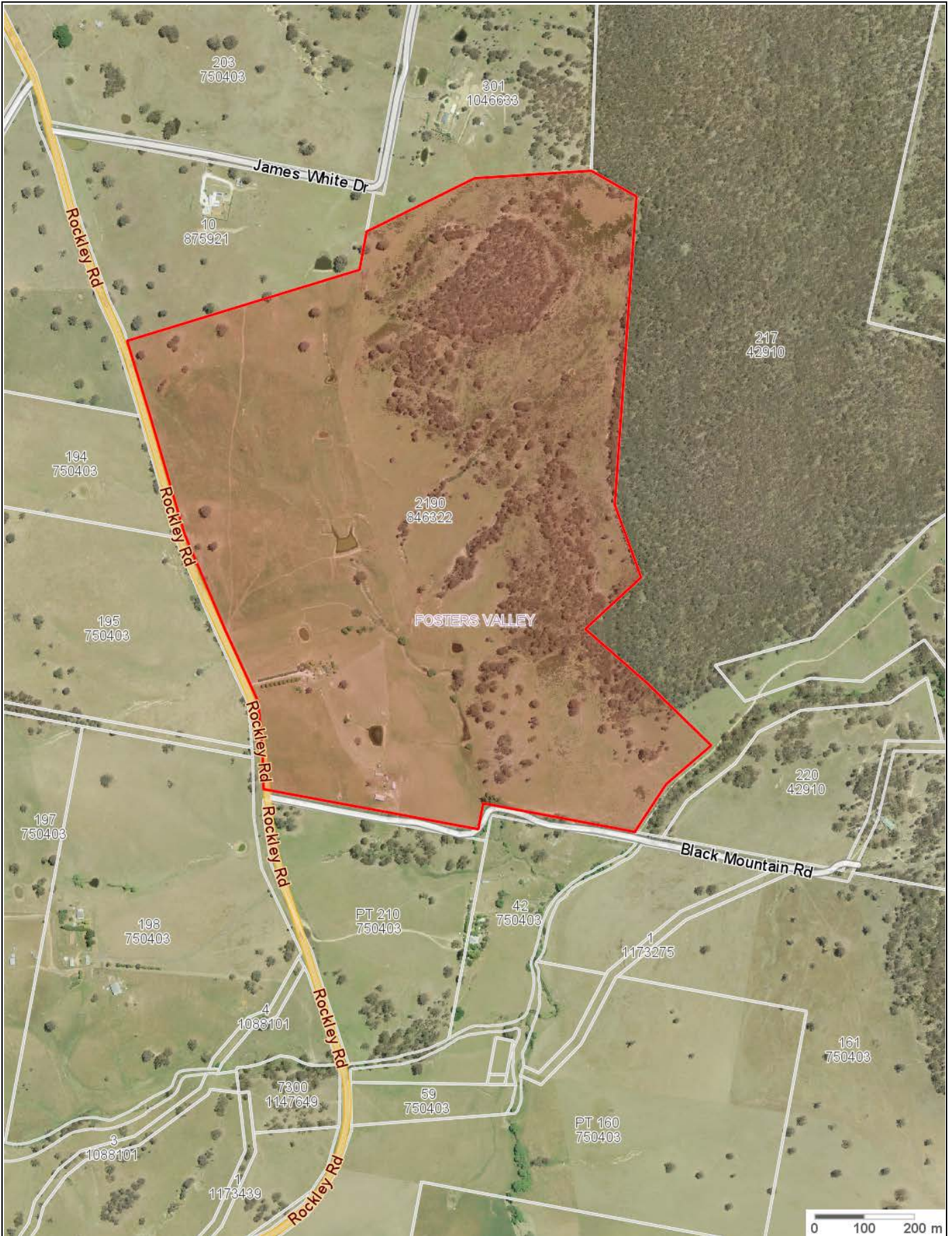
Cost: ...

Date: 15/11/2017

Drawn By: GIS Section

DA2017/394

Map Scale: 1:15,000 at A4



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information),
 © Bathurst Regional Council.



Drawn By:

Date: 13/02/2018

Projection: GDA94 / MGA zone 55

Map Scale: 1:10000 @ A4



planning consultants

Statement of Environmental Effects

Use of Premises for a Dog Breeding Facility

1557 Rockley Road, Fosters Valley



Prepared for: Rockley Valley Park Pty Ltd
October 2017

Printed: 12 October 2017
File Name: P:\PROJECTS\20021A 1557 Rockley Road, Fosters Valley\Reports\20021A.docx
Project Manager: W. Gosling
Client: Rockley Valley Park Pty Ltd
Project Number: 20021A

Document Control

Version	Prepared By	Reviewed By	Issued To	Date
Rev_1, Draft	W. Gosling	H. Rigney	Client	9 October 2017
FINAL	W. Gosling	H. Rigney	Client	11 October 2017

Contents

1	Introduction	1
1.1	Commission	1
1.2	Purpose of this Statement	1
1.3	Material Relied Upon	1
2	Background	2
2.1	Pre-DA Meeting	2
3	Site Context	3
3.1	Location	3
3.2	Site Description	3
3.3	Surrounding Development	6
4	Proposed Development	8
4.1	Summary and Development Statistics	8
4.2	Aim of the Dog Breeding Facility	8
4.3	Description of the Proposal	9
4.3.1	Main Kennel Area	9
4.3.2	Socialisation Area	10
4.3.3	Whelping House	10
4.3.4	Hospital	10
4.3.5	Mating facility	10
4.3.6	Education Facility	11
4.3.7	Security	11
4.3.8	Number of Staff	11
4.3.9	Waste Management	11
5	Environmental Planning Assessment	12
5.1	Planning Controls	12
5.1.1	State Environmental Planning Policy 44 - Koala Habitat	12
5.1.2	Bathurst Regional Local Environmental Plan 2014	13
5.1.3	Bathurst Regional Development Control Plan 2014	13
5.2	Likely Impacts of the Development	15
5.2.1	Acoustic Impact	15
5.2.2	Waste Management	15
5.2.3	Plan of Management	16
5.2.4	Koala Habitat	16
5.2.5	Visual Impact	16
5.2.6	Traffic	16
5.3	Suitability of the Site for Development	16
5.4	Public Interest	17

6 Conclusion**18****Figures**

Figure 1	Site Location	3
Figure 2	Aerial Photograph	3
Figure 3	View of location of dog breeding facility	4
Figure 4	View looking north	4
Figure 5	Rockley Road	5
Figure 6	Dwelling house	5
Figure 7	View of the rear of the dwelling and shed to be used as a hospital.	6
Figure 8	1 Black Mountain Road to the south-east of the site.	6
Figure 9	1605 Rockley Road, viewed from the intersection of Black Mountain Road and Rockley Road	7
Figure 10	View of Black Mountain	7

Tables

Table 1	Consultant Team	1
Table 2	Assessment against Relevant Provisions of LEP	13
Table 3	Assessment against Relevant Provisions of DCP	14

Appendices

1.	Site Survey
2.	Architectural Plans
3.	3D Images
4.	Bore License
5.	Effluent Disposal Report
6.	Acoustic Report
7.	PIAA Standards and Guidelines for Best Practice Breeding Facilities

1 Introduction

1.1 Commission

DFP has been commissioned by Rockley Valley Park Pty Ltd to prepare a Statement of Environmental Effects (SEE) for the proposed dog breeding facility at 1557 Rockley Road, Fosters Valley (the Site).

This report is to accompany a development application (DA) to Bathurst Regional Council (Council).

The proposed development comprises:

- Use of premises for a dog breeding facility to accommodate 60 breeding dogs;
- Construction of dog kennels and fenced dog runs;
- Use of existing sheds for ancillary training facility (6-10 days per annum);
- Associated landscaping;
- Installation of an envirocycle waste system; and

1.2 Purpose of this Statement

The purpose of this report is to provide Council and relevant NSW State Government Agencies with all relevant information necessary to assess the subject development proposal and to determine the DA in accordance with Section 80 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and the *Environmental Planning and Assessment Regulation 2000* (the Regulation).

This application is a local Development Application and accordingly Bathurst Regional Council is the sole consent authority. An application pursuant to Section 68 of the Local Government Act will be lodged with this application for the onsite envirocycle waste system.

1.3 Material Relied Upon

This SEE has been prepared by DFP based on information referred to herein and appended to this report and a Site inspection undertaken on 25 August 2017.

This development application consists of various plans and reports prepared by consultants listed below.

Table 1 **Consultant Team**

Surveyor	In Line Surveys
Architect	Dunlop Management Pty Ltd
Town Planning	DFP Planning Pty Ltd
Acoustic Engineer	Rodney Stevens Acoustics
Civil Engineer	Calare Civil Pty Ltd
3D Graphics	3DE Pty Ltd

2 Background

2.1 Pre-DA Meeting

A pre-DA meeting was held at Bathurst Regional Council on 25 August 2017 which was attended by Richard Denyer Manager Development Assessment, John Grima of Rockley Valley Park Pty Ltd, Peter Nobbs of Rockley Valley Park Pty Ltd and Warwick Gosling of DFP Planning. At the pre-DA meeting the following matters were discussed:

- The proposed use would be defined as an animal boarding or training establishment.
- The site is zoned RU1 Primary Production Zone where animal boarding or training establishments are permissible with development consent.
- The location of the dog breeding facility is clear of the bushfire prone land however the eastern part of the site is categorised as Category 1 Bushfire prone land vegetation.
- The subject site has a bore licence to extract ground water.
- The site is located within the drinking water catchment.
- The site is identified as containing high and moderately high ground water vulnerability.
- The site is identified as containing high biodiversity significance on DCP map 31 – Biodiversity, the area of biodiversity significance is at the rear of the site.
- The existing dam located adjacent to the location of the proposed dog breeding facility is not classified as a water body and accordingly the application is not integrated development.
- It is preferred to provide the fences behind the proposed boundary screen landscaping
- The development application will need to address SEPP 44-Koala Habitat
- The application will need to contain a Plan of Management for the facility which provides information relating to a number of staff, number of deliveries, waste management and any noise attenuation measures.

3 Site Context

3.1 Location

The subject site is located approximately 21km south of Bathurst and is located on the north-eastern side of the intersection of Rockley Road and Black Mountain Road, Fosters Valley. **Figure 1** below shows the location of the subject site.

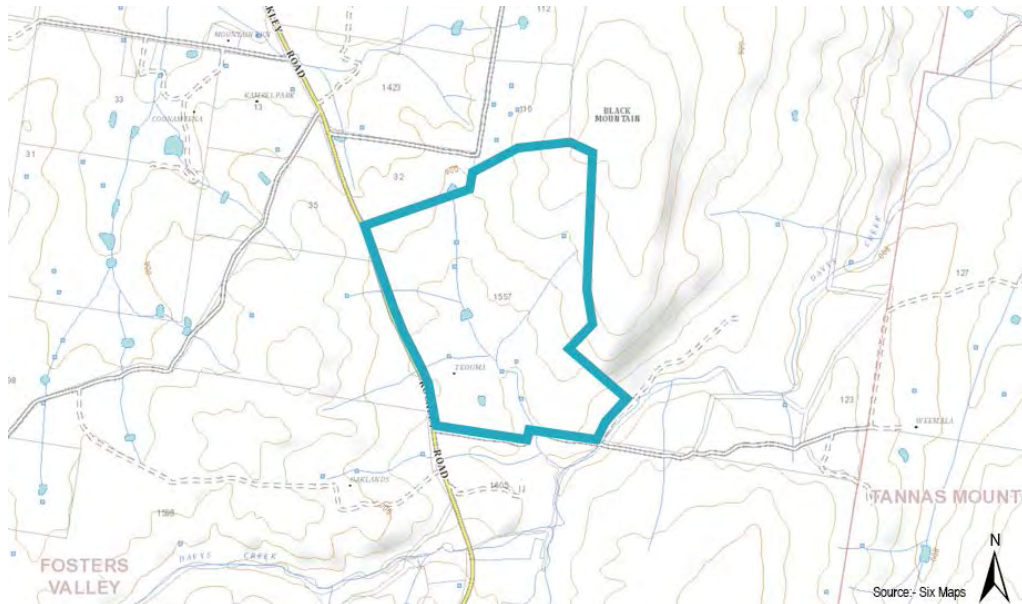


Figure 1 Site Location

3.2 Site Description

The site is legally described as Lot 2190 DP846322 and is known as 1557 Rockley Road, Fosters Valley.

The site has an approximate area of 100ha with a frontage of approximately 950m to Rockley Road and a frontage to Black Mountain Road of approximately 295m.

The subject site contains an existing house and two sheds at the south-western corner of the site towards the intersection of Rockley Road and Black Mountain Road. The location of the proposed dog breeding facility is to the south of the existing dwelling. The area of the proposed dog breeding facility is approx. 2ha. **Figure 2** below is an aerial photo of the site with the area of the proposed dog breeding facility shaded.



Figure 2 Aerial Photograph

The location of the proposed dog breeding facility is relatively flat with a gentle slope to the east and south-east. On average the gradient of the land where the dog breeding facility is proposed has an average gradient of 8%. A survey has been prepared by Inline Surveys Pty Ltd which is attached at **Appendix 1** of this SEE.

A photograph of the area where the dog breeding facility is proposed to be located is provided in **Figure 3** below. This photo is taken from the Rockley Road frontage looking to the south-east towards Black Mountain Road. The shedding is located on the subject site with the main shed to be used for training purposes.



Figure 3 View of location of dog breeding facility

Figure 4 is a photograph looking north from Black Mountain Road towards the existing dwelling house on the site with the location of the dog breeding facility in the foreground.



Figure 4 View looking north

The site is located on a sloped curve of Rockley Road, where Rockley Road is cut into the existing ground level by up to 2.5 metres. In the vicinity of the dog breeding facility, the site is higher than the road level as demonstrated in **Figure 5** below. **Figure 5** is taken from the existing driveway of the site looking south along Rockley Road.



Figure 5 Rockley Road

It is proposed that the facility manager will live in the existing dwelling house on the site which will be located immediately to the north of the dog breeding facility. Vehicular access to the dwelling house and the dog breeding facility is provided via Rockley Road. **Figure 6** below is a photograph of the existing dwelling house and vehicular driveway taken from the Rockley Road property boundary.



Figure 6 Dwelling house

Vehicular access to the existing sheds at the southern part of the site is also available via Black Mountain Road.

To the rear of the dwelling is a shed which will be proposed to be refurbished and used as a dog hospital space, should any dogs require medical attention. A photograph of the shed and the rear of the dwelling is provided at **Figure 7** below.



Figure 7 View of the rear of the dwelling and shed to be used as a hospital.

Electricity to the site and dwelling house is provided by overhead wires from Black Mountain Road. The location of the electricity poles and wires are shown on the survey at **Appendix 1** and can be seen in **Figure 3**.

3.3 Surrounding Development

The subject site is located within the rural area to the north of Fosters Valley and sits to the south-west of Black Mountain. The locality is generally used for grazing purposes whilst the steep areas including Black Mountain are heavily vegetated. There are two dwellings within 1km of the location of the dog breeding facility, these being 1 Black Mountain Road, and 1605 Rockley Road.

1 Black Mountain Road is located approximately 420m from the location of the dog breeding facility to the south-east. The dwelling house at 1 Black Mountain Road is significantly lower than the subject site. A photograph of 1 Black Mountain Road as viewed from Black Mountain Road is provided in **Figure 8** below.



Figure 8 1 Black Mountain Road to the south-east of the site.

1605 Rockley Road is located to the south-west of the site and is located approximately 480m from the location of the dog breeding facility. This site is significantly higher than the subject site as the land slopes steeply up to the west from Rockley Road. A photograph of 1605 Rockley Road as viewed from the intersection of Rockley Road and Black Mountain Road is provided at **Figure 9** below.



Figure 9 1605 Rockley Road, viewed from the intersection of Black Mountain Road and Rockley Road

The rear boundary is located towards the base of Black Mountain which is densely wooded. There are some stands of vegetation along the eastern boundary of the site adjoining Black Mountain. A photograph of Black Mountain is provided at **Figure 10** below.



Figure 10 View of Black Mountain

4 Proposed Development

4.1 Summary and Development Statistics

Development consent is sought to operate a dog breeding facility to accommodate 60 breeding dogs at the subject site. In order to facilitate the proposed dog breeding facility, development consent is sought for the following:

- 15 kennels and associated fenced dog run
- A building which contains 20 whelping kennels and outdoor fenced space
- 8 mating kennels and associated fenced dog run
- 2 central dog socialisation areas which include shade structures and dog activity areas including a small pool (250mm deep) and playground equipment and shade structures.
- Grooming shed that is located between the two social kennel spaces.
- The space where all the kennels and whelping sheds are located will be contained within a secondary 1.8m high chain wire security fence constructed of chain mesh located behind the proposed hedging.
- Use of the existing shed off Black Mountain Road for training purposes ancillary to the breeding facility. Training will be provided to existing and future dog breeders 6-10 times per annum to a maximum of 12 people for a 1-day programme.
- Refurbishment of the existing shed to the rear of the existing dwelling to be used for a dog hospital and quarantine room.
- The existing dwelling house will be occupied by the dog breeding manager
- Installation of a surface irrigation effluent disposal system such as an Envirocycle (Approval is also required under Section 68 of the Local Government Act)
- Screen landscaping along the Rockley Road and Black Mountain Road frontages adjacent to the dog breeding facility.

Architectural plans showing the proposal have been prepared by Dunlop Management Pty Ltd which are attached at **Appendix 2** of this SEE. 3D images have also been prepared by 3DE Pty Ltd which show images of the proposal provided at **Appendix 3** of this SEE.

The development application seeks consent for 60 breeding dogs, consisting of 8 males and 52 females. It is proposed to breed small poodle and spaniel crosses on the site, however this may change over time.

4.2 Aim of the Dog Breeding Facility

The proposed dog breeding facility is designed to supply dogs to the Kellyville Pets shop at Windsor Road, Kellyville (Sydney). Kellyville Pets is owned and operated by Mr John Grima, who also sits on the board of the Pet Industry Association and it is his mission to raise the standards of dog breeding in Australia and to inspire related breeders to Kellyville Pets and within the industry as a whole to become transparent and to improve their practices and facilities. Moreover the facility at the subject site will be a facility that allows the professional breeding of companion dogs that caters for the physical, psychological and social wellbeing of all dogs on the property.

Once the facility is operating it is the intention of the operator to encourage other related breeders to visit the site and to understand and become inspired to follow the operation and its practices on the site. In this regard, it is anticipated that bi-annually up to 12 dog breeders from New South Wales and occasionally interstate will be invited to the facility to undertake a training seminar where existing and potential dog breeders will be taught best practice dog breeding techniques and the proposed Rockley Valley property will be the model facility. These training seminars will be a 1-day programme and will occur 6-10 times per year. The training is ancillary to the dog breeding facility.

It is the intention of Rockley Valley Park to work with the recognised animal welfare groups such as the RSCPA and AWL Australia to establish an accreditation and recognition scheme so that members of the public can acquire their family pet from a reliable and ethical source.

The proposed facility seeks to raise well socialised puppies that have experienced love and care at the site and have been properly trained prior to the dogs being sold at the Kellyville Pets facility.

All dogs will be trained away from the main activities where one-on-one dog training is provided. Each dog will be provided with training so that they become able to walk on a lead easily and allow for veterinary inspection.

The facility is anticipated to exceed the NSW Code of Practice for breeding dogs and cats and in this regard all dogs will be properly vaccinated, microchipped and registered. The standards of the facility will also exceed the Pet Industry Association of Australia (PIAA) Standards and Guidelines for breeding dogs. In this regard the dog welfare standards include:

1. The breeding dogs are treated as someone's future pet and will be trained and socialised accordingly.
2. The breeding mums will be de-sexed and rehomed 4 to 5 and a half years of age and only be allowed to whelp no more than 5 times. All breeding males will be de-sexed and rehomed by the age of 7 years.
3. Daily socialisation, training and grooming will exceed NSW standards and there will be significant environmental enrichment available for all breeding dogs. In this regard Rockley Valley Park play sounds in the socialisation area that they would encounter at the home including the noise of washing machines, radios, traffic noise and will be exposed to human voices and other dogs.
4. Nutrition will be well in accordance or exceed industry standards.
5. Planned guided tours of the facility for authorities or members of the public who wish to visit the facility. Guided tours will also be available to existing and future dog breeders as part of the training facility on site.
6. The entire facility will be a quarantined area and no other dogs or unauthorised personnel will be permitted on the facility.
7. Staff to dog ratios will be 1 full time employee staff member for each 25 dogs.

4.3 Description of the Proposal

Provided below is a description of the components of the proposed facility.

4.3.1 Main Kennel Area

The main kennel area is indicated with MK on the architectural plans attached to **Appendix 2**. The proposal has 15 main kennels which is where the majority of the breeding dogs will reside during the day and night. There will be a maximum of 5 adult compatible dogs living in each main kennel which allows the rotation of kennels for cleaning and sanitisation purposes. Generally, males will be kept separate in their own kennel but will be socialised with other dogs during periods throughout the day under supervision by staff. The detail of the main kennel is provided at Drawing C-2F which indicates the following:

- The dimension of the main kennel area is 30m x 25m
- A roofed kennel with dimensions of 6m x 3m (enclosed space of 1.5m x 3m)
- A fenced and gated inner yard area with a pebble base with a dimension of 6m x 4m.
- Each main kennel and dog run is fenced with a 1.8m high black chain wire fence, whilst internal fencing is 1.5m high.

- The main kennel has 2 gates, 1 from the inner yard and 1 from the turfed yard which provides access to the socialisation area.

4.3.2 Socialisation Area

There are two fenced main kennel socialisation spaces located in the centre of the facility. The socialisation yards are designed so that two lots of dogs can be socialised at the same time. The socialisation areas are fenced off but are directly accessed via gates to the main kennel yards. The socialisation yards will be provided with the following:

- One of the yards will be provided with a bone shaped shaded swimming pool which is approximately 250mm deep
- Both socialisation areas will be provided with play equipment including tubes, tunnels, elevated cubby house, tyres, sand pits, platforms and stairs, etc
- Both yards will have scattered trees
- The majority of the area will be lawn that is well drained
- Areas under the shade sail and around the pool will be AstroTurf
- Freshwater stations for drinking
- Park benches scattered to suit and some dog platforms near the pool
- The concrete footpath connecting all kennel areas and throughout the socialisation areas so that all weather access is possible and comfortable for both dogs and staff.

4.3.3 Whelping House

The whelping house is where the dogs give birth and raise their pups. The whelping house is of a residential scale with an area of 200sqm. The whelping house generally has dimension of 10m x 18.6m and contains the following:

- Entry into an office space with associated toilet
- 20 kennels in a comfortable home style setting to provide a stress-free environment
- Each of the whelping houses/kennels has an adjoining external area that is separated from the adjoining whelping kennel to allow the mums to have access to external potty space and obtain a respite from their puppies as required.
- Indoor socialisation space to allow the mums to be safely separated from their puppies for a short period
- Caretakers sleeping quarters, should the need arise for more intensive care for mums that may require assistance during whelping.
- Veterinary inspection room
- Dog food preparation room
- An inspection and grooming space

The whelping house will be air conditioned with underfloor heating to ensure the puppies are housed in appropriate climatic conditions.

4.3.4 Hospital

The existing shed at the rear of the dwelling house will be refurbished to provide 6 internal enclosures that are approximately 1.5m x 2m with Epoxy coated heated flooring and drainage. A separate food preparation area is provided with a veterinary inspection bench.

4.3.5 Mating facility

The mating facility contains 8 kennels with associated dog run. Each yard will house individual male dogs when they are used during mating periods. They are designed in a manner to allow for privacy and to discourage aggression from other neighbouring males.

4.3.6 Education Facility

It is proposed to utilise the existing shed off Black Mountain Road for the purposes of educating existing and prospective dog breeders. It is anticipated that a maximum of 12 people would attend a conference 6-10 times per year to inspect the model facility and to be educated in best practice dog breeding. The training would be for a maximum of 1 day.

It is proposed to construct an internal room approximately 5m x 7m and will contain tables, chairs and training equipment.

4.3.7 Security

A 1.8m chain link perimeter fence will be provided around the entire dog breeding facility that will be located at least 20m from the nearest kennel building. This is to prevent foxes and kangaroos getting close to the breeding dogs and to provide a security buffer to the external boundaries of the property. The area around the boundary will be mowed regularly to make it unattractive for snakes and vermin. A secondary farm style fence will be constructed along the boundary to prevent dogs escaping and prevent other wild animals entering.

It is also proposed to plant dense tree hedges along the Rockley Road and Black Mountain Road frontages to restrict the view of the dog breeding facility from the road and provide a wind break.

4.3.8 Number of Staff

A full-time facility manager and his wife will reside in the existing dwelling house. In order to comply with the PIAA standards of one full-time equivalent staff member for each 25 dogs it is anticipated that an additional 2 staff members will be employed at the site.

4.3.9 Waste Management

Rockley Valley Park have a policy that all dog faeces is picked up immediately on site throughout the day period. Faeces is bagged and will be disposed of weekly at the local authorised waste management facility.

5 Environmental Planning Assessment

This section provides an environmental assessment of the proposed development in respect of the relevant matters for consideration under Section 79C (1) of the Environmental Planning and Assessment Act, 1979 (EP&A Act).

The key environmental planning issues associated with the proposed development are:

- Compliance with relevant planning policies and controls;
- Acoustic impact of dogs barking on surrounding properties;
- Waste Management;
- Koala Habitat; and
- Visual Impact.

An assessment of these issues is provided in the following subsections.

5.1 Planning Controls

The following subsections assess the proposal against the relevant provisions of applicable Environmental Planning Instruments (EPIs), Draft EPIs, Development Control Plans (DCPs), Planning Agreements and matters prescribed by the Regulation in accordance with Section 79C(1)(a) of the EP&A Act.

5.1.1 State Environmental Planning Policy 44 - Koala Habitat

State Environmental Planning Policy – Koala Habitat (SEPP 44) applies to the Bathurst Regional Local Government Area. At the pre-DA meeting it was determined that there have been no koala sightings on the site however there have been koala sightings in Fosters Valley.

The land at the rear of the 100ha site that adjoins Black Mountain is likely to contain koala feed trees however the land at the south-western corner of the site where the proposed dog breeding facility is to be located is completely clear of trees and accordingly does not contain any core koala habitat.

Due to the fact that there are no trees in the vicinity of the dog breeding facility, there is no potential habitat for koalas.

The only potential interaction between koalas and the land at the south-western part of the site where the proposed dog breeding facility is to be located would be if a koala was walking on the ground which can occur mostly by male koalas seeking new territories or in search of a female.

In this regard it is important to minimise the potential interaction between the dog breeding facility and koalas. This can be achieved in the following ways:

- Planting of non-koala feed trees along the boundaries of the site in the vicinity of the dog breeding facility. In this regard it is likely that conifers will be planted which not favoured by koalas.
- The 1.8m high perimeter fence will form a physical barrier to koalas.
- The 1.5m high internal fences of the kennel areas forms a second physical barrier.
- It is recommended that koala feed trees are not planted within the dog breeding facility so as not to attract koalas to this location.
- Should a koala be seen in the vicinity of the site, dogs should be excluded from that particular kennel and WIRES should be called and the location of the koala monitored until such time as it is safely relocated by a wildlife preservation organisation.

5.1.2 Bathurst Regional Local Environmental Plan 2014

Table 2 below provides a summary assessment of the proposed development against the relevant provisions of the LEP.

Table 2 Assessment against Relevant Provisions of LEP		
Provision	Assessment	Consistent
Clause 2.2 - Zoning - RU1 Primary Production	<p>The proposed development is for the purposes of an animal boarding or training establishment as defined under the LEP below:</p> <p><i>“animal boarding or training establishment means a building or place used for the breeding, boarding, training, keeping or caring of animals for commercial purposes (other than for the agistment of horses), and includes any associated riding school or ancillary veterinary hospital.”</i></p> <p>Animal boarding or training establishments are permitted with consent under this Clause.</p> <p>The training facility is ancillary to the main dog breeding facility. Education facilities are permissible with consent.</p>	Yes
Clause 5.9 - Tree Preservation	<p>The proposed development will not involve the removal of any trees but will plant a dense screen of trees along the boundaries and will provide shade trees within the 2 main Social Kennel areas. .</p>	Yes
Clause 7.2 - Bush Fire Prone Land - Bushfire Prone Land Vegetation Category 1 - Vegetation Buffer	<p>The site is identified as containing Category 1 Bushfire prone land vegetation, and well as land contained within the bushfire prone land vegetation buffer. The location of the proposed works is not identified as containing bushfire prone land. The proposed use is compatible with the bushfire hazard applying to that part of the site.</p>	Yes
Clause 7.5 - Essential Services	<p>Pursuant to Clause 7.5, the consent authority must be satisfied that the following essential services are available at the site, or that adequate arrangements have been made to make them available when required:</p> <ul style="list-style-type: none"> (a) the supply of water, (b) the supply of electricity, (c) the disposal and management of sewage, (d) stormwater drainage or on-site conservation, (e) suitable vehicular access. <p>The site has existing and adequate services to accommodate the proposed development.</p>	Yes
Clause 7.10 - Signage	<p>No Signage is proposed</p>	Yes
Clause 7.14 - Drinking Water Catchments	<p>The site as identified as land within the drinking water catchment pursuant to Clause 7.14. A tributary of Davys Creek runs through the site approximately 180m east of the location of the proposed works.</p> <p>This clause seeks to protect drinking water catchments by minimising the adverse impacts of development on the quality and quantity of water entering drinking water storages.</p> <p>Waste from the facility will be either picked up or will be collected into the sewerage treatment facility. The amount of untreated animal waste will be significantly less than if the site was used for grazing purposes.</p>	Yes

5.1.3 Bathurst Regional Development Control Plan 2014

The proposal has been designed to achieve general compliance with the Bathurst

Table 3 below provides a summary assessment of the proposed development against the relevant provisions of the DCP.

Table 3 Assessment against Relevant Provisions of DCP

Provision	Assessment	Consistent
Chapter 2 - Exhibition and Notification of Applications	Council is required to notify the proposed development in accordance with their notification policy and consider any submissions received during the notification period.	Yes
Chapter 6.2 - Siting	<p>The proposal has sited the kennels and breeding facilities in the south-western portion of the site to the south of the existing residential dwelling. The location of the proposed facilities has been designed to optimise operational requirements for the facility, and to respond to the opportunities and constraints of the site. Buildings have been sited so no trees are required to be removed, minimised excavation or structural support, and is away from the bushfire hazard present at the site.</p> <p>Section 6.2.3 outlines minimum front, rear and side setbacks for types of development permitted in zones RU1, RU2 and RU4. Animal boarding or training establishment is not listed in section 6.2.3. It was agreed at the Pre Da meeting that the proposed development does not constitute <i>Intensive Animal Husbandry</i> which requires a front side and rear setback of 250m.</p> <p>As this type of development is not listed in the DCP, the setbacks to Rockley Road and Black Mountain Road are to be assessed on a merit basis. In this instance, the location proposed development is separated from the nearest neighbouring dwelling by approximately 480m and existing landscaped areas. The proposed setbacks of 12.25m to Rockley Road and 75m to Black Mountain Road provide opportunities for screen landscaping. Due to the cutting of Rockley Road and the screen planting there will be little opportunities to view the facility from the street.</p>	Yes
Chapter 6.5 - Water Supply Requirements	The site benefits from Bore Licence from the Department of Primary Industries –Water. A copy of the licence is attached at Appendix 4 of this SEE. It is also proposed to collect roof water for use on the site. There is no change to the potable water provision for the dwelling which has its own tank.	TBC
Chapter 6.6 - Building Form and Design	The proposal includes a number of one storey kennel and whelping buildings. The bulk and scale of the buildings are not excessive and will not detract from the visual amenity from neighbouring properties or the visual amenity from other significant locations in the City or the Region. The kennels will be constructed from colorbond whilst the whelping shed will be constructed of masonry with a colorbond roof.	Yes
Chapter 6.7 - Soil and Water Management	A Sediment and Erosion Control fence should be installed along the outer side of the eastern chainmail fence during construction to prevent any soil laden runoff draining into the dams and local streams.	Capable of Compliance by condition
Chapter 9.3 - Riparian Land and Waterways	<p>The site is identified as containing high and moderately high groundwater vulnerability on DCP Map No. 30 – Riparian Land and Waterways. Davys Creek is identified as a sensitive waterway and runs along the south-east of the property.</p> <p>At the Pre-DA meeting it was determined that the dam to the east of the breeding facility did not constitute a water course and accordingly no excavation is being undertaken within 40m of a watercourse.</p>	Yes
Chapter 9.4 - Biodiversity	The site is identified as containing high biodiversity significance on DCP Map No. 31 – Biodiversity.	Yes

	The area on the site that has biodiversity significance is at the eastern end of the site where the property adjoins Black Mountain. The proposed facility is located on relatively flat grazing land and accordingly has no impact on the Biodiversity significance of the site.	
Chapter 9.5 - Groundwater	<p>The site is identified as containing high and moderately high groundwater vulnerability on DCP Map No. 30 – Riparian Land and Waterways.</p> <p>The proposed effluent disposal system as shown at Appendix 5 will ensure that animal waste is effectively treated. All faeces will be collected constantly during the daylight hours and disposed of at a land fill site. Accordingly, the proposal will not result in the contamination of ground water.</p>	Yes
Chapter 9.7 - Bushfire Prone Land	The site is identified as containing Category 1 Bushfire prone land vegetation, and well as land contained within the bushfire prone land vegetation buffer. The location of the proposed works is not identified as containing bushfire prone land. The proposed use is compatible with the bushfire hazard applying to that part of the site.	Yes

5.2 Likely Impacts of the Development

The following subsections assess the likely impacts of the development in accordance with Section 79C(1)(b) of the EP&A Act.

5.2.1 Acoustic Impact

Rockley Valley Park has engaged Rodney Stevens Acoustics to prepare an Acoustical Assessment for the proposed dog breeding facility at the site. A copy of the Acoustic Report is attached at **Appendix 6** of this SEE. The Acoustic Report measured the background noise levels and determined what impact the proposed dog breeding facility would have on the two sensitive residential receivers being the dwelling houses at 1605 Rockley Road and 1 Black Mountain Road, Fosters Valley.

It is important to note that dog breeding facilities generate less dog noise than an animal boarding facility for the following reasons:

- The dogs have grown up together with each other;
- There are no new adult dogs being constantly introduced on the site;
- There are no visitors to the site beyond staff and the maximum 1 training services per month; and
- The dogs are all of a similar breed and nature.

Rodney Stevens Acoustics have prepared a number of acoustic reports for dog facilities and their records indicate that the largest bark can produce a sound power level of 85 decibels, and with the expected number of dogs on the site this could be elevated to 100 decibels.

The assessment has predicted the noise impact to the nearest residential dwelling and would achieve compliance with the NSW EPA Industrial Noise Policy Requirements. It is recommended in order to maintain good community relationships with the neighbouring properties that the operator have a complaint handling procedure to ensure that should there be any impacts on the neighbouring properties that corrective action can be undertaken by the farm manager.

It is the conclusion that Rodney Stevens Acoustics that planning approval be granted on the basis of acoustic issues.

5.2.2 Waste Management

As previously indicated it is proposed to handle dog waste in the following ways:

- Dog faeces will be collected continually during the daylight hours and disposed of at a licenced landfill by the farm manager.
- The whelping shed will be connected to an Envirocycle waste management facility to ensure that urine is collected and disposed of via the waste treatment facility. Urine from the kennels is hosed down and will be drained through a swale to the biocycle sewerage system. The details of the sewerage system have been prepared by Calare Civil and is attached at **Appendix 5** of this SEE.

5.2.3 Plan of Management

It is the intention of Rockley Valley Park to operate in accordance with the Pet Industry Association of Australia's Standards and Best Practice for Breeding Establishments. A copy of these standards are provided at **Appendix 7** of this SEE. The site-specific matters relating to staff members waste management were described in **Section 4** of this SEE.

5.2.4 Koala Habitat

As previously discussed in this SEE, the area of the proposed dog breeding facility does not contain any core koala habitat and no koalas have been identified on the site. However, koala sightings have been made in the vicinity of the subject site. The two perimeter fences will provide a physical barrier to the koalas from the dog kennels and the dense conifer hedge proposed along both Black Mountain Road frontage and Rockley Road frontage will also deter koalas. It is recommended that the following conditions be imposed to protect koalas:

- No koala feed trees be planted on the site within the vicinity of the dog breeding facility including within it.
- Should a koala be spotted in the vicinity of the dog breeding facility that WIRES or another professional animal welfare agency be called to safely relocate the koala.
- Any dogs in proximity to the koala should be relocated until such time as the koala has been relocated.

5.2.5 Visual Impact

Rockley Road is cut into the ground the boundary of the site in the vicinity of the dog breeding facility by up to 2.5 metres higher than the road level. Therefore, once screen planting has been provided along the Rockley Road boundary the dog kennels will be visually screened from the road.

5.2.6 Traffic

There will be little impact on traffic as the farm manager will live on the site and will be responsible for purchasing the dog food and other dog supplies and is likely to be undertaken when household goods are also being purchased to minimise travel. It is likely that up to 2 employees will be on the site and it is also anticipated that a vet would be at the site approximately once per week.

When the training course is being undertaken on the site up to 12 cars could be parked in the vicinity of the shed located off Black Mountain Road. These traffic volumes are very low and will not have any impact on the traffic flows of Black Mountain Road or Rockley Road nor will they impact on the amenity of adjoining properties.

5.3 Suitability of the Site for Development

It is the opinion of DFP Planning that the site is suitable for the proposed development for the following reasons:

- The area where the dog breeding facility is to be located is on the cleared area at the south-western corner of the site which ensures minimal excavation is required.
- The location of the breeding facility does not require the removal of any trees.

- Through screen landscaping the facility can be visually screened from Rockley Road and Black Mountain Road.
- The location is unlikely to have any impact on koalas as there are no koala feed trees in the vicinity of the location of the facility.
- The site is removed from any natural water courses.
- The site enjoys a bore licence that will allow water to be used for irrigation and for animal drinking water.
- The location of the facility is in close proximity to the farm manager's house to ensure that any disturbances can be quickly dealt with.

There are no site restrictions that would prevent this facility from being located on the site and operate in a manner that will not impact upon the amenity of surrounding properties or impact the natural or built environment.

5.4 Public Interest

As this dog breeding facility will be a state-of-the-art dog breeding facility that will be an exemplar for other facilities to follow. The owner of Rockley Valley Park, Mr John Grima, has a high profile in the Pet Industry Association and is seeking to ensure that supply of puppies and dogs to his pet shop and other pet shops is undertaken in a manner that has the best interest of the dogs and the future owners at heart.

It is the aim of this facility to provide training for existing and future dog breeders to ensure that the facilities are in accordance with the Pet Industry Association guidelines and over time progressively raise the bar for dog breeding facilities so that future purchases of dogs can be guaranteed that the dogs have been bred and trained in an ethical manner.

It is important to note that the breeding dogs are also trained to ensure that once they have had their five litters that they are also rehomed and will be a well-trained pet for a potential purchaser.

6 Conclusion

The proposal for a 60-dog breeding facility has been assessed in accordance with the requirements of the EP&A Act, the Bathurst Regional Local Environmental Plan and Bathurst Development Control Plan. This SEE has also had regard to SEPP Koala Habitat to ensure that the facility does not have any impact on koala populations.

The proposed dog breeding facility has been assessed by Rodney Stevens Acoustics who have determined that the proposed facility will not have any negative impacts on the closest two dwelling houses.

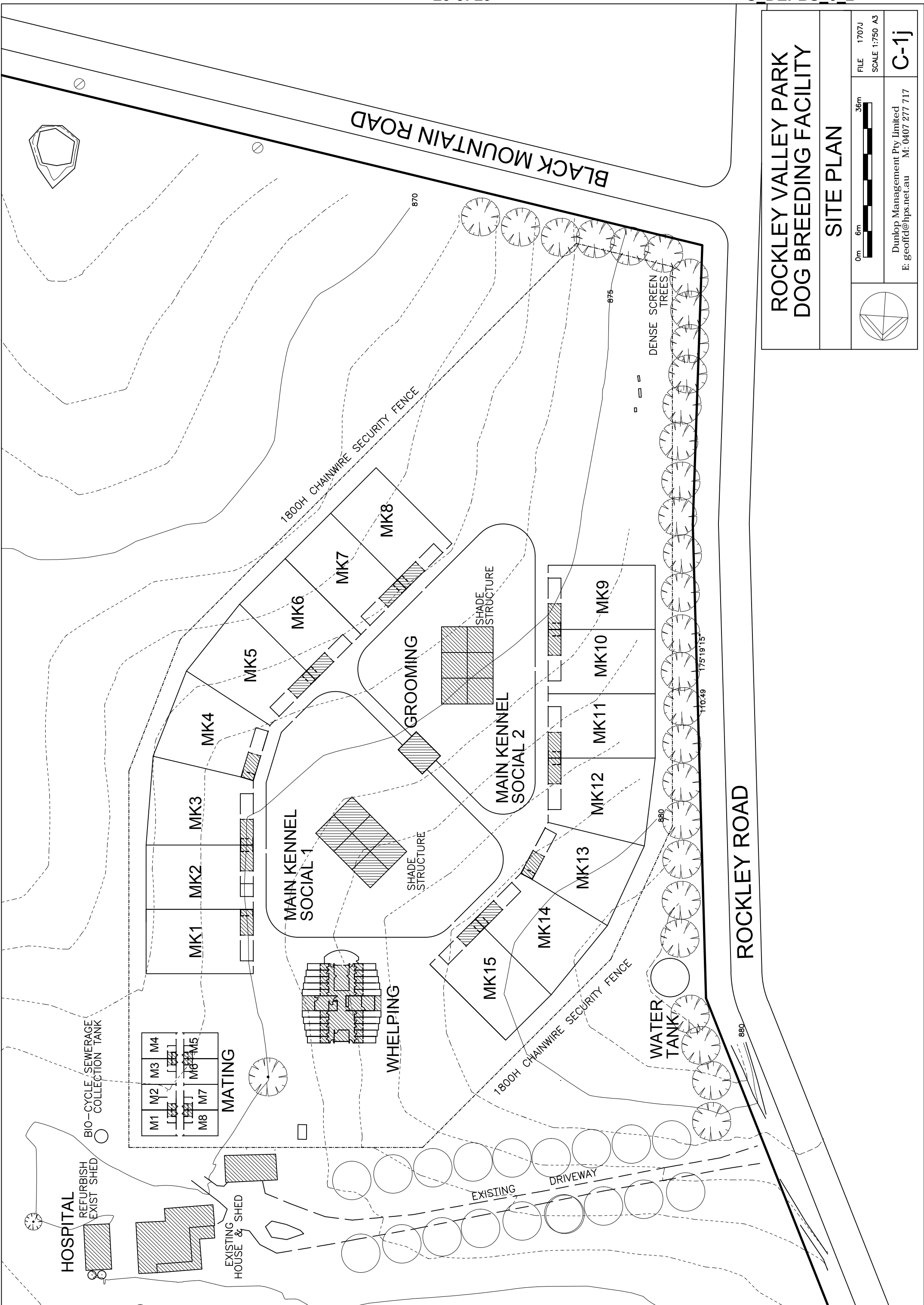
The effluent disposal investigation prepared by Calare Civil (**Appendix 5**) indicates how it is proposed to dispose of effluent generated by dogs on the site.

This SEE has detailed how the proposal will be an exemplar in the industry and be used for training facilities on a bi-monthly basis for future and existing dog breeders.

The facility is proposed to be of the highest quality with perimeter fences and internal fences to ensure that the dogs are not able to escape or other native animals are able to interact with the dogs. As discussed it is anticipated that the dogs will be small crosses between spaniels and poodles and are to be bred and trained to have pleasant dispositions.

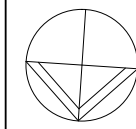
Based on the accompanying architectural plans and reports submitted with this Statement of Environmental Effects, it is the opinion of DFP Planning that development consent should be granted to this application with the following additional conditions:

- A sediment and erosion control fence should be placed along the eastern boundary of the 1.8m high chain wire fence during construction;
- No koala feed trees should be planted within or in the vicinity of the facility;
- Should a koala be seen in the vicinity of the dog breeding facility that WIRES or other qualified animal welfare agency be called to relocate the koala. The koala should be monitored and any dogs removed from the vicinity of the koala until such time as the koala is removed;
- Ancillary training programs should be limited to a bi-monthly occurrence and should not be attended by more than 12 people;
- All dogs should be registered with Council, microchipped; and
- The operation of the facility should be in accordance with the Pet Industry Association guidelines.



**ROCKLEY VALLEY PARK
DOG BREEDING FACILITY**

SITE PLAN

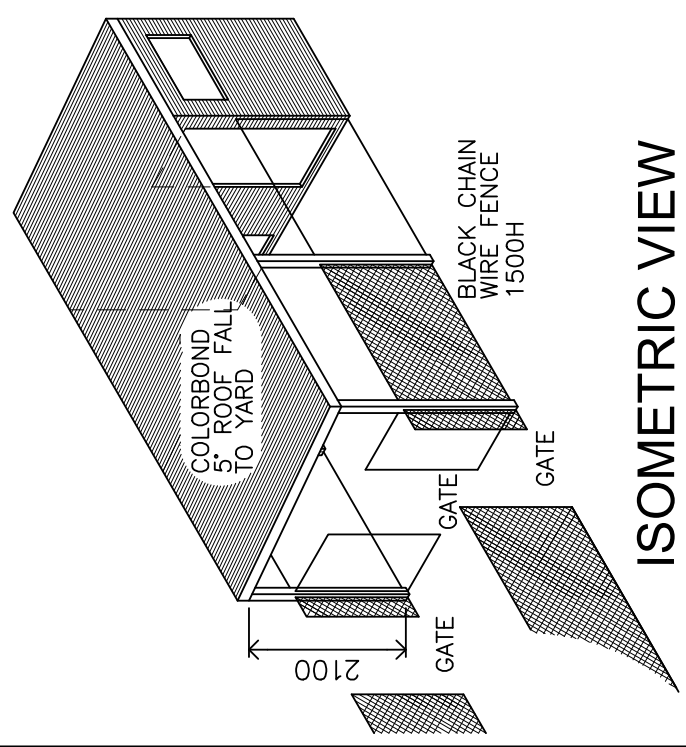
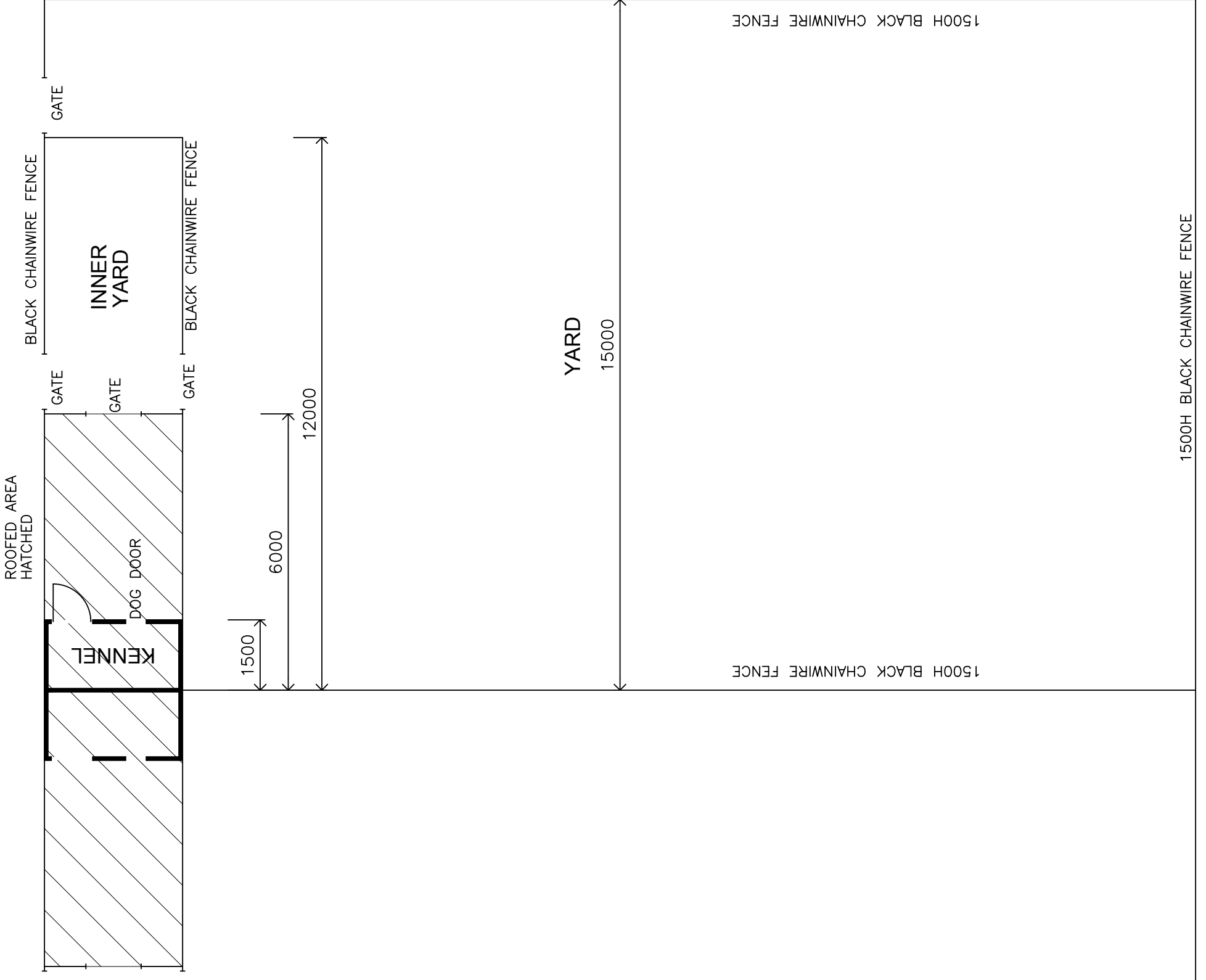


0m 6m 36m

FILE 1707J
SCALE 1:750 A3

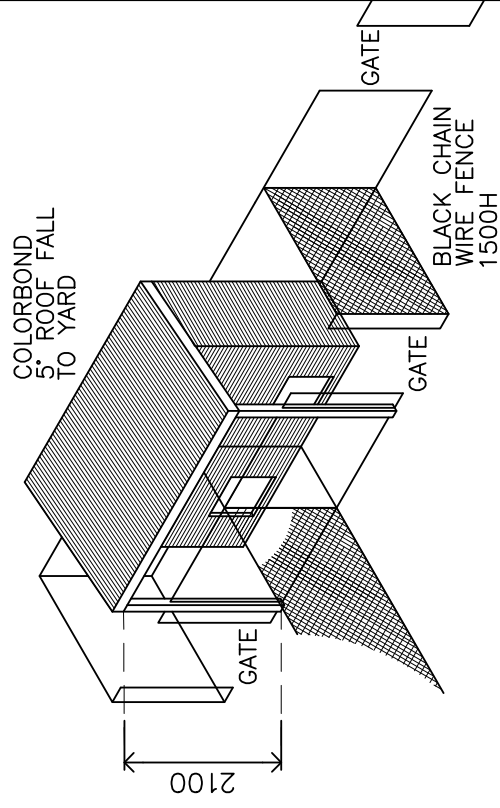
Dunlop Management Pty Limited
E: geoffd@hps.net.au M: 0407 277 717

C-1j

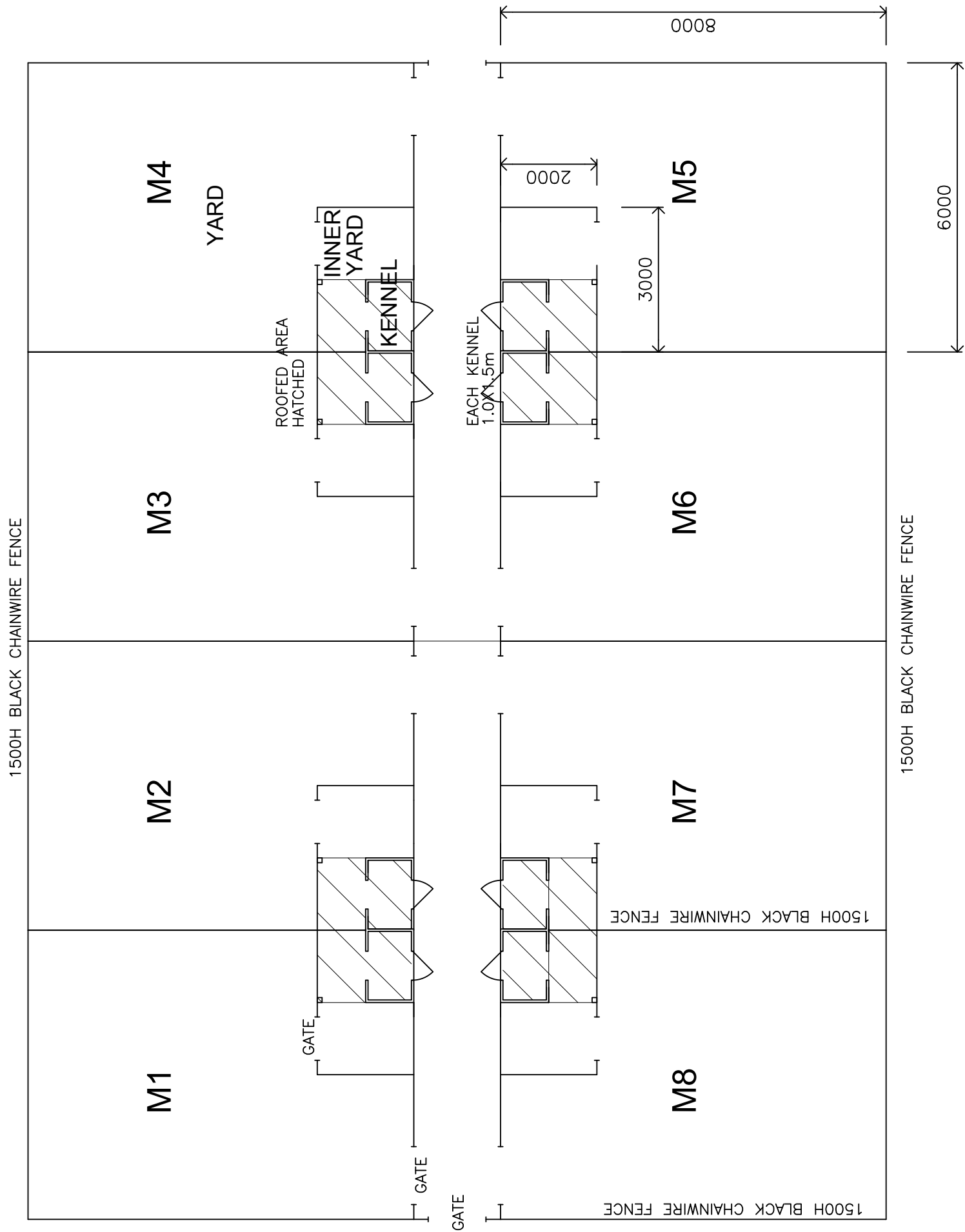


ISOMETRIC VIEW

ROCKLEY VALLEY PARK DOG BREEDING FACILITY	
MAIN KENNEL DETAIL	
	FILE 1707J SCALE 1:100 A3
Dunlop Management Pty Limited E: geofid@hps.net.au M: 0407 277 717	
C-2j	



ISOMETRIC VIEW



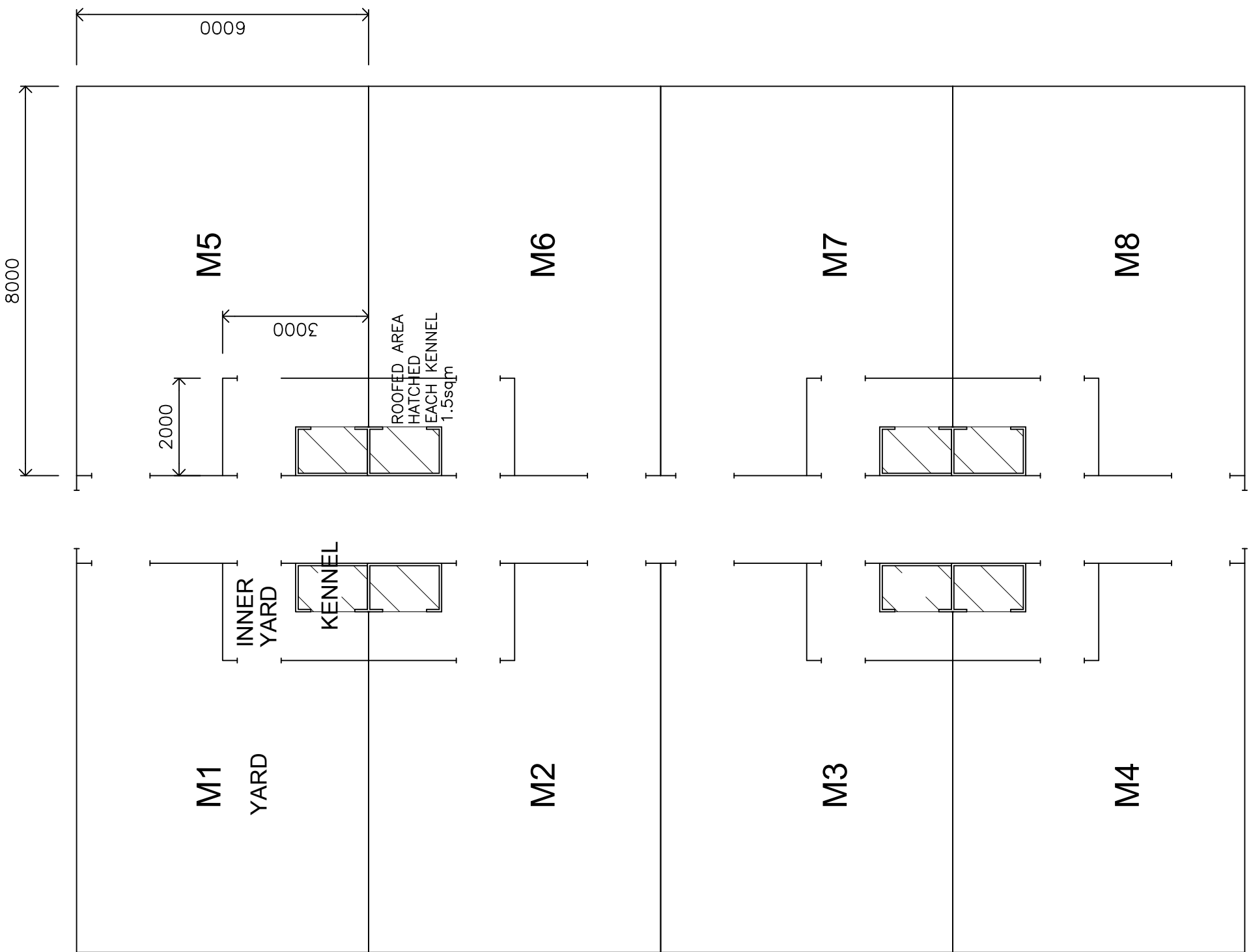
ROCKLEY VALLEY PARK
DOG BREEDING FACILITY

MATING KENNELS

0m 1.5m 3m 4.5m
FILE 1707H
SCALE 1:100 A3

Dunlop Management Pty Limited
E: geofid@hps.net.au M: 0407 277 717

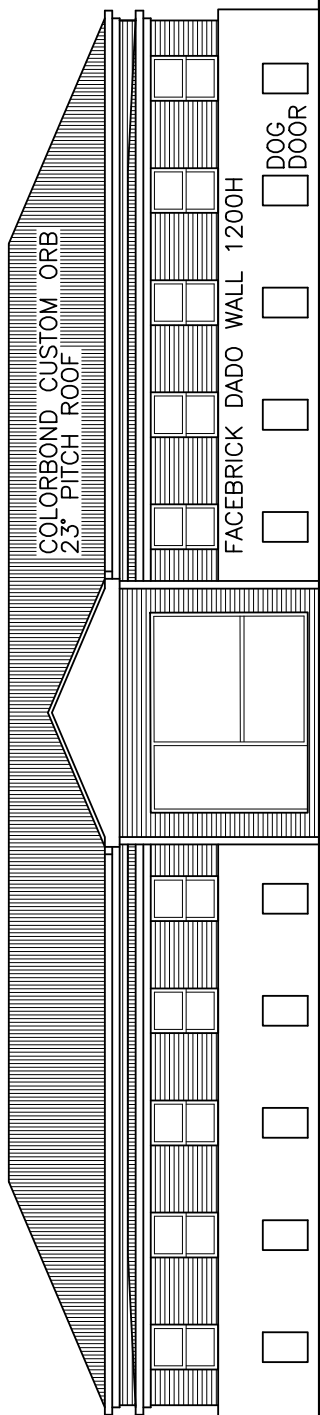
C-3h



**ROCKLEY VALLEY PARK
DOG BREEDING FACILITY**

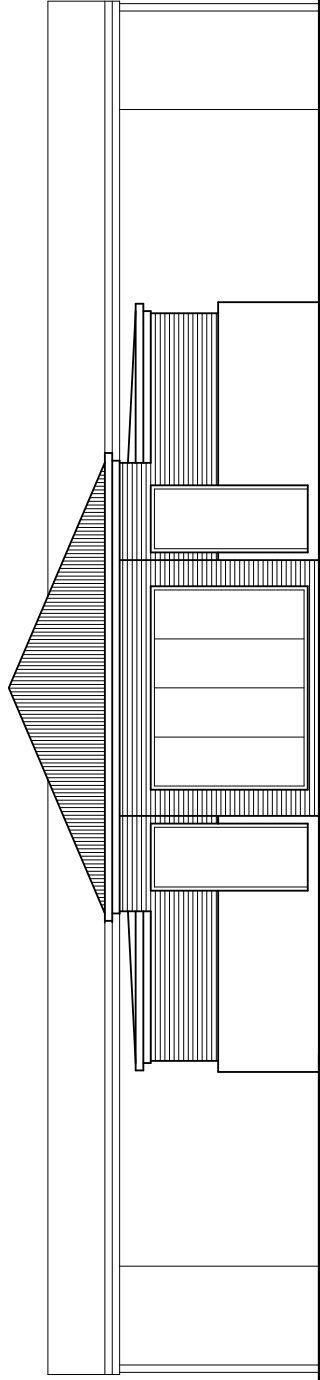
MATING KENNELS

FILE 1707F	SCALE 1:100 A3
Dunlop Management Pty Limited E: geoffd@hps.net.au M: 0407 277 717	
C-3f	

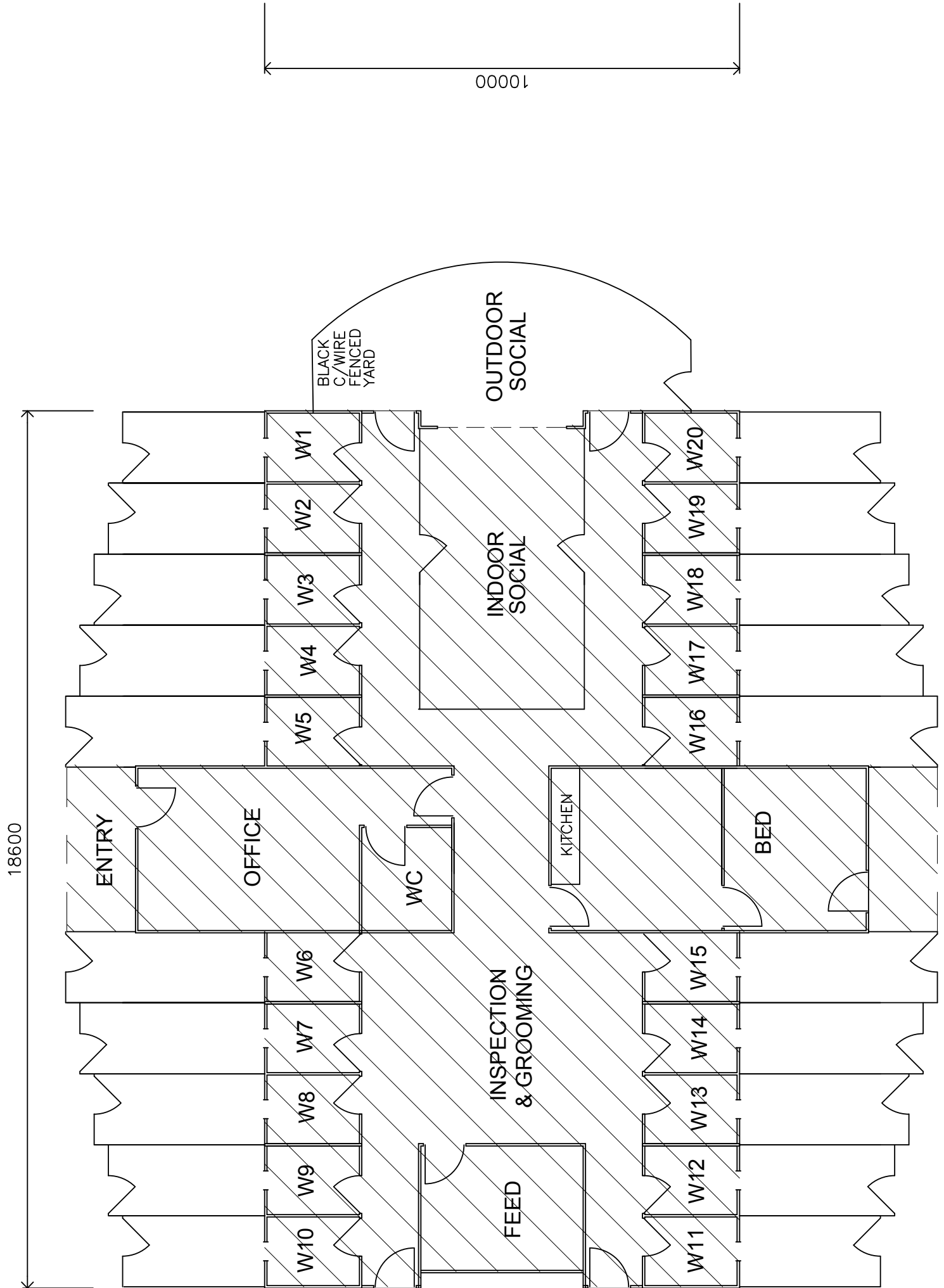


EAST & WEST ELEVATION

YARD FENCES NOT SHOWN FOR CLARITY



NORTH & SOUTH ELEVATION



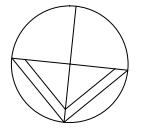
WHELPING SHED PLAN - 203sqm

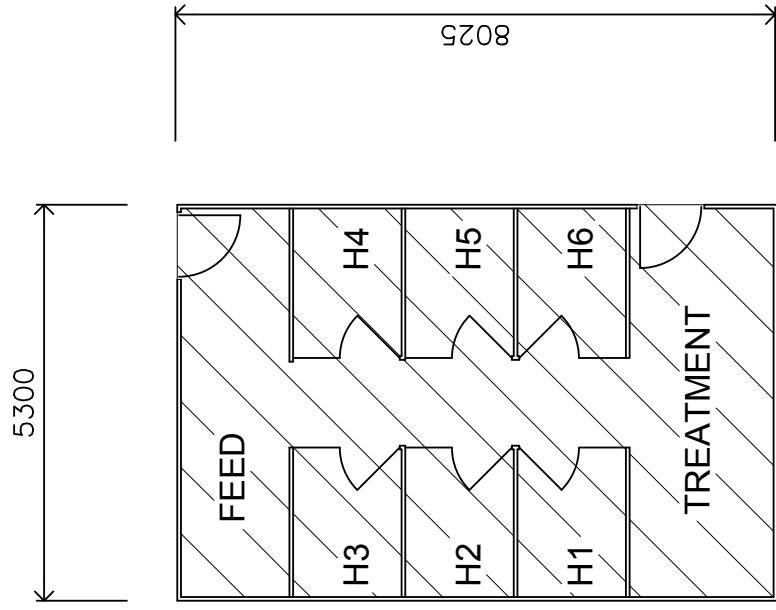
ROCKLEY VALLEY PARK
DOG BREEDING FACILITY

WHELPING

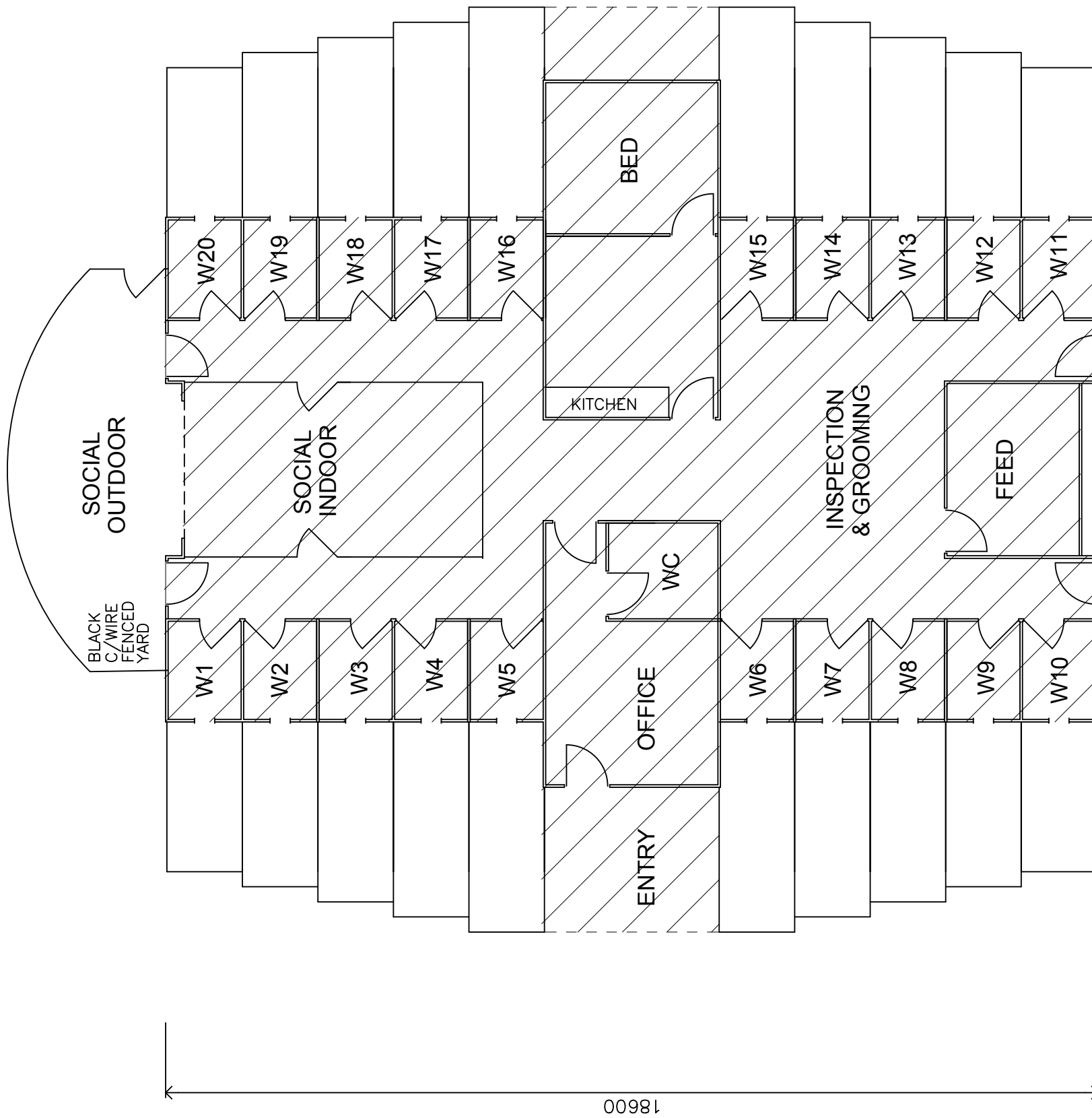
FILE 1707H
SCALE 1:100 A3

Dunlop Management Pty Limited
E: geoffd@hps.net.au M: 0407 277 717



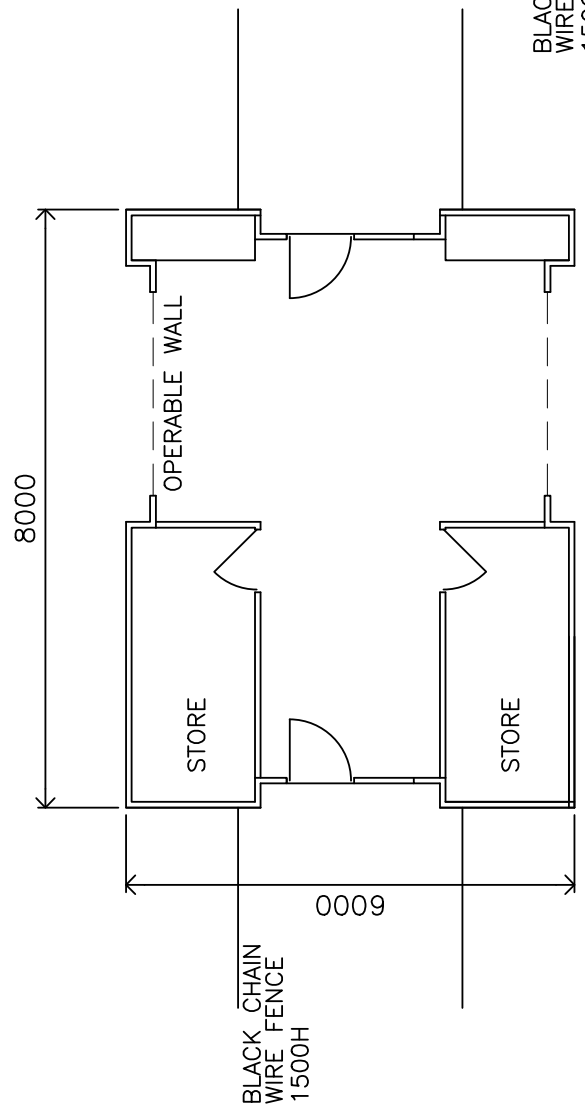
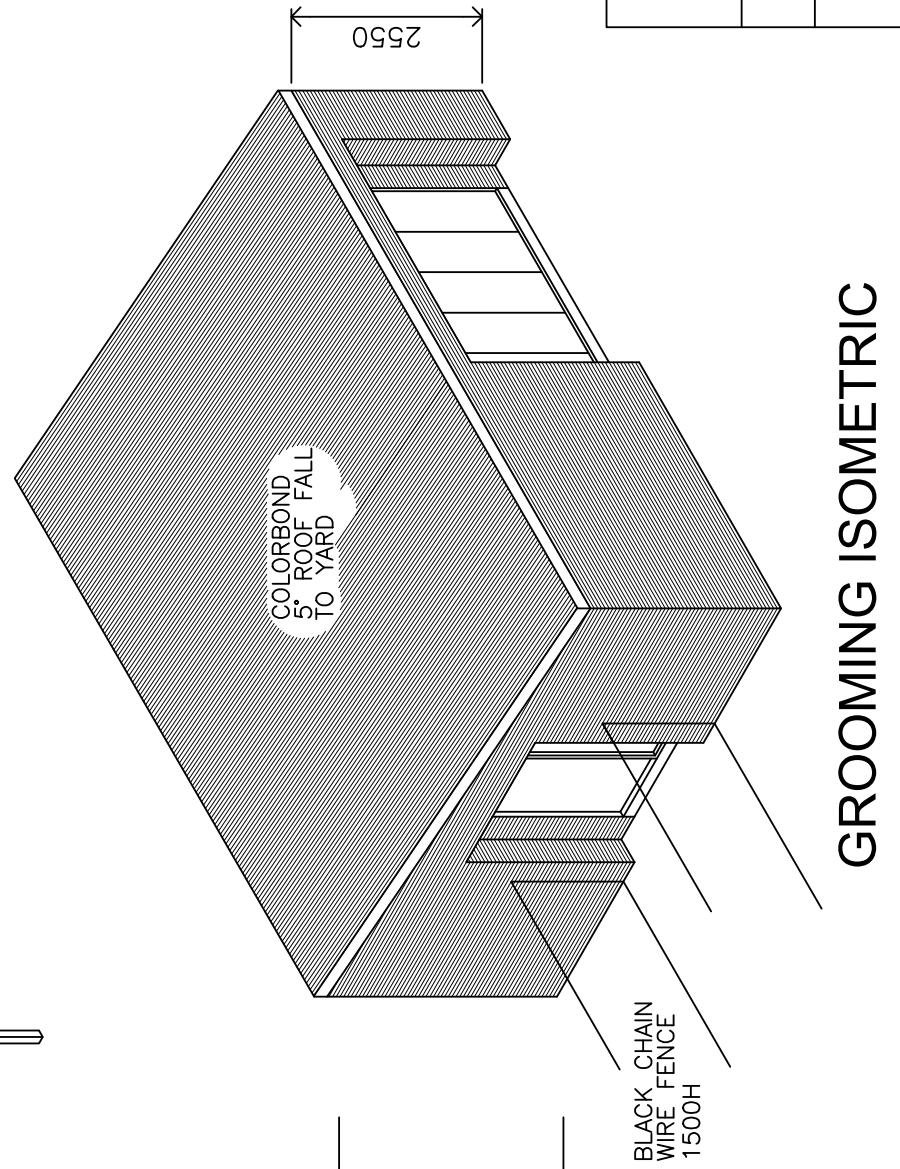
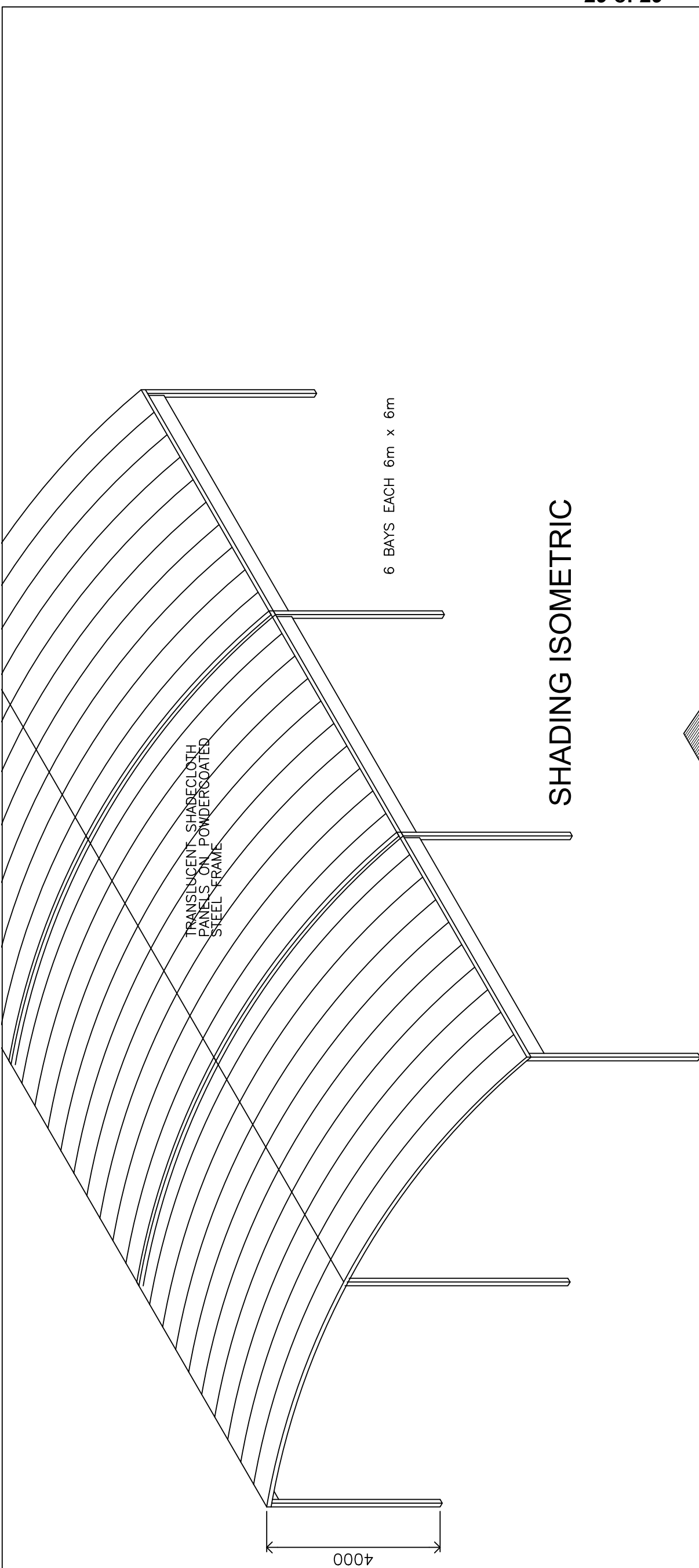


HOSPITAL 43sqm



WHELPING SHED 200sqm

	Dunlop Management Pty Limited E: geoffd@hps.net.au M: 0407 277 717	FILE 1707F SCALE 1:100 A3	C-4f
	ROCKLEY VALLEY PARK DOG BREEDING FACILITY WHELPING & HOSPITAL	0m 1.5m 3m 4.5m	



ROCKLEY VALLEY PARK DOG BREEDING FACILITY		FILE 1707H
		SCALE 1:100 A3
GROOMING & SHADING		
		C-5h Dunlop Management Pty Limited E: geoftd@hps.net.au M: 0407 277 717



20171020
15 September, 2017

Rockley Valley Park
1557 Rockley Road
Fosters Valley 2795 NSW

Attention: Mr Peter Nobbs

Dear Peter

RE: Effluent Disposal Investigation - Proposed Dog Breeding Facility
1557 Rockley Road
Fosters Valley 2795 NSW

INTRODUCTION

At your request we have carried out a Geotechnical investigation for the above project. The objectives of this work were to i) identify the subsoils generally underlying the area, and assess subsoil reactivity, ii) Design a method of on-site effluent disposal for the site in accordance with the following Current Recommended Practice (CRP) documents:

- AS/NZS 1547:2012 On-site Domestic Wastewater Management (Standards Australia 2012)
- On-site Sewage Management for Single Households (Office of Local Government 1998)
- Designing & Installing On-Site Wastewater Systems (Sydney Catchment Authority 2012)
- The New South Wales Feedlot Manual (NSW DPI / Agriculture 1998)
- NSW Animal Welfare Code of Practice No 5 - Dogs and Cats in Animal Boarding Establishments
- NSW Health Septic Tank & Collection Well Accreditation Guideline

LOCATION

The site is located on a rural lot along the Rockley Road, Fosters Valley. The lot is approximately 101.9ha in size.

Ground slopes at the proposed dwelling site are slight. The site was covered by perennial grasses and scattered trees.

SUBSURFACE CONDITIONS

One soil-observation pit was dug at the site using an excavator. The site stratigraphy at the proposed disposal site as revealed by the soil pit comprised typically of the following:

- 0mm-500mm: Light brown, slightly moist, clayey silt with very few fine gravel, weakly structured
- 500mm-100mm: Dark brown, orange, moist, silty clay loam, moderately structured
- EOP 1000mm

Groundwater was not encountered during the fieldwork.

Calare Civil Pty Ltd

ABN 41 050 057 933
170 Rankin Street
Bathurst NSW 2795

Tel: 02 6332 3343
Fax: 02 6331 8210
Email: bathurst@calare-civil.com.au
Web: www.calare-civil.com.au

S:\2017\20171020\20171020-L01-AJ.docx



Image 1: Subsoil investigation at the proposed development site

DISPOSAL OF EFFLUENT

General

For the subject development we have investigated the use of an AWTS (**either surface or subsurface irrigation** of aeration treated effluent) as a suitable method of effluent disposal. Due to the large open grassed area at the development site, surface irrigation is the clients preferred disposal method.

Restrictive Site and Soil Features

In accordance with OSMSH the most limiting site or soil feature determines the capability of the subject site for land application of effluent, or the modifications to the site required to allow land application.

Relevant sections of the CRP documents have been reviewed with respect to the subject site to determine these requirements.

Potential restrictive site & soil features located relative to the proposed disposal site are:

- Existing dwelling approximately 73m NE. Minor limitation.
- Proposed approximately 13m NE. Minor limitation.
- Closest dam approximately 132m NNE. Minor limitation.
- Drainage depression approximately 87m E. Minor limitation.
- Intermittent waterway approximately 315m E. Minor limitation.
- No bores with 500m of the proposed development. Minor limitation.
- Closest property boundary approximately 54m W. Minor limitation.
- Moderately structured Category 4 loam soil. Minor limitation.

The following buffer distances should be adhered to:

- 3m from building or property boundary at higher elevation
- 6m from building or property boundary at lower elevation
- 40m from intermittent water course or dam
- 100m from permanent surface waters (eg rivers)

Note: If using surface irrigation, building buffer should be increased to 15m on all sides. All other buffer distances remain unchanged.

Design Wastewater Flow

The proposed development will comprise a 20 kennel whelping facility.

Assumptions for calculation of design flow:

- Water saving pressure washer at 5L/minute.
- 20 bays at 3 mins each per day = 60 minutes
- 20 food prep / bowl wash at 1 minute per bowl per day = 20 minutes

The design flow is therefore calculated as follows:

$$Q_d = \text{design daily peak flow rate} = (60 + 20) \times 5\text{L/minute} = 400\text{L/day}$$

Design of AWTS System

In accordance with 'On-site Sewage Management for Single Households' the appropriate design irrigation area shall be the largest area calculated from:

1. Nitrogen Loading
2. Phosphorous Loading
3. Hydraulic Loading

1. Nitrogen Loading

Uptake of nitrogen compounds by vegetation and soil can assist in reduction of these nutrients before they pass through the root zone and potentially leach through to deep soils or groundwater.

The formula used from OSMSH Section 6 is as follows:

$$A = (C \times Q) / L_n$$

Where C = Concentration of Nitrogen mg/L

Q = Design wastewater flow rate L/d

L_n = Critical loading rate mg/m²/d

L_n is calculated from an assessment of the forage yield and associated nutrient uptake rate for grass cover at the selected effluent disposal area.

C = 27 mg/l is a typical value for AWTS Systems.

We have adopted an average figure of $L_n = 70$ mg/m²/d in accordance with NSW DPI / Agriculture, Feedlot Manual 1998.

Therefore:

C	27	Nutrient Concentration (mg/L)	Typical value for AWTS
Q	400	Treated wastewater flow rate (L/d)	20 Kennel Whelping Facility
L_n	70	Critical nutrient loading rate (mg/m ² /d)	Calculated
A	160	m²	

2. Phosphorous Loading

The components of phosphorous removal are plant uptake and soil adsorption.

The formula for calculation of effluent disposal area based on phosphorous loading is as follows:

$$A = P_{\text{generated}} / (P_{\text{adsorbed}} + P_{\text{uptake}})$$

P_a is calculated using published data for phosphorous sorption of site soils (a design phosphorous sorption of 4500kg/ha has been calculated). As per OSMSH, it is assumed that phosphorous sorption occurs up to one third of soil capacity.

$$\begin{aligned} \text{i.e } P_a &= 4500 / (3 \times 10,000) \\ &= 0.15 \text{ kg/m}^2 \text{ (amount of phosphorous that can be adsorbed over 50 years without leaching)} \end{aligned}$$

P_u is calculated using a typical value of 12mg/m²/d (NSW DPI / Agriculture, Feedlot Manual 1998).

Then:

$$\begin{aligned} P_u &= 12 \times 365 \times 50 \times 10^{-6} \\ &= 0.219 \text{ kg/m}^2 \text{ (vegetation uptake over 50 years)} \end{aligned}$$

The amount of phosphorous generated over time:

$$\begin{aligned} P_{\text{gen}} &= T_p \times Q \text{ (} T_p = 11 \text{ mg/L phosphorous concentration from OSMSH table 6)} \\ &= 11 \times 400 \times 365 \times 50 \times 10^{-6} \text{ (for 50 year design period)} \\ &= 80 \text{ kg} \end{aligned}$$

Therefore using the formula described above, the required irrigation area can be calculated:

T_p	11	Nutrient Concentration (mg/L)	Typical value for AWTS
Q	400	Treated wastewater flow rate (L/d)	20 Kennel Whelping Facility
L_p	12	Critical nutrient loading rate (mg/m ² /d)	Calculated
A	220	m²	

3. Hydraulic Loading

Using the formula in appendix 6 of OSMSH, the irrigation area based on site soil permeability can be calculated as follows:

$$A = Q_w / \text{DIR}$$

Where:

- Q_w is weekly treated effluent flow
- DIR is Design Irrigation Rate from AS/NZS1547:2012 Table M1 (28mm/week based on site soil permeability of 3m/d)

Therefore:

$$A = (7 \times 400) / 28$$

A	100	m²
----------	------------	----------------------

A water balance analysis has been carried out using the nominated area method in OSMSH. This analysis was carried out as a check to observe the balance of inputs and outputs from the system. If necessary, the disposal area may need to be increased, or wet weather storage may be needed. A conservative percolation rate of 4.00mm has been adopted for this calculation. The largest area computed from 1,2 and 3 above is used in the calculations. As revealed in the following calculations, **wet weather storage is not required**.

(Q)	l/day	400														
Design Percolation Rate(R)	mm/day	4.00	28													
Irrigation Area(A)	m ²	220	Crop Factor(C)													0.7
Parameter	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total	
Days in Month(D)	-	days	31	28	31	30	31	30	31	31	30	31	30	31	365	
Precipitation(P)	-	mm/mth	74.0	54.9	55.0	48.7	49.5	56.1	60.4	65.0	55.8	68.8	60.1	63.7	712	
Evaporation(E)	-	mm/mth	204.6	162.4	139.5	84.0	49.6	33.0	37.2	55.8	78.0	120.9	156.0	204.6	1325.6	
Crop Factor(C)	-	-	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	-	
Inputs																
Precipitation(P)	-	mm/mth	74	54.9	55	48.7	49.5	56.1	60.4	65	55.8	68.8	60.1	63.7	712	
Effluent Irrigation(W)	(Q*D)/A	mm/mth	56.4	50.9	56.4	54.5	56.4	54.5	56.4	56.4	54.5	56.4	54.5	56.4	663.6	
Inputs	(P+W)	mm/mth	130.4	105.8	111.4	103.2	105.9	110.6	116.8	121.4	110.3	125.2	114.6	120.1	1375.6	
Outputs																
Evapotranspiration(ET)	E*C	mm/mth	143.2	113.7	97.7	58.8	34.7	23.1	26.0	39.1	54.6	84.6	109.2	143.2	927.9	
Percolation(B)	R*D	mm/mth	124.0	112.0	124.0	120.0	124.0	120.0	124.0	124.0	120.0	124.0	120.0	124.0	1460.0	
Outputs	(ET+B)	mm/mth	267.2	225.7	221.7	178.8	158.7	143.1	150.0	163.1	174.6	208.6	229.2	267.2	2387.9	
Storage(S)	(P+W)-(ET+B)	mm/mth	-136.9	-119.9	-110.3	-75.6	-52.9	-32.5	-33.3	-41.7	-64.3	-83.5	-114.6	-147.2	-	
Monthly Storage Req'd		mm/mth	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-	
Cumulative Storage(M)	-	mm	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-	
Wet weather storage not required																
Wet Weather Storage		(V) largest M	mm	0.0												
			m3	0.0												

The required area for irrigation at this site is therefore based on Phosphorous loading. In summary adopt a subsurface irrigation area of 220m².

PREPARATION AND MAINTENANCE OF DISPOSAL AREAS

General

We note that the disposal area should not be constructed in an area subject to stormwater run-off or ground water concentrations.

The upstream flow of stormwater run-off should be diverted from the disposal area.

The disposal area is to be stock and vehicle free.

Excavation Techniques

The following excavation techniques recommended in AS1547:2012 shall be observed so as to minimize the risk of damage to the soil.

- Plan to excavate only when the weather is fine.
- During wet seasons or when construction cannot be delayed until the weather becomes fine, smeared soil surfaces may be raked to reinstate a more natural soil surface, taking care to use fine tines and only at the surface.

Surface Irrigation:

The surface irrigation disposal field shall be configured with reference to AS/NZ 1547:2012 Section M8.

Sprinklers used for surface irrigation shall:

- Distribute the effluent through coarse spray heads suitable for use with effluent;
- Distribute the effluent evenly;
- Not produce fine mists or aerosols; and
- Comply with setback requirements.

Main delivery lines are to be buried or covered by a minimum of 100mm of soil to prevent freezing. The field is to be free draining to prevent freezing in surface delivery lines and couplings.

Subsurface Irrigation:

Care should be taken to plant the disposal area with moisture tolerant shrubs or shallow-rooting ground cover that are water tolerant, appropriate for the site conditions and planted at an appropriate density for effective evapotranspiration (plants suitable for growing in wet soils can be recommended by local nurseries)

It is recommended that a fescue/fescue blend (Temperate and Mediterranean blend varieties) or similar be planted on the disposal area, which has year-round active growth, enhancing nutrient uptake (Ref. NSW Feedlot Manual 1998, NSW Department of Agriculture). Other recommended species providing similar data include Ryegrass and Lucerne.

Further Considerations

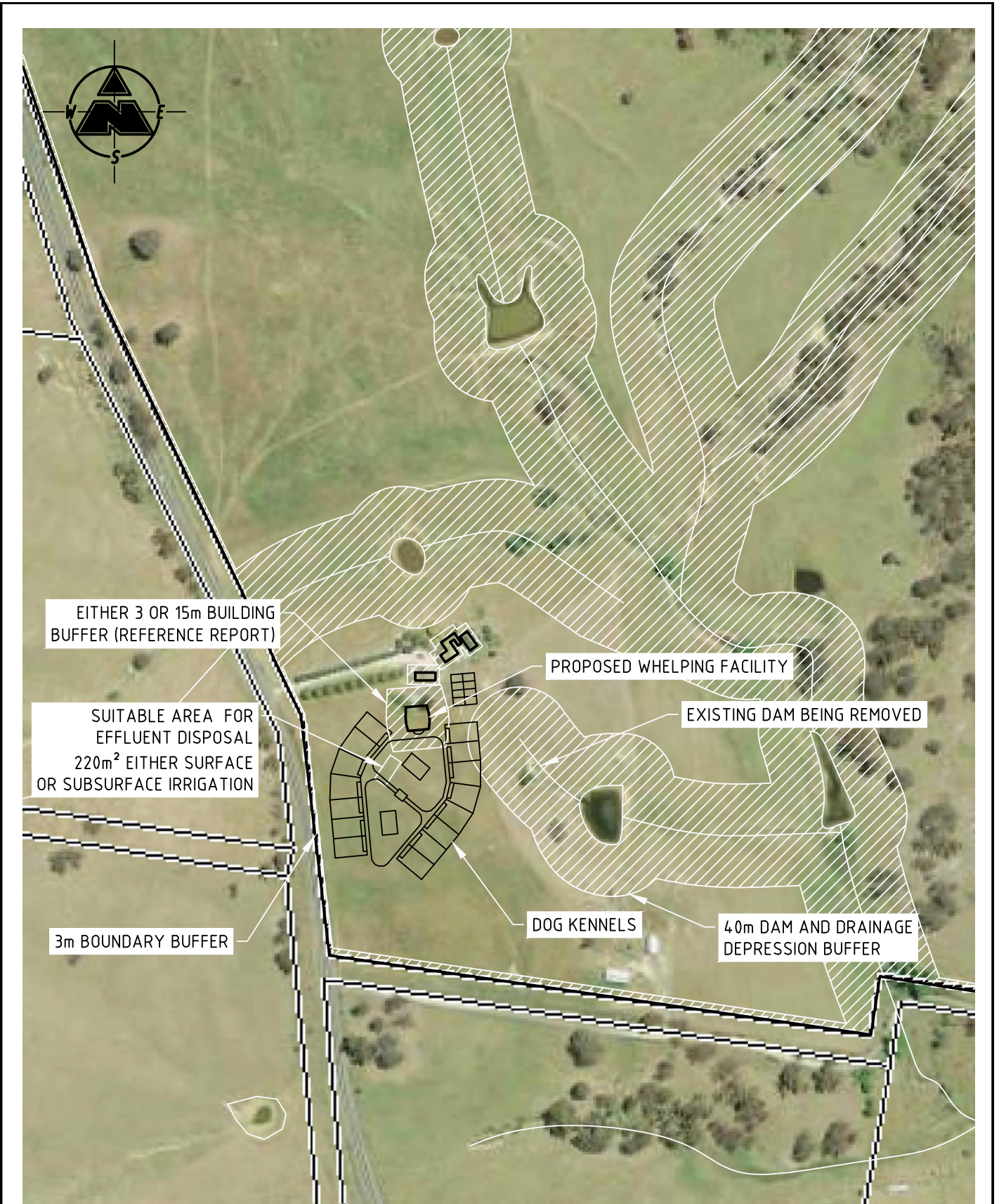
The implementation of wastewater and nutrient reduction initiatives such as the following will further improve the performance of the system:

- Use of low phosphate/low SAR detergents, and low quantities where practicable.
- Water saving shower heads, taps and appliances.
- Consideration of 3/6 litre dual flush toilets.
- Avoid placing fats, oils or food waste into the system.
- Reducing peak hydraulic loading by reducing shower time and washing laundry over several days as opposed to completing multiple cycles in one day

Yours faithfully,
CALARE CIVIL PTY LTD



Sean Johnson
B.E. Grad IE Aust.



LOCATION OF PROPOSED DEVELOPMENT AND DISPOSAL AREA ARE INDICATIVE ONLY.
 FINAL LOCATION DETERMINED BY INSTALLER PENDING SUITABILITY.

REFERENCE

● TEST HOLE LOCATION

SITE PLAN

SCALE 1:4000

DWG. No.: E1	Rev.: A	Drawn: AJ
		Date: 15-09-17
JOB No.: 17.1020		Scales: AS SHOWN
		Approved:

EFFLUENT DISPOSAL REPORT
 1557 ROCKLEY ROAD
 FOSTERS VALLEY NSW 2795
 ROCKLEY VALLEY PARK

CALARECMI
 CONSULTING ENGINEERS

170 RANKIN STREET,
 BATHURST, N.S.W. 2795
 Tel: (02) 63323343 Fax: (02) 63318210



Proposed Animal Breeding Facility
1557 Rockley Road, Fosters Valley NSW
Acoustical Assessment

REPORT R170423R1

Revision 0

Prepared for:

Rockley Valley Pty Ltd
c/- DFP Planning Pty Ltd
11 Dartford Road
Thornleigh NSW

12 October 2017



Proposed Animal Breeding Facility
1557 Rockley Road, Fosters Valley
Acoustical Assessment

PREPARED BY:

Rodney Stevens Acoustics Pty Ltd

Telephone: 61 2 9943 5057 Facsimile 61 2 9475 1019
Email: info@rodneystevensacoustics.com.au
Web: www.rodneystevensacoustics.com.au

DISCLAIMER

Reports produced by Rodney Stevens Acoustics Pty Ltd are prepared for a particular Client's objective and are based on a specific scope, conditions and limitations, as agreed between Rodney Stevens Acoustics and the Client. Information and/or report(s) prepared by Rodney Stevens Acoustics may not be suitable for uses other than the original intended objective. No parties other than the Client should use any information and/or report(s) without first conferring with Rodney Stevens Acoustics.

The information and/or report(s) prepared by Rodney Stevens Acoustics should not be reproduced, presented or reviewed except in full. Before passing on to a third party any information and/or report(s) prepared by Rodney Stevens Acoustics, the Client is to fully inform the third party of the objective and scope and any limitations and conditions, including any other relevant information which applies to the material prepared by Rodney Stevens Acoustics. It is the responsibility of any third party to confirm whether information and/or report(s) prepared for others by Rodney Stevens Acoustics are suitable for their specific objectives.

DOCUMENT CONTROL

Reference	Status	Date	Prepared	Checked	Authorised
R170423R1	Revision 0	12 October 2017	Desmond Raymond	Camilo Castillo	Rodney Stevens



TABLE OF CONTENTS

1	INTRODUCTION	4
2	PROJECT OVERVIEW	4
	2.1 Proposed Development	4
3	EXISTING NOISE ENVIRONMENT	5
	3.1 Noise Results	5
4	ASSESSMENT CRITERIA	5
	4.1 Operational Noise Criteria	5
	4.2 Sleep Disturbance Criteria	7
5	NOISE ASSESSMENT	8
6	CONCLUSION	9
Table 3-1	Measured Existing Noise Levels Corresponding Assessment Time Periods	5
Table 4-1	Operational Noise Criteria	7
Table 5-1	Predicted Noise Levels at Sensitive Receivers	8
Figure 2-1	Project Area and Surrounding Environment	4



1 INTRODUCTION

Rodney Stevens Acoustics Pty Ltd (RSA) has been engaged by Rockley Valley Park to prepare a Noise Assessment for the Proposed Animal Breeding Facility to be located at 1557 Rockley Road, Fosters Valley NSW.

Rockley Valley Park Pty Ltd requires a statement addressing animal noise to accompany the Development Application (DA) for the proposal. The primary purpose of the assessment is to determine the noise impact from the operation of the Proposed Animal Breeding Facility to the nearest residential dwellings and where required provide in-principle design advice to achieve the requirements of acoustic amenity.

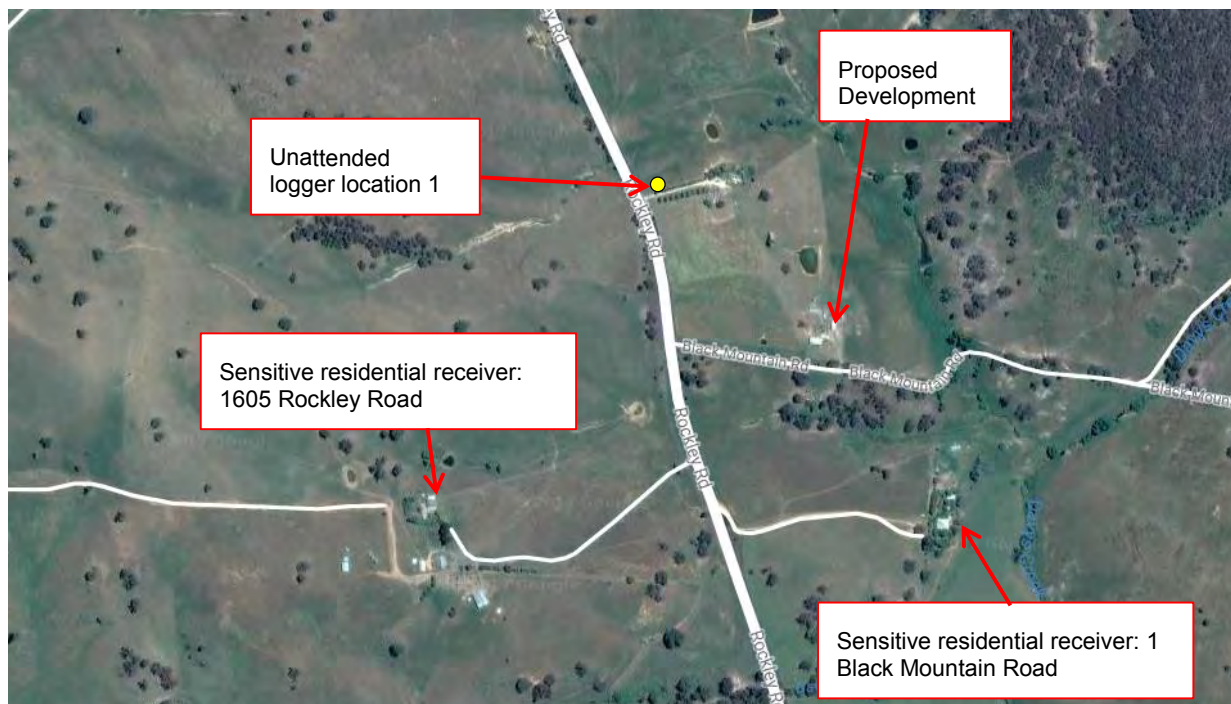
Specific acoustic terminology is used in this report. An explanation of common acoustic terms is provided in Appendix A.

2 PROJECT OVERVIEW

2.1 Proposed Development

The proposed development is to be located at 1557 Rockley Road, Fosters Valley NSW. The project area and its surrounding environment are presented in Figure 2-1 below.

Figure 2-1 Project Area and Surrounding Environment



Aerial image courtesy of © 2017 nearmap ltd

The nearest residential receiver to be affected by the noise emissions from the proposed animal breeding development is identified to be 1 Black Mountain Road to the southeast of the site. Second nearest residence is to the southwest is identified as 1605 Rockley Road.



3 EXISTING NOISE ENVIRONMENT

Unattended noise monitoring for the development was carried out between 25 September and 27 September 2017 at the location shown in Figure 2-1.

The location was selected after a detailed inspection of the project area giving consideration to other noise sources that may influence the readings, the proximity of noise-sensitive receivers and security issues for the noise monitoring device and gaining permission for access from the residents or landowners. The results of the ambient noise monitoring are shown in Table 3-1.

Instrumentation for the survey comprised of a RION NL-42 Environmental Noise Logger (serial number 546394) fitted with a microphone windshield. Calibration of the logger was checked prior to and following measurements. Drift in calibration did not exceed ± 0.5 dBA. All equipment carried appropriate and current NATA (or manufacturer) calibration certificates.

3.1 Noise Results

From the measured noise levels, the results have been summarised and presented in Table 3-1. These results represent the current Rated Background Noise Levels (RBL) at the monitoring locations. The monitored baseline noise levels are detailed in Table 3-1.

Table 3-1 Measured Existing Noise Levels Corresponding Assessment Time Periods

Location	Measurement Descriptor	Measured Noise Level – dBA re 20 μ Pa		
		Daytime 7.00 am – 6.00 pm	Evening 6.00 pm – 10.00 pm	Night Time 10.00 pm – 7.00 am
Location 1	L _{Aeq} ¹	49	46	44
	RBL (Background) ²	25	16	23

Note 1: The L_{Aeq} is essentially the average sound level. It is defined as the steady sound level that contains the same amount of acoustical energy as a given time-varying sound.

Note 2: The RBL noise level is representative of the average minimum background sound level (in the absence of the source under consideration), or simply the background level.

4 ASSESSMENT CRITERIA

4.1 Operational Noise Criteria

Responsibility for the control of noise emissions in New South Wales is vested in Local Government and the EPA.

The EPA oversees the Commercial Noise Policy (INP) January 2000 which provides a framework and process for deriving noise criteria. The INP criteria for Commercial noise sources have two (2) components:

- Controlling the intrusive noise impacts for residents and other sensitive receivers in the short term; and
- Maintaining noise level amenity for particular land uses for residents and sensitive receivers in other land uses.



Intrusiveness Criterion

For assessing intrusiveness, the background noise generally needs to be measured. The intrusiveness criterion essentially means that the equivalent continuous noise level (LAeq) of the source should not be more than 5 dB(A) above the measured Rated Background Level (RBL), over any 15 minute period.

Amenity Criterion

The amenity criterion is based on land use and associated activities (and their sensitivity to noise emission). The cumulative effect of noise from industrial sources needs to be considered in assessing the impact. The criteria relate only to other industrial-type noise sources and do not include road, rail or community noise. The existing noise level from industry is measured. If it approaches the criterion value, then noise levels from new industrial-type noise sources, (including air-conditioning mechanical plant) need to be designed so that the cumulative effect does not produce total noise levels that would significantly exceed the criterion.

Area Classification

The INP characterises the “Rural” which means an area with an acoustical environment that is dominated by natural sounds, having little or no road traffic. Such areas may include:

- an agricultural area, except those used for intensive agricultural activities
- a rural recreational area such as resort areas
- a wilderness area or national park
- an area generally characterised by low background noise levels (except in the immediate vicinity of industrial noise sources)

This area may be located in either a **rural, rural-residential or residential zone**, as defined on an LEP or other planning instrument, and also includes mixed land use zones such as mixed commercial and residential uses.

Project Specific Noise Levels

Having defined the area type, the processed results of the attended noise monitoring have been used to determine project specific noise criteria. The intrusive and amenity criteria for nearby residential premises are presented in Table 4-1. These criteria are nominated for the purpose of assessing potential noise impacts from the proposed development.

In this case, the ambient noise environment is not controlled by industrial noise sources and therefore the amenity criteria become equal to the Recommended Amenity Criteria for Residences in a Rural Area (ie ANL or Acceptable Noise Level). For each assessment period, the lower (ie the more stringent) of the amenity or intrusive criteria are adopted.



These are shown in bold text in Table 4-1.

Table 4-1 Operational Noise Criteria

Receiver	Time of Day	ANL ¹ L _{Aeq} (15min)	Measured		Criteria for New Sources	
			RBL ² L _{A90} (15min)	L _{Aeq} Noise Level)	Intrusive L _{Aeq} (15min)	Amenity ³ L _{Aeq} (15min)
Residential	Day	50	25	49	30	50
	Evening	45	16	46	21	45
	Night	40	23	44	28	40

Note 1: ANL = "Acceptable Noise Level" for residences in Rural Areas.

Note 2: RBL = "Rating Background Level".

Note 3: Assuming existing noise levels are unlikely to decrease in the future

Note 4: Current measured RBL meets the ANL requirement

In summary, the project specific noise level for the assessment of (continuous L_{Aeq}(15minute)) operational noise emissions between 7:00 am and 6:00 pm, based upon the procedures documented within the NSW INP, is **30 dBA** at the residential receivers, evening between 6:00 pm and 10:00 pm is **21 dBA** and at night-time, between 10:00 pm and 7:00 am, the project specific noise limit is **28 dBA**.

4.2 Sleep Disturbance Criteria

In order to minimise the risk of sleep disturbance from short duration noise events associated with bus movements on site during night-time hours, the *Environmental Noise Control Manual* (EPA 1985) recommends that:

The LA1 (60second) noise level outside a bedroom window should not exceed the LA90 background noise level by more than 15 dBA during night-time period (10.00 pm to 7.00 am). The LA1 (60second) noise level may conservatively be estimated by the typical maximum level of noise emission.

The Application Notes for the NSW INP state that whilst the abovementioned criterion is not ideal, in the absence of any more suitable alternative, the EPA will continue its use as a guide to determine the likelihood of sleep disturbance.

The *Environmental Criteria for Road Traffic Noise* (Environment Protection Authority NSW 1999) provides additional guidance as to the likelihood of sleep disturbance and points out the following:

"There is no universally accepted criterion governing the likelihood of sleep disturbance. In other words, at the current level of understanding, it is not possible to establish absolute noise level criteria that would correlate to an acceptable level of sleep disturbance (for all or even a majority of people)."

The NSW Roads and Maritime Service Authority's *Environmental Noise Management Manual* (ENMM), addresses sleep disturbance in a similar fashion. With respect to road traffic noise, it is required to assess the characteristics of so-called "maximum noise events" at nearest residential receivers, namely their occurrence throughout the night-time period (ie how many on an hourly basis) and their magnitudes. A "maximum noise event" is defined as any single event where the L_{Amax} level exceeds the L_{Aeq}(1hr) level by more than 15 dBA.



The *NSW Road Noise Policy* (DECCW, March 2011) provides a discussion on research into sleep disturbance and makes reference to the EPA and RMS documented guidelines discussed above. The new policy concludes that ongoing research into sleep disturbance will continue to be reviewed.

The sleep disturbance guideline provides the most relevant basis available upon which to assess the potential impacts of noise events associated with truck movements on private property. As such, this criterion is recommended to be adopted for the assessment of short duration vehicular noise events associated with the operation of the proposed development.

For planning purposes the assumed level of background noise for the night-time period is taken to be the night-time Rating Background Level, as given in Table 3-1 resulting in a sleep disturbance criterion of:

LA1(60second) **43 (28 + 15) dBA** at surrounding sensitive receivers.

5 NOISE ASSESSMENT

The following sections summarises the results of animal noise predicted levels at the surrounding residential receivers due to the operation of the proposed breeding facility.

It is understood that the proposed breeding facility will breed dogs on site. As this is a breeding facility, it is envisaged that the dogs will be in a comfortable environment without barking excessively. With behavioral training for the dogs and constant supervision the dogs can be controlled allowing the dogs to sleep throughout the night and be engaged in activities during the daytime.

Calculations of the amount of noise transmitted to the identified sensitive receiver from the proposed kennel have been made based on previous measurements and noise data held by Rodney Stevens Acoustics.

Previous data acquired by Rodney Stevens Acoustics suggested that the loudest bark can produce a sound power level of 85 dB. With 60 dogs barking at the same time, a total sound power level of 100 dB is expected to be experienced at the facility.

The calculated noise impact from the use of the development including the dogs engaged in outdoor activities and minimal activities at night are presented in Table 5-1 below. The noise prediction takes into account attenuation provided by the existing earth mounds near the site and site elevations.

Table 5-1 Predicted Noise Levels at Sensitive Receivers

Receiver Location	Predicted L _{Aeq(15min)} Noise Level – dB(A)	Noise Criterion at Receiver Location – dB(A)	Compliance (Yes/No)
1 Black Mountain Road			
Day Time	16	30	Yes
Evening	16	21	Yes
Night Time	7	28	Yes



1605 Rockley Road			
Day Time	10	30	Yes
Evening	10	21	Yes
Night Time	1	28	Yes

The predicted noise levels at the residential receivers shows compliance to the established noise criteria.

6 CONCLUSION

Rodney Stevens Acoustics has conducted Noise Impact Assessment for the Proposed Animal Breeding Facility located at 1557 Rockley Road, Fosters Valley NSW. The assessment has predicted the noise impact to the nearest residential dwellings. The noise modelling resulted in compliance to the NSW EPA INP requirements. However, to maintain good community relationship with the neighboring properties, RSA recommends a complaint handling procedure. The complaint handling procedure is to include:

This protocol is intended to ensure that the issues are addressed and that appropriate corrective action is identified and implemented as necessary:

- The manager will record all verbal and telephone complaints in writing including details of the circumstance leading to the complaint and all subsequent actions.
- The manager and owner will investigate the complaint in order to determine whether a criterion exceedance has occurred or whether noise have occurred unnecessarily.
- If excessive or unnecessary noise have been caused, corrective action will be planned and implemented by the project manager.
- Complainants will be informed by the manager that their complaints are being addressed, and (if appropriate) that corrective action is being taken.

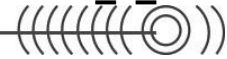
Complainants will be informed of the implementation of the corrective action that has been taken to mitigate the adverse effects.

RSA recommends planning approval be granted on the basis of acoustics.

Approved:-

Rodney O. Stevens

Rodney Stevens - MAAS



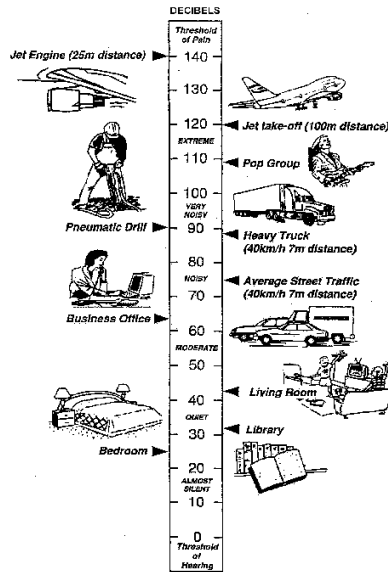
Appendix A – Acoustic Terminology

A-weighted pressure	sound	The human ear is not equally sensitive to sound at different frequencies. People are more sensitive to sound in the range of 1 to 4 kHz (1000 – 4000 vibrations per second) and less sensitive to lower and higher frequency sound. During noise measurement an electronic ' <i>A-weighting</i> ' frequency filter is applied to the measured sound level <i>dB(A)</i> to account for these sensitivities. Other frequency weightings (B, C and D) are less commonly used. Sound measured without a filter is denoted as linear weighted dB(linear).
Ambient noise		The total noise in a given situation, inclusive of all noise source contributions in the near and far field.
Community annoyance		Includes noise annoyance due to: <ul style="list-style-type: none"> ▪ character of the noise (e.g. sound pressure level, tonality, impulsiveness, low-frequency content) ▪ character of the environment (e.g. very quiet suburban, suburban, urban, near industry) ▪ miscellaneous circumstances (e.g. noise avoidance possibilities, cognitive noise, unpleasant associations) ▪ human activity being interrupted (e.g. sleep, communicating, reading, working, listening to radio/TV, recreation).
Compliance		The process of checking that source noise levels meet with the noise limits in a statutory context.
Cumulative noise level		The total level of noise from all sources.
Extraneous noise		Noise resulting from activities that are not typical to the area. Atypical activities may include construction, and traffic generated by holiday periods and by special events such as concerts or sporting events. Normal daily traffic is not considered to be extraneous.
Feasible and reasonable measures		Feasibility relates to engineering considerations and what is practical to build; reasonableness relates to the application of judgement in arriving at a decision, taking into account the following factors: <ul style="list-style-type: none"> ▪ Noise mitigation benefits (amount of noise reduction provided, number of people protected). ▪ Cost of mitigation (cost of mitigation versus benefit provided). ▪ Community views (aesthetic impacts and community wishes).



- Noise levels for affected land uses (existing and future levels, and changes in noise levels).

Impulsiveness		Impulsive noise is noise with a high peak of short duration or a sequence of these peaks. Impulsive noise is also considered annoying.
Low frequency		Noise containing major components in the low-frequency range (20 to 250 Hz) of the frequency spectrum.
Noise criteria		The general set of non-mandatory noise levels for protecting against intrusive noise (for example, background noise plus 5 dB) and loss of amenity (e.g. noise levels for various land use).
Noise level (goal)		A noise level that should be adopted for planning purposes as the highest acceptable noise level for the specific area, land use and time of day.
Noise limits		Enforceable noise levels that appear in conditions on consents and licences. The noise limits are based on achievable noise levels, which the proponent has predicted can be met during the environmental assessment. Exceedance of the noise limits can result in the requirement for either the development of noise management plans or legal action.
Performance-based goals		Goals specified in terms of the outcomes/performance to be achieved, but not in terms of the means of achieving them.
Rating Level (RBL)	Background	The rating background level is the overall single figure background level representing each day, evening and night time period. The rating background level is the 10 th percentile min L_{A90} noise level measured over all day, evening and night time monitoring periods.
Receptor		The noise-sensitive land use at which noise from a development can be heard.
Sleep disturbance		Awakenings and disturbance of sleep stages.
Sound (dB)	and decibels	Sound (or noise) is caused by minute changes in atmospheric pressure that are detected by the human ear. The ratio between the quietest noise audible and that which should cause permanent hearing damage is a million times the change in sound pressure. To simplify this range the sound pressures are logarithmically converted to decibels from a reference level of 2×10^{-5} Pa.
		The picture below indicates typical noise levels from common noise sources.



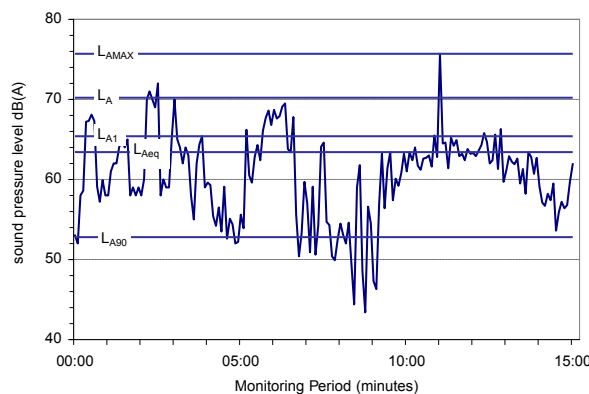
dB is the abbreviation for decibel – a unit of sound measurement. It is equivalent to 10 times the logarithm (to base 10) of the ratio of a given sound pressure to a reference pressure.

Sound Power Level (SWL) The sound power level of a noise source is the sound energy emitted by the source. Notated as SWL, sound power levels are typically presented in *dB(A)*.

Sound Pressure Level (SPL) The level of noise, usually expressed as SPL in *dB(A)*, as measured by a standard sound level meter with a pressure microphone. The sound pressure level in *dB(A)* gives a close indication of the subjective loudness of the noise.

Statistical noise levels Noise levels varying over time (e.g. community noise, traffic noise, construction noise) are described in terms of the statistical exceedance level.

A hypothetical example of A weighted noise levels over a 15 minute measurement period is indicated in the following figure:



Key descriptor

- LAmx Maximum recorded noise level.




- LA1 The noise level exceeded for 1% of the 15 minute interval.
- LA10 Noise level present for 10% of the 15 minute interval. Commonly refer
- LAeq Equivalent continuous (energy average) A-weighted sound pressure level
- LA90 Noise level exceeded for 90% of time (background level). The average

Threshold The lowest sound pressure level that produces a detectable response (in an instrument/person).

Tonality Tonal noise contains one or more prominent tones (and characterised by a distinct frequency components) and is considered more annoying. A 2 to 5 dBA penalty is typically applied to noise sources with tonal characteristics.



Appendix B – Calibration Certificates



**Acoustic
Research
Labs Pty Ltd**

Level 7 Building 2 423 Pennant Hills Rd
Pennant Hills NSW AUSTRALIA 2120
Ph: +61 2 9484 0800 A.B.N. 65 160 399 119
www.acousticresearch.com.au

Sound Level Meter
IEC 61672-3:2006

Calibration Certificate

Calibration Number C14662

Client Details Rodney Stevens Acoustics Pty Ltd
1 Majura Close
St Ives Chase NSW 2075

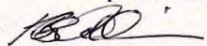
Equipment Tested/ Model Number : Rion NL-42EX
Instrument Serial Number : 00546394
Microphone Serial Number : 152907
Pre-amplifier Serial Number : 46605

Pre-Test Atmospheric Conditions
Ambient Temperature : 23°C
Relative Humidity : 51.3%
Barometric Pressure : 99.81kPa

Post-Test Atmospheric Conditions
Ambient Temperature : 22.9°C
Relative Humidity : 51.2%
Barometric Pressure : 99.7kPa

Calibration Technician : Corey Stewart
Calibration Date : 26/11/2014

Secondary Check: Luke Hudson
Report Issue Date : 28/11/2014

Approved Signatory : 

Ken Williams


Clause and Characteristic Tested	Result	Clause and Characteristic Tested	Result
10: Self-generated noise	Pass	14: Level linearity on the reference level range	Pass
11: Acoustical tests of a frequency weighting	Pass	15: Level linearity incl. the level range control	Pass
12: Electrical tests of frequency weightings	Pass	16: Toneburst response	Pass
13: Frequency and time weightings at 1 kHz	Pass	17: Peak C sound level	Pass
		18: Overload Indication	Pass

The sound level meter submitted for testing has successfully completed the class 2 periodic tests of IEC 61672-3:2006, for the environmental conditions under which the tests were performed.

However, no general statement or conclusion can be made about conformance of the sound level meter to the full requirements of IEC 61672-1:2002 because evidence was not publicly available, from an independent testing organisation responsible for pattern approvals, to demonstrate that the model of sound level meter fully conformed to the requirements in IEC 61672-1:2002 and because the periodic tests of IEC 61672-3:2006 cover only a limited subset of the specifications in IEC 61672-1:2002.

Least Uncertainties of Measurement -			
Acoustic Tests		Environmental Conditions	
31.5 Hz to 8kHz	±0.120dB	Temperature	±0.3°C
12.5kHz	±0.165dB	Relative Humidity	±4.1%
16kHz	±0.245dB	Barometric Pressure	±0.1kPa
Electrical Tests			
31.5 Hz to 20 kHz	±0.121dB		

All uncertainties are derived at the 95% confidence level with a coverage factor of 2.



NATA
WORLD RECOGNISED
ACCREDITATION

This calibration certificate is to be read in conjunction with the calibration test report.

Acoustic Research Labs Pty Ltd is NATA Accredited Laboratory Number 14172.
Accredited for compliance with ISO/IEC 17025.

The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/National standards.

PAGE 1 OF 1

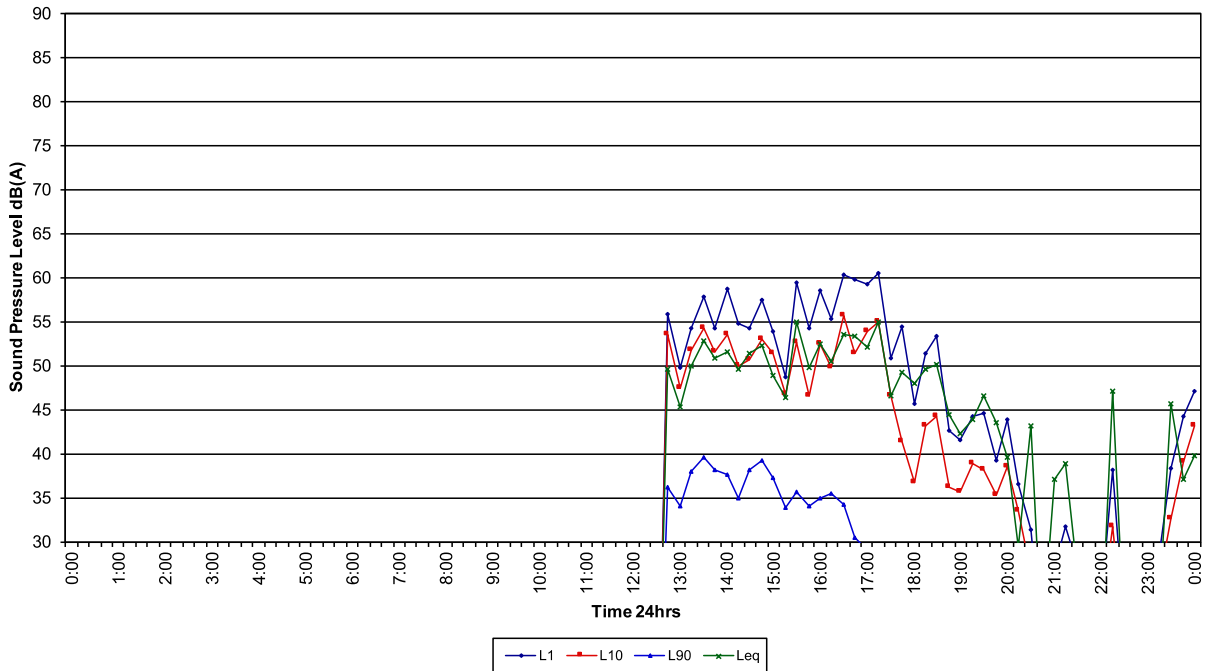


Appendix C – Unattended Noise Monitoring Results

Ambient Noise Monitoring

1557 Rockley Road

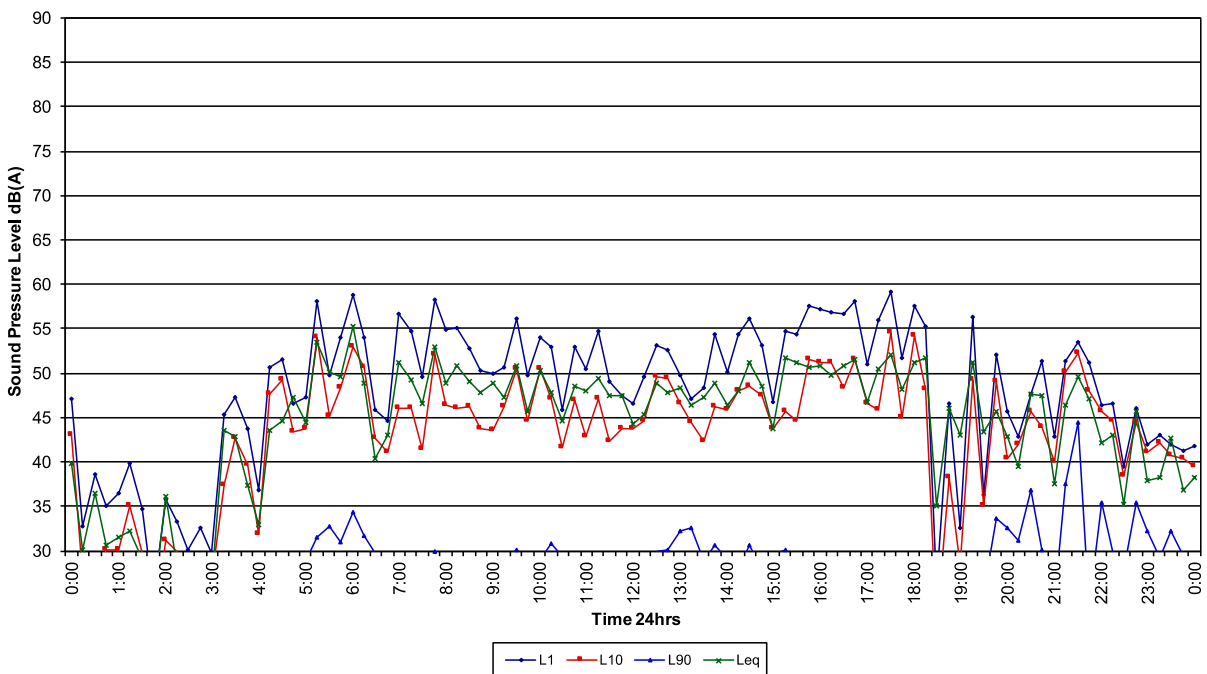
Monday 25/9/17



Ambient Noise Monitoring

1557 Rockley Road

Tuesday 26/9/17

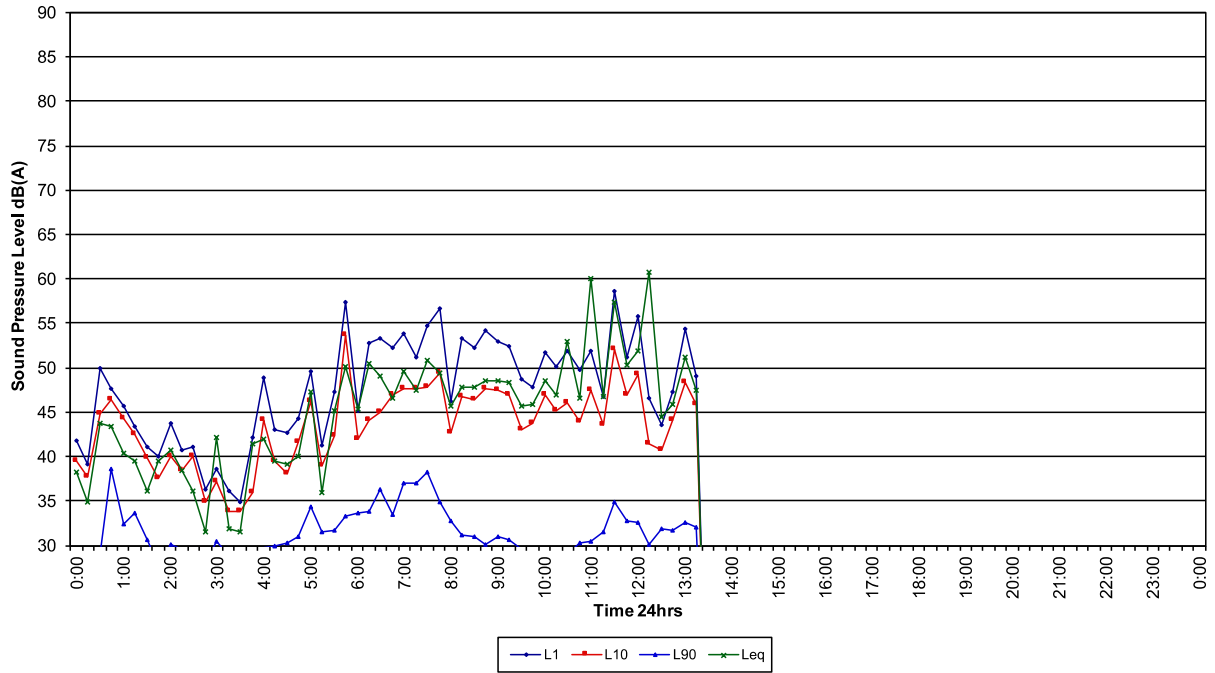




Ambient Noise Monitoring

1557 Rockley Road

Wednesday 27/9/17





**STANDARDS & GUIDELINES
FOR BEST PRACTICE**

BREEDING ESTABLISHMENTS

Revision 1

April 2016

Table of Contents

Preface.....	4
Introduction	5
Definitions	6
Staff – Roles, Responsibilities and Competency	10
Veterinary Care.....	14
Humane Euthanasia	15
Breeding Facility/Establishment Operation	16
Work, Health & Safety.....	16
Staff Health	16
Animal Health Management	17
Hygiene, Cleaning and Disinfection.....	18
Record Keeping	19
Transport of Animals.....	21
Dog Management	24
Housing	24
Exercise Areas	28
Nutrition.....	29
Health Care	30
Breeding and Rearing.....	32
Exercise, Socialisation and Environmental Enrichment	34
Cat Management	36
Housing	36
Nutrition.....	38
Health Care	39
Breeding and Rearing.....	40
Socialisation and Environmental Enrichment	42
Sale and Transfer of Ownership of Animals.....	43
Guarantee/Return Policy	45
Appendix 1	46
Appendix 2	48

Disclaimer

The information contained in this publication are the Standards & Guidelines for Best Practice (SGBP) defined by the Pet Industry Association of Australia (PIAA). Users are reminded that compliance with these Standards & Guidelines is a requirement of Membership of the PIAA.

New versions of these Standards & Guidelines may be issued from time to time. It is the responsibility of users to ensure the version of the Standards & Guidelines for Best Practice on which they rely is current by checking it is the latest version available on the PIAA website.

Compliance

Compliance of the Association's National Code, Standards & Guidelines for Best Practice does not remove the need to abide by the requirements of all local, state and commonwealth legislation and codes of practice including the Prevention of Cruelty to Animals Acts and any other laws such as Local Government Acts and National Parks and Wildlife Acts in all States and Territories.

Preface

The Pet Industry Association of Australia (PIAA) Standards & Guidelines for Best Practice – Breeding Establishments outline the principles that every Association member involved in the breeding of dogs and cats must use to protect the welfare of the animals in their care, By adhering to the Standards & Guidelines for Best Practice people involved in this industry are demonstrating to the general community their concern for the welfare of the animals in their care.

When humans manipulate or limit an animal's choices in relation to its physical or social environment, the welfare of that animal must be considered. Humans have a duty of care towards these animals and the greater the level of control of an animal or intervention with its environment the greater the responsibilities become.

Animal welfare can be thought of as the way an animal's health, safety and wellbeing are affected by its physical and social environment. Health and behaviour indicators provide information about how an animal is responding to a situation, thus enabling us to make informed decisions relating to the animal's welfare.

Introduction

The purpose of these Standards & Guidelines for Best Practice is to specify the minimum standards that are appropriate to the physical and behavioural needs of dogs and cats housed in PIAA member businesses operating as breeding or rearing domestic animal businesses.

The PIAA Standards & Guidelines for Best Practice set the standard for the care and management of all dogs and cats in breeding establishments. Compliance with the Standards will ensure the care, management and welfare is of the highest calibre.

All local, state, territory and commonwealth legislation and codes of practice must be complied with by breeding establishments in the respective state of territory.

Species include:

Dogs (includes puppies)

Cats (includes kittens)

Standards

Standards describe specific actions needed to achieve acceptable animal welfare levels and are the minimum standards that must be met by all Association members. Standards are identified in the text by the heading 'Standards' and use the word must.

Individual facilities may exceed these minimum standards and are encouraged to do so, either directly or in accordance with the Association's Accreditation Scheme.

Failure by a member to meet a standard will jeopardise their membership of the Association.

Persons and breeding establishments who sell animals will be expected to conduct themselves in accordance with these Standards & Guidelines for Best Practice demonstrating their commitment and concern for the welfare of animals in their care.

Under the *Prevention of Cruelty to Animals Act* legislated in most states and territories, the Person in Charge of an Animal or Facility, who may also be the owner, is responsible for meeting the legal obligations regarding an animal's welfare. Where the Person in Charge places an animal in the care of others (e.g. a pet store's manager or a member of staff), those persons also become legally responsible for the care of the animal.

Guidelines for Best Practice (Guidelines)

Best practice describes higher level systems and processes agreed on at a particular time following consideration of scientific information and accumulated experience in standards of animal welfare. They also reflect a considered estimate of what is thought to be society's values and expectations regarding the care of animals. They are identified by the heading 'Guidelines for Best Practice

Definitions

Animal means a dog, puppy, cat or kitten.

Animal Health Management Plan means a plan for nutrition, health and well-being of all animals in the facility/establishment prepared by the person in charge and the veterinary practitioner.

Bitch means a female animal of the species *Canis familiaris*.

Breeding means the business of breeding litters of animals for sale.

Cat means any animal identified as *Felis catus*.

Cat housing includes a cattery, cage, module, colony pen or other enclosure used to contain cats within a facility.

Disinfectant means a chemical used on an inanimate surface to destroy micro-organisms likely to cause infection in cats and dogs.

Dog means any animal identified as *Canis familiaris*

Dog housing includes a kennel, cage, module, colony pen or other enclosure used to contain dogs with a facility.

Domestic animal business means an enterprise which carries out the breeding of dogs or cats to sell

Enclosure/pen means a fully secure area preventing escape of animals from within and entrance of animals from outside the area.

Enrichment/environmental enrichment includes practices that provide situations or activities for animals that are appropriate to meet their physical and psychological needs.

Establishment/facility means any place, premises or thing used for the accommodation or shelter of animals for the purpose of breeding or rearing dogs or cats, or where puppies or kittens are housed as a result of breeding and includes a vehicle used for the transportation of animals.

Euthanasia means the animal is rendered immediately unconscious and does not regain consciousness prior to death. Euthanasia is only to be undertaken by a registered veterinarian or authorised euthanasia technician.

Euthanasia Technician means a person who has acquired through training, qualifications, experience and competency in humanely destroying dogs and cats.

Exercise includes practices/activities requiring physical activity and movement by animals appropriate to meet their physical needs.

Exercise area includes an area separate to the animal housing area which a business uses for the purposes of exercise as defined above. The only exception is where a dog's normal holding yard exceeds 10 times the minimum PIAA enclosure/pen size.

Experience means the qualifications, knowledge and training required to care for dogs and cats in a breeding establishment.

First aid means the immediate care and treatment provided to an animal with an injury or illness: not including veterinary care.

Full-time staff member means staff members working 8 hours of work, whether as one staff member working 8 hours continuously or multiple staff members working split shifts to the equivalent of 8 hours.

General Health Check means physical examination to assess the health of an animal including assessments for:

- Medical conditions
- Infectious and zoonotic diseases
- Parasites
- Dental, eye and ear issues
- Genetic, breed and age considerations
- Body condition score

Guarantee/Return Policy means the establishment's written agreement given to the new owner at point of sale. The agreement outlines the terms and conditions that apply should the new owner wish to return an animal to the establishment for any reason.

Guardian dogs means dogs predominantly used for guarding livestock.

Handling activities including grooming, soft patting/stroking. Picking the animal up, turning the animal over and doing a health examination by physically examining each animal's paws, ears and teeth, providing exercise, enrichment and human socialisation.

Heritable defect means a physical deformity, disease or disorder that is passed on from one generation to the next.

Hide means a small enclosed area where a cat can remove itself to 'hide' from other animals.

Impervious means materials or sealed materials that prevent water, urine or any other liquids penetrating the material or being absorbed and held by the material.

Independent veterinary practitioner means a veterinary practitioner not related by blood, marriage or de facto relationship to the proprietor (or family members of the proprietor) of the business and has no commercial interest in the business.

Isolation housing means housing kept in a separate area to general animal housing and exercise areas. It is used specifically for animals suspected of having or diagnosed with an infectious disease.

Kennel means a series of pens/enclosures designed to house multiple dogs or puppies.

Kitten means a cat aged less than 16 weeks of age.

Large business means a domestic animal business that consists of 6 or more adult fertile dogs or cats.

Litter means all offspring born dead or alive from a single whelping or queening.

Mating means the physical act of copulation between a male and a female animal.

Mating period means the period of time when the series of mating events occur to achieve a pregnancy.

Microchip means a subcutaneous full duplex electronic radio transponder that complies with the relevant ISO standard.

Module cage/condominium means an enclosure designed to hold up to 2 cats and containing at least 2 levels.

Monitoring includes the observation and assessment of animals on a regular basis including during routine management activities.

Oestrus means the period a female cat is 'sexually receptive'.

Operating procedures means procedures for the management and operation of a facility/establishment for the accommodation and shelter of animals held in that breeding facility/establishment.

Operations manager means a person responsible for the day to day operation of a business. This may or may not be the owner of the establishment.

Owner means:

- The owner of the animal (in the sense of being the owner of the animal as personal property)
- The person by whom the animal is ordinarily kept
- The registered owner of the animal

A reference to the owner in these Standards and Guidelines is a reference to each and all owners of the animal.

Parvovirus means a virus which causes intestinal inflammation in infected dogs, for which symptoms include vomiting, diarrhoea, high fever and dehydration.

Pen see definition for enclosure above.

Person in charge of an animal means the person who has an animal or animals in their possession or custody or under their care, control or supervision and who is responsible for meeting the welfare needs of the animal or animals. This may include the owner of an animal, a family member or friend of the owner or in a facility/establishment may be the the manager or staff or volunteers.

Proprietor means a person who legally registers the business and/or is the owner of the animals.

Puppy means a dog less than 16 weeks of age.

Re-home means the process of providing an animal with a new owner and a new place to live.

Qualifications means formal qualification provided by a registered training organisation including the management, welfare, handling and care of animals in the breeding facility/establishment.

Queen means an unspayed female cat.

Queening means the act of giving birth by a feline.

Sell/sale means the transfer of ownership of an animal or animals, including causing, permitting or suffering an animal to be sold by auction, barter, exchange or other supply and also included the attempt to sell or offer to sell expose, supply, possess or receive animals.

Significant infectious disease means a disease caused by a transmissible agent that is likely to cause illness or death in susceptible animals that become infected. Common examples include; canine cough, feline respiratory disease, parvovirus, feline enteritis, canine infectious hepatitis, heartworm and distemper.

Small business means a domestic animal business that consists of 5 or less adult fertile dogs or cats.

Socialisation means interaction between an individual animal and other animals and humans with the intention of making the individual animal fit for a life in companionship with others.

Staff means the person in charge, manager employees and volunteers that work in the facility/establishment, whether working full or part-time and whether or not working for fee or reward. This may include the proprietor/owner.

Veterinary practitioner means a veterinary practitioner registered under the *Veterinary Practice Act*.

Volunteer see under Staff.

Whelping means the birthing of carnivorous animals, most commonly puppies.

Weaned means a puppy or kitten that no longer receives a milk diet provided by their mother or an artificial source.

Washable means an impervious surface that is capable of being cleaned.

Weatherproof means protection from the wind, rain and extreme temperatures to safeguard the welfare of the animals housed in the facility/establishment.

Working dogs means dogs predominantly used for working livestock.

Zoonoses means diseases of animals that are transferable to humans.

Staff – Roles, Responsibilities and Competency

Standards

All people who care for and manage breeding dogs and cats should be competent and aware of their responsibilities. The person in charge should be aware of their extra responsibilities and that all people employed by the facility/establishment to care for the animals must comply with all local, state and commonwealth legislation, regulations and codes of practice in their state or territory. In the absence of legislation or a code of practice, member breeding establishments must comply with these Standards and Guidelines for Best Practice.

Person in Charge

- The person in charge (which may be the proprietor/owner) of the facility/establishment is responsible for complying with all enforceable provisions above.
- The person in charge is responsible for animal attendants, volunteers, vehicle drivers and all other staff working in the facility/establishment on a day to day basis.
- The person in charge is responsible for the recruitment/termination of the above staff
- The person in charge is responsible for staff rostering and staff ratios.
- The person in charge must be knowledgeable and competent to provide for:
 - The health, care and welfare of dogs and cats, including monitoring the physical and psychological health of the animals in care.
 - Reporting matters of compliance and disease outbreaks to the owner/proprietor.
 - The protection of these animals from distress or injury caused by other animals or interference by humans.
 - Daily inspection of all animals in the facility/establishment.
 - Supervision of daily feeding and watering of animals.
 - Supervision of enrichment and socialisation programs for animals in care.
 - The identification and monitoring of pregnant animals and their movement to whelping/lactating accommodation.
 - Cleaning and proper hygiene in the facility/establishment including the disposal of waste materials.
 - Provision of prompt first aid for animals when required.
 - Veterinary care by a registered veterinary practitioner. This must include a signed agreement with the veterinary practitioner to attend to animals in the facility/enclosure as and when required.
 - Ensuring the health protection of all staff and volunteers working in the facility/establishment.
 - Supervision and training of staff and volunteers.
 - Development of an emergency evacuation plan and staff training practice drills.
 - Development and execution of all operational policies and procedures.
 - Ensuring the compliance of all State Work Health and Safety regulations.
 - Ensuring the maintenance and retention of animal records, stock control, statistics, and animal euthanasia reports.
 - Managing removal of animals from the rearing operation that have been deemed not fit for breeding purposes.
 - Enacting retirement plans for retiring or retired breeding animals.
 - Promoting and supporting relevant formal and informal training for staff.
 - Identifying the common signs of common diseases of the species kept.
 - Meeting all requirement for the sale of animals.

Animal Attendants

- Animal attendants including volunteers who work at the facility/establishment must be trained, experienced and competent to properly manage the type of animals kept by the facility/establishment.
- Trainees or volunteers must work under the care and supervision of the person in charge or a suitably qualified and competent animal attendant.
- Animal attendants are responsible to the person in charge and must report to the person in charge on the following duties:
 - Daily feeding, watering and inspection of all animals.
 - Daily cleaning and disinfection of pens/enclosures, housing, equipment and cleaning exercise areas.
 - Administering medication as instructed by a veterinary practitioner.
 - Exercise, socialisation and environmental enrichment for each animal including handling.
 - Report any animal showing signs of infectious disease immediately. Isolate the animal, disinfecting their housing, bedding material, feeding and drinking utensils.
 - Ensure that care is taken so as not to spread infection from one pen/enclosure to another on their hands, clothing or footwear.
 - Reporting of evidence that whelping or kitting has commenced.
 - Reporting of any animals who are found to be deceased.

The animal attendant must immediately report to the person in charge regarding any animals showing signs of pregnancy, whelping, queening or oestrus and any of the following symptoms:

- Injury or illness
- Serious physical or behavioural behaviour
- Any change in the animal's normal behaviour which is indicative of a problem with the animal's health and welfare
- Apparent pain, bleeding or swelling of body parts or bloating of the abdomen
- Ear discomfort, inflammation or discharge
- Difficulty or inability to urinate or defecate
- Fits
- Staggering, lameness or inability to stand or walk
- Lack of appetite
- Patchy hair loss or change in the appearance of the coat
- Scratching of coat or ears
- Weight loss
- Mastitis
- Observation of parasites
- Swollen or inflamed third eyelid
- Any other signs showing the health or welfare of the animal is compromised
- Signs of infectious diseases:
 - Coughing
 - Diarrhoea (especially if blood stained)
 - Red or brown coloured urine
 - Repeated sneezing
 - Runny nose
 - Runny or inflamed eyes
 - Vomiting

Staff Ratio

Staffing ratio during business hours assumes that staff may be required to work in shifts to maintain feeding and cleaning throughout the day. Shifts do not need to be a minimum of 8 hours however the facility/establishment must have the minimum staff ratio for a period of 8 hours.

- The minimum of one full-time staff member (includes any staff member including the proprietor, owner person in charge and animal attendant) must be onsite at the facility/establishment for every 25 fertile animals (or equivalent) housed in the facility/establishment during business hours.
- The staff ratio must be maintained 7 days per week.
- A single fertile animal equivalent is an animal over the age of 16 weeks of age or a litter and its mother while the litter remains housed with the mother or a litter no longer residing with its mother but under the age of 16 weeks of age.

Example: 14 females, 3 males, 6 litters residing with their mothers and 2 litters without their mothers is equivalent to 25 fertile animals and requires one fulltime staff member during business hours.

- A minimum of one staff member, as listed above, must be onsite at the facility/establishment for every 100 fertile animals (or equivalent) housed in the business overnight.

Example: 80 females, 5 males, 10 litters with their mothers and 5 litters without their mothers is equivalent to 100 fertile adults and requires one full-time staff member overnight.

- Overnight staff must be available to care for whelping/queening animals and sick or injured animals and undertake emergency activities and first aid.
- Overnight staff may need to support and undertake emergency activities should the need arise.
- All socialisation, handling, feeding, cleaning and general care activities are undertaken within normal opening hours and are not the responsibility of the overnight staff.
- In addition sufficient staff, as listed above, must be 'on call' to attend to animals in the facility/establishment in the case of an emergency. On call overnight staff must be able to travel to the facility/establishment within 30 minutes of being contacted.

The staff ratio for facilities/establishments must be as follows:

- With up to 10 fertile animals (or equivalent) – no fulltime staff members.
- With 11 and up to 25 fertile animals (or equivalent) – 1 fulltime staff member.
- With 25 and over fertile animals (or equivalent) – 1 fulltime staff member for every 25 fertile or part thereof animals (or equivalent).

Females showing signs of labour must be monitored.

Guidelines

Staff employed to care for the animals in the facility/establishment should have formal qualifications and experience in the care and management of the animals in their care. Staff should be given the opportunity to re-train and upskill on a regular basis. Training should include:

- The current animal behaviour and social needs of the animal.

- Handling animals on receipt and release of dogs and cats into and out of the facility/establishment including transportation and capture.
- Animal husbandry techniques.
- The identification of common diseases in dogs and cats, signs of ill health, stress etc. which prompts the requirement of veterinary attention.
- Procedures required for management and care of sick and injured dogs and cats.
- Special requirements for young or old dogs and cats.
- Control of parasites and prevention solutions.
- Record keeping
- Having read and understood the facilities/establishment policies and procedures and the emergency evacuation plan.
- Zoonotic diseases – transfer animal to human, hygiene, prevention and medication.

Veterinary Care

Standards

A written agreement between the proprietor/owner of the facility/establishment and a registered veterinary practitioner who has experience in small animal health and management must be established and include arrangements for:

- The use of the veterinary practitioner's facilities for the treatment of animals from the facility/establishment.
- Appropriate veterinary treatment to be provided for sick or injured dogs and cats.
- Veterinary advice to be given in the event of unexplained disease, illness or deaths of animals.
- The provision of regular health checks for all animals in the facility/establishment.
- Provision of vaccination certificates for puppies and kittens being sold signed by the veterinary practitioner.
- Contact details of the veterinary practitioner must be posted in a prominent position which is accessible to all staff and volunteers.
- Where the veterinary practitioner is also the proprietor/owner of the business, facility/establishment, the facility/establishment must undergo an annual inspection by an independent small animal veterinary practitioner.
- The annual inspection must review the health management plan for the facility/establishment and the vaccination and health status of all animals in care.

The person in charge must ensure that:

- A health management plan for the facility/establishment is prepared in consultation with the veterinary practitioner.
- Isolation housing is provided for all animals suspected of having infectious or unidentified illnesses under supervision of the veterinary practitioner.
- Permission in writing must be obtained from a dog or cat's owner or nominee (if leased) at the time of accepting the animal for breeding, authorising the provision of necessary veterinary treatment.
- Dogs must be vaccinated against distemper, hepatitis, parvovirus and canine cough in accordance with the manufacturer's recommendations unless with the written approval of a veterinary practitioner.
- Cats must be vaccinated against feline infectious enteritis and feline respiratory disease in accordance with the manufacturer's recommendations, unless with the written approval of a veterinary practitioner.
- Puppies and kittens must be vaccinated against common infectious diseases in accordance with best practice clinical guidelines in consultation with a veterinary practitioner.
- Dogs and cats known or suspected to be suffering from an infectious disease must not be used for breeding or be accepted for breeding under lease, unless under written approval from a veterinary practitioner.
- A program for prevention of heartworm must be in place on advice from a veterinary practitioner.
- Internal and external parasites must be controlled through routines and preventative treatment.
- Euthanasia of animals must be undertaken by a veterinary practitioner or a person qualified as a euthanasia technician.

Guidelines

- It is recommended that a program for maintaining a feline leukaemia and feline AIDS free population is recommended with assistance and guidance of a veterinary practitioner with a requirement for a current negative test prior to breeding. This applies to all permanent resident cats, new additions to the facility and visiting cats.

Humane Euthanasia

Standards

- Where treatment to restore the physical and mental health of a dog or cat while in the facility/establishment is impractical or unsuccessful and where it is recommended by a veterinary practitioner, an animal must be euthanased.
- Euthanasia of dogs and cats must only be performed by a veterinary practitioner or a person who is a qualified euthanasia technician.
- Euthanasia must be performed by the intravenous administration of an overdose of barbiturate unless there are compelling reasons to use other methods to destroy a dog or cat in emergency situations.
- In emergency situations facility/establishments may carry out euthanasia under the direction of a veterinary practitioner only.
- Puppies and kittens 8 weeks of age and under requiring euthanasia must be euthanased by intraperitoneal injection of barbiturate by a veterinary practitioner.
- Euthanasia must be performed in an area that is separated from animal accommodation and must not be carried out in view of any other animals or staff.

Guidelines

- Every effort should be made to re-home healthy and behaviourally sound dogs and cats.

Breeding Facility/Establishment Operation

Work, Health & Safety

Standards

The facility/establishment must undertake all reasonable measures to ensure staff health and safety, and manage all relevant workplace risks, including the risk of contracting zoonotic disease by those in direct contact with animals. Any injured or ill staff members must seek appropriate medical attention.

In order to provide a safe and healthy environment, each facility/establishment must have the following processes and procedures in place to comply with relevant state and territory legislation:

Health and Safety Documentation

- **Work / Occupational Health and Safety (WHS) Policy**
- **WHS Program, outlining implementation of the policy**
- **Safe Work Method Statements / Job Safety Analysis templates**
- **Injury and Incident Management and Registers**
- **Hazardous Substance Management and Registers**
- **Risk Assessment and Risk Control templates**
- **Training Registers and Toolbox Talk templates**
- **Safety Inspection Checklist Template**
- **Fire Safety, Evacuation and Emergency Procedures**
- **Other relevant documentation according to your state or territory**

Depending on staffing levels, there must be the appropriate number of properly trained staff members to meet particular state and territory requirements for first aid, fire and emergency situations. Please refer to state and territory regulatory bodies to determine appropriate levels.

Staff Health

Standards

Potential health risks for humans exist when working with animals. Animals can harbour disease causing organisms which can be transmitted to humans (zoonoses). To protect staff health a list of common zoonotic diseases and hydatids associated with animals must be prominently displayed throughout the facility/establishment and staff must be educated in the prevention of zoonoses.

All staff, especially women of childbearing age, working with cats, must be made aware of the risk of contracting toxoplasmosis.

Staff health must be protected by the provision of, or access to:

- Induction upon commencing work in the facility/establishment.
- Adequate hot and cold hand washing facilities available.
- Hand disinfectant placed at various locations around the facility/establishment.
- Staff should be immunised against tetanus.
- Provision of personal protective equipment e.g. disposable gloves.

Guidelines

- Adequate ongoing training should be provided to ensure optimal animal and staff health and welfare. This includes induction training and ongoing staff and proprietor training.

- Adequate systems and processes, written procedures and record keeping should be in place to demonstrate the above without ambiguity.

Animal Health Management Plan

Every business must have a health management plan which is reviewed annually. Health management plans must be formulated in consultation with a veterinary practitioner. Plans must be signed by a veterinary practitioner on an annual basis and whenever veterinary practitioners change, whichever is more frequent.

The health management plan must include protocols for:

- Assessment for admission of new breeding animals to the business
- Protocols for quarantine and movement of animals, including new animals introduced to the business
- Provision of appropriate diet for all animals at the business
- Hygiene, disinfection and disease prevention
- Vaccination programs
- External parasite prevention and treatment programs including screening for ear mites, dermatophytes, ticks, and ringworm
- Internal parasite prevention and treatment programs
- Investigation and treatment of animals showing signs of chlamydia
- A procedure for the investigation and management of FIP (Feline Infectious Peritonitis). Businesses with repeated cases of diarrhoea leading to the suspicion of FIP must undertake investigation by means of autopsy of cats that die or are euthanased due to their symptoms. Cats showing clinical symptoms must be provided with palliative care prior to humane euthanasia. A management and breeding plan should be developed where businesses have confirmed multiple cases
- Response to a general outbreak of disease
- Grooming requirements
- Approved methods of euthanasia for emergency situations
- birthing protocols
- Management of isolation facilities (where isolation facilities are constructed at the business)
- exercise, environmental enrichment and socialisation programs
- Assessment programs for the health and welfare of animals being reared for sale or as replacement breeding animals
- Health assessment for puppies and kittens for sale
- Behavioural and welfare assessment of animals on a daily basis
- Processes for determining the suitability of breeding animals to continue breeding within the business
- Processes for long term management, desexing and/or assessing suitability for rehoming or euthanasia of retired breeding animals
- Risk assessments of housing and exercise areas and risk management plan/s
- Pest management protocols
- Development and display of emergency response plans for both humans and animals including evacuation procedures at the business.

Hygiene, Cleaning and Disinfection

Standards

- A facility/establishment must be clean and hygienic at all times.
- A hygiene management plan must be established in consultation with a veterinary practitioner and included in the facility's/establishment's health management plan.
- Areas housing animals with a facility/establishment must be cleaned at least once daily.
- Animal enclosures must be disinfected at least once weekly, noting that **some disinfectants are dangerous and toxic to dogs and cats.* See note.**
- Animal pens/enclosures must be cleaned and disinfected before new animals are introduced or before whelping.
- Bedding must be cleaned or changed at least once daily and disinfected at least once a week.
- Exercise areas must be cleaned daily or before new dogs and puppies are introduced to the area.
- Food preparation and storage areas, food and water containers, utensils and equipment used in the preparation and provision of food, must be maintained to a hygienic standard.
- All uneaten food must be removed as soon as possible after feeding with the exception of cats and kittens who must have dried food available throughout the day for grazing.
- Faeces and waste materials must be disposed of in accordance with the requirements of the appropriate authority. Faeces must not be disposed of in sewer or septic systems.
- Disposable bedding, food containers and general waste from the facility/establishment must be placed in a waste disposal device.
- Wastes must not be incinerated unless the incinerator is registered with the appropriate authority.
- Collection drains must be cleaned daily.
- Litter trays must be checked, scooped and replenished daily.
- Litter trays must be changed, washed and disinfected at least once every three (3) days.
- Litter trays that are saturated with urine must be changed immediately.
- Toys used in socialisation and environmental enrichment must be washed in hot soapy water and disinfected after each use.
- MSDS sheets for all chemical and industrial products used in the facility/establishment must be prominently displayed throughout the facility/establishment including feeding and storage areas.

Guidelines

- All dead animal waste products such as faeces, bedding and food waste should be disposed of promptly and hygienically and in accordance with the requirements of the local government authority, the relevant government department or other authorities.
- Use of a trade waste service should be used for collection and disposal of wastes.
- Specialist advice should be sought before pest control operations are conducted in order to protect the health and safety of the staff and the animals kept.

Notes

Some disinfectants are toxic to some species, e.g. some common disinfectants containing coal and wood products such as pine oil, phenol, cresol and chloroxylenols are toxic to cats. Tea tree oil is toxic to both dogs and cats. Staff must be familiar with

these matters and avoid the use of inappropriate products. Chemicals used for pest control should be registered by the Australian Pesticides and Veterinary Medicines Authority under the Agricultural and Veterinary Chemicals Code Act 1994 (Commonwealth) and only used in accordance with the manufacturer's instructions.

Record Keeping

Standards

All business and animal records must be kept for a minimum of 5 years with at least the previous 12 months' records (or the Statute of Limitations under the Prevention of Cruelty Animals legislation in the relevant state or territory or other local, state or commonwealth laws) kept on site). The person in charge of the facility/establishment must be able to produce these records within 24 hours.

Business Records

Must include the following:

- Domestic animal business registration.
- Registration certificate for each animal over 12 weeks of age if required by local or state legislation.
- Human resources records for each individual working the facility/establishment and must include name, address, contact number, emergency contact details, qualifications, position descriptions, training, vaccination status and any specific health issues e.g. diabetic.
- Staff shifts and rosters.
- A copy of the emergency evacuation plan including site maps.
- The health management plan.
- Copy of the agreement between the facility/establishment and a veterinary practitioner and contact details.
- All company contracts, insurance policies, registrations.
- The facility/establishment parasite management plan and inspection reports.
- Records relating to the purchase or acquisition of animals into the business with details of the previous owners, microchip details, transfer of ownership papers, health records and vaccination status at the time of entry into the facility/establishment.
- Records relating to the sale of animals to and from the business.
- A complete copy of the health guarantee statement given to new owners.
- Literature to accompany animals sold from the facility/establishment giving advice to new owners on the care and management of their new animal.
- A copy of all standard operating procedures and company policies.
- Animal inventories and stock control documents and reports including deceased and euthanased animals.

Animal Records

Animals under 12 weeks of age:

- Animal records must be established at birth for each individual animal and maintained until the animal changes hands or the animal is deceased and must include the following:
 - Name or other identification
 - Microchip number (when implanted)
 - Sex
 - Breed

- Birth date or date the animal was purchased from another breeder or private person.
 - If no birth date known an approximate age is required based on a veterinary practitioner's advice.
 - Colour and distinguishing features.
 - A complete health and veterinary history including vaccination records, internal and external parasite control and heartworm records for dogs.
- Disposal records of deceased animals including date reason for death and copies of supporting documentation where applicable

Animals over 12 weeks of age:

- For each animal 12 weeks of age and over held in the facility/establishment the following records must include:
 - Council registration certificate.
 - Name.
 - Microchip number.
 - Sex (including whether de-sexed).
 - Breed.
 - Birth date or when unknown an approximate age based on advice from a veterinary practitioner.
 - Distinguishing features, colour.
 - Home pen/enclosure location at the facility/establishment (number and details).
 - Dam breed and sire breed, birth dates and microchip details for both including details of any previous owner if applicable.
 - Animal acquisition date and details of previous owner.
 - For leased dogs and cats the name and contact telephone of the veterinary practitioner who normally attends the animals.
 - A complete health care and veterinary history and routine husbandry including vaccination records, internal and external parasite control, heartworm records (dogs only).

Breeding Status:

- Complete breeding history for each fertile female, including dates of mating and birthing, number of offspring born for each litter, weeks gestation at birth, number of offspring born alive, number of offspring born dead, any birth complications and a record of treatment administered. Number of offspring alive at 8 weeks of age, microchip number for all offspring at 8 weeks of age and any veterinary treatment provided post birthing and /or during lactation.
- Complete breeding history for each entire fertile male including dates of mating and identification of female mated with.
- Disposal records including date and mode of disposal and the name and address of new owners.
- Return records including date of return and copies of supporting documentation if applicable.

Individual Animal Identification

- The name, description, breed, sex and microchip number of each animal in a pen/enclosure/cage must be displayed clearly on each pen/enclosure/cage in the form of an identification card.

- Each identification card must indicate whether the animals are receiving additional care and the type of care and for females, the number, birthdate, sex and details of offspring.

Guidelines

- The use of stock books, enclosure labels and cards, daily cleaning/feeding/watering health observation record sheets is encouraged.
- Procedural documents should be periodically reviewed and approved by the person in charge. The period from the last review and approval of procedures should not exceed two (2) years.
- Records kept should have space for notes or observations regarding the individual animal and made during the animal's time at the facility/establishment, including any significant alteration in the animal's condition or behaviour since arrival at the facility/establishment.

Transport of Animals

Standards

- Where more than one animal is to be transported, vehicles used for the transport of animals must have provision for non-compatible animals.
- Non-compatible animals must be physically separated and restrained or individually enclosed by compartment or cage.
- The design of the compartment/cage must be both escape-proof and prevent the protrusion of head and/or limbs of any animal carried.
- Constructed of impervious materials and a design that allows for effective cleaning and disinfection.
- Weatherproof and adequately ventilated when the vehicle is both in motion and stationary.
- The animal area must maintain a temperature range between 10 and 32 degrees at all times.
- Cats must be individually caged with the exception of queens with kittens who may be caged together where the cage is sufficiently large enough for all the cats to lie comfortably.
- No animal may be transported in the boot of a sedan.
- Dogs must not be transported in the cabin of an animal transport vehicle.
- The only exception is for working dogs when they are working with stock. When dogs are working owners must adhere to the Prevention of Cruelty Act in their state or territory.
- Business animal transport vehicles must be cleaned and disinfected after each delivery of animals.
- On road trips of more than two (2) hours duration, adequate stops should be made to allow dogs and cats the opportunity to exercise, eat, drink, urinate and defecate where appropriate and for enclosures to be cleaned where necessary.
- Animals transported by air must comply with IATA's [Live Animals Regulations \(LAR\)](#) the worldwide standard for transporting live animals by commercial airlines. The objective of the LAR is to ensure all animals are transported safely and humanely by air. The 41st edition of the regulations came into effect on 1 January 2015

Guidelines

- Containers used for dog and cat transport should provide adequate light and ventilation.
- Containers regularly used for transporting dogs and cats should:
 - Protect animals from injury through being free from protrusions or sharp edges in the carrying area.
 - Have non-slip floors.
 - Provide easy access and safe access for handlers.
 - Be air conditioned to protect against extremes of temperature when stationary.
 - Protect against unauthorised release or escape of the animals.
 - Be easy to clean and disinfect.
 - Be fitted with an operational air conditioning system to the section of the vehicle where the animals are held

Note: The driver of the transport vehicle is the person in charge and therefore responsible for the welfare of the animals in the vehicle during transportation.

Security

Standards

- Premises and animal enclosures must be secure against ingress of unwanted animals, persons or pests.
- The facility/establishment must have a competent person/persons living on site 24 hours per day.
- The facility/establishment must be able to be reasonably secured to prevent access to the premises outside trading hours, including outdoor cage and run areas.
- Enclosures/pens must be securely fastened outside trading hours to the extent required to avoid escape.
- All external openings must prevent escape of animals or easy removal of products or equipment without authorisation.
- Adequate security must be in place to ensure the safety of staff, the public and all animals on the premises.

Visitors:

- Visitors to the facility/establishment must report to the allocated reception area.
- Visitors must be accompanied by a staff member when inspecting animals in the facility/establishment.
- Visitors must be provided with access to hot and cold water washing facilities with soap.

Guidelines

- Every effort should be made to recover escaped animals.
- The facility/establishment should wherever possible install security systems to ensure the safety of all animals and staff.

Visitors:

- The facility/establishment should provide an enclosed 'meet and greet' area for new owners to socialise with the animal they wish to purchase.

Emergencies

Standards

- Functioning fire-fighting equipment must be readily available and staff trained and practiced in its use (Note: some fire retardants may be toxic to animals).
- Each facility/establishment must have a documented procedure for the management or swift removal of all animals from the premises in the case of emergency, where it is safe and reasonable to do so. This document must be kept in a prominent place on the premises. All staff must be able to produce the document and must be familiar with its content. Any methods detailed in the emergency plan must allow for ready access to animals and ready exit for visitors, staff, volunteers and animals from the premises in the event of an emergency.
- Emergency procedures must include a plan to deal with a situation where staff are not allowed back into the facilities for up to a week (for example in flood or fire), in particular if staff have not been able to ensure exit of all animals at the time of the initial emergency.

Guidelines

- A supply of portable enclosures/cages for use in emergencies should be held at the facility/establishment to facilitate the swift evacuation of animals in the event of an emergency. A supply of leashes should be kept for evacuation of dogs.

Dog Management

- All new dogs entering into the facility/establishment must be either held off site or in strict isolation on site for a period of no less than 20 days before being mixed with other dogs in the facility/establishment to avoid any cross contamination of infectious diseases eg. Parvovirus or Canine Cough.
- Each animal must be individually identified.
- Measures must be implemented to protect dogs from distress or injury caused by other animals.
- Dogs must be protected from distress or injury caused by interference by people.
- Dogs may be distressed by the presence of other dogs and cats and must be housed in a manner that prevents visual contact and minimises or reduces olfactory contact.
- Dogs must receive environmental enrichment recognising the physiological status and special needs of differing ages and species, to ensure good psychological health.
- Dogs that are unable to feed themselves must only be kept where adequate supervision is available.

Housing

Small businesses

- A small business has 3-5 fertile adult dogs and may house up to 5 compatible dogs over 16 weeks of age together.

Large Businesses

- A large business has 6 or more fertile adult dogs and may house 4 compatible dogs together.

Working Dog Breeding Businesses

- Working dog breeding businesses may have up to 4 compatible dogs together.

Standards

This section outlines the minimum standards required for keeping dogs and puppies in breeding facilities/establishments. The accommodation, environment and security of animals should be of a standard which ensures their security, safety and wellbeing.

Vehicles, caravans, portable crates and the crawl space under any dwelling must not be used as permanent housing for dogs.

All housing facilities must display emergency evacuation procedures in and near animal housing facilities in the facility/establishment. This may be near the front door of a place of residence or near the kennelling areas.

- Breeding facilities/establishments must have a continuous water supply, adequate to meet the daily requirements of the dogs held.
- Breeding facilities must be designed constructed serviced and maintained in a way that provides for the good health and wellbeing of the animals which prevents the transmission of infectious disease agents, the escape of animals and does not cause injury to either animals or humans.
- When dog housing is constructed outdoors the minimum height of fencing for each enclosure/pen must be no less than 1800 mm.

- When dog housing is constructed outdoors, animals must be provided with protection from rain and wind, direct sunlight or other adverse weather, conditions and must be provided with a clean dry dedicated sleeping area raised off the ground and containing soft warm bedding material.
- Materials used must be weatherproof and selected for ease of cleaning, durability and nontoxicity.
- Where dog housing is constructed indoors but not inside a place of residence (e.g. a kennel building) natural daylight during daylight hours must be provided and temperature, humidity and ventilation must be managed.
- When forced ventilation is the only form of air intake and extraction the temperature must be maintained in the range of 10 to 32 degrees Celsius. The systems air reticulation units must incorporate effective air cleaning and filtration and a backup alarm system in case of power failures or breakdown. All systems must be well serviced and maintained.
- Ventilation areas must be adequate to keep animal housing areas free of dampness, noxious odours and draughts.
- Fully enclosed dog housing must have an air change rate of 8-12 changes per hour to prevent the build-up of foul odours. Ventilation devices must avoid draughts and distribute fresh air evenly to all of the housing areas.
- Where a facility/establishment houses both dogs and cats, cat housing must be a sufficient distance or otherwise isolated from dog housing to minimise the stress created by the sound, sight or smell of dogs.
- Dog housing in PIAA breeding member facilities/establishments must meet the minimum pen/enclosure sizes outlined in these Standards and Guidelines for Best Practice.
- Dogs must not be exposed to extended contact with wet floors.
- Sleeping areas for dogs must have clean, hygienic, dry, soft bedding appropriate to the species and breed. Bedding must be sufficient for the number of animals held in each enclosure and must be sufficient to insulate them from the floor.
- Sleeping areas must be cleaned daily and disinfected weekly.
- Each dog older than 16 weeks of age must be provided with a separate bed or sufficient bedding material so that all animals can sleep comfortably at the same time.

Isolation housing

- A designated isolation area within the facility/establishment must be available for dogs suspected of illness or having infectious diseases. If the facility/establishment does not have a dedicated isolation area, a written agreement with a veterinary practitioner must be in place for animals to be transferred to a veterinary hospital that can accommodate the animals.
- A documented and demonstrable biosecurity program must be in place for the isolation housing.
- Animals suspected or known to be suffering from infectious diseases must be transferred directly to the isolation housing unless a veterinary practitioner has given written assurance that it is appropriate for those animals to be housed with other animals in the facility/establishment.

MINIMUM SIZES FOR DOG PENS/ENCLOSURES

Animal/s	Height of dogs at shoulder	Min. Floor Area (m2)*	Min Height (cm)	Min Width (cm)	Incr. floor per puppy 8-16 wks (m2)
Puppy/ies (+/- bitch)					
1 dog	<40 cm	7	180	120	0.5
2 dogs	<40	14	180	120	
Socially compatible group of dogs housed in backyard or house	<40	1.5 per animal	-	-	-
1 dog	40-60 cm	10	180	180	1.0
2 dogs`	40-60 cm	20	180	180	
Socially compatible group of dogs housed in backyard or house	40-60 am	2.4 per animal	-	-	-
1 dog	>60 cm	15	180	240	1.5
2 dogs	>60 cm	30	180	240	
Socially compatible group of dogs housed in backyard or house	>60 cm	3.5 per animal			

***Minimum floor area includes the area allocated to bedding**

Mating

- Mating pairs must be separated from other animals.
- Mating pairs must be monitored during mating.
- Dog breeding stands must not be used.
- If the female dog is unduly harassed she must be removed and veterinary advice sought if there is risk of injury to either dog or for any other concern as to the wellbeing of the dog.

Whelping

- Within 7 days of her due date a pregnant bitch that is multiple housed must be moved to a specific whelping area or be provided with private accommodation containing a whelping box.
- Exercise, socialisation, enrichment and handling for late pregnancy must remain the same as for pregnant bitches where their health and physical condition allows.
- As soon as the bitch shows signs of whelping, fresh bedding must be provided and she must be monitored until birthing is complete.
- If there are concerns regarding the welfare of the bitch or her puppies, veterinary advice must be sought.
- The bitch must be monitored every 4 hours until the puppies are feeding and maternal acceptance has been firmly established.
- The birthing area must be completely cleaned and all bedding changed within 24 hours of the completion of birthing.

Lactating

- Monitoring of lactating bitches must ensure that all puppies are feeding and that the bitch is lactating.
- Veterinary advice must be sought by the person in charge if puppies do not gain weight.
- Birth bitches must be inspected twice daily for mastitis and treated immediately upon diagnosis.
- Clean bedding must be provided on a daily basis during lactation.
- Puppies must have a health check by a staff member within 12 hours of birth.
- Daily handling must begin within 7 days of birth.
- Bitches must be exercised.

Guidelines

- The bitch should be monitored at least hourly during the birth.
- Measures should be in place to protect dogs from loud or sudden noise.
- Noise from barking dogs should be managed to comply with noise regulations and work, health and safety requirements. Noise may be reduced by one or more of the following methods:
 - Judicious use of sound proofing or suitable construction methods which reduce noise.
 - Care with dog placement to avoid unnecessary noise e.g. dog pens/enclosures constructed so as dogs cannot see other dogs between pen/enclosure walls and doors.
- Environmental temperature should be controlled to minimise distress to cats including the provision of heating or cooling particularly for old, young and pregnant animals if necessary. Particular attention should be given to protections to brachycephalic breeds**, especially against heat.
- All facilities should have an adequate water supply and should be connected to a sewer system or on a septic system in accordance with the requirements of the local government authority, the relevant government department or other authorities.
- Faeces and waste materials should be disposed of in commercial disposal bins and not placed in the sewer or septic systems.

****Brachycephalic means short-faced**

Exercise Areas

Standards

- Exercise areas must be constructed to ensure that no animal can escape and must include shade areas so animals are protected from extremes of temperature.
- Exercise areas must have a perimeter fence of no less than 1800 mm unless the dogs are supervised by a staff member in which case the fence must be no less than 1200 mm.
- Exercise areas must be available for all dogs in the facility/establishment and must be supervised to ensure that the animals contained within the exercise area are compatible.
- Dogs must not be exercised in any way which may pose the risk of serious injury e.g. dogs are attached to motor vehicle or unsupervised on a treadmill.
- If dogs are tethered this must be done in accordance with the Prevention of Cruelty to Animals Act in the relevant state or territory.
- Pregnant bitches of more than 7 weeks gestation, whelping bitches and lactating bitches with puppies must not be tethered.
- Puppies under 16 weeks of age must not be tethered.

Small Businesses

Separate exercise areas are not required for small businesses however daily exercise must be provided for all animals.

Large Businesses

Separate exercise areas should be available and no more than 6 dogs must be exercised together.

The minimum floor space of exercise areas must be 20 square metres for the first dog and an additional 7 square metres for each dog thereafter. Fences must be at least 1800 mm in height and have a minimum width of 5 metres. Staff ratio 1 to 18 dogs in up to 3 exercise areas.

Guidelines

- Exercise area should be constructed approximately 6 metres x 12 metres separate from animal housing. The surface area should be grass or preferably artificial grass.
- One third of the area should be covered by utilising a shade sail.
- A permanent supply of clean drinking water is to be available in each exercise area.
- Measures should be in place to minimise the deterioration of exercise areas to bare earth

Nutrition

Standards

- Dogs must receive a balanced and complete diet which allows them to maintain good health and growth, recognising the physiological status and special needs of differing ages and species.
- Minimum quantity and nutritional quality of food must be detailed in the health management plan.
- All meals must be served in containers that have been cleaned and washed in hot soapy water before use and disinfected once a week.
- Clean water must be available at all times at a temperature, quantity and quality to meet the physiological needs of the dog and that the dog will drink.
- Water containers must be large enough to hold sufficient water for all dogs in a pen/enclosure.
- Water containers must be large enough to hold sufficient water for all dogs to be able to drink at any one time.
- For young puppies the container must be shallow enough to prevent injury or drowning.
- All adult and adolescent dogs must be fed a minimum of once daily.
- Pregnant and lactating bitches must be fed at least twice daily or under clear instruction from a veterinary practitioner.
- Puppies 3 weeks of age to weaning must be provided with an appropriate food in a shallow food container according to the facility/establishment health management plan.
- Fully weaned puppies less than 16 weeks of age must be fed a minimum of 3 times daily and must not be left without food for a period of more than 12 hours.
- Puppies may share a food container.
- Puppies between 4 and 6 months must be fed a minimum of twice daily and must not be left without food for a period of more than 12 hours.
- Orphaned and pre-weaned puppies must be fed under the direction of a veterinary practitioner.
- When multiple housed, each animal must be provided with their own food container. The person in charge must ensure all animals are socially compatible to feed together and are able to eat a sufficient quantity of food without duress.
- Food must be stored in sealed containers to prevent its deterioration or contamination by vermin.
- Fresh food must be refrigerated according to manufacturer's directions.
- A minimum of 5 days food must be held by the facility/establishment at all times to ensure food is available in the case of an emergency.
- Food containers must be non-spillable and made of material that can be disinfected and must not cause injury to the animals.

Guidelines

- Feeding of raw offal is not recommended.
- Food should be prepared hygienically and served in clean containers.
- Food and water containers should be readily accessible to dogs and puppies and be positioned to avoid spillage or contamination by urine or faeces.
- Food containers should be stable and non-toxic.

Health Care

Standards

- All dogs regardless of breeding status must have a general health check by a veterinary practitioner at least once per year or more frequently if directed by a veterinary practitioner
- All dogs must have a general health check by a veterinary practitioner prior to their first mating.
- A veterinary health check by a veterinary practitioner for all female breeding dogs prior to each mating cycle.
- All breeding females must have a general health check by a veterinary practitioner within 8 weeks postpartum.
- All health issues identified must be recorded in the animal's health record.
- All dogs must be groomed and the coat of long haired dogs must be brushed or clipped at a frequency which ensures that the dogs are not left dirty, matted, tangled or unkempt.
- All facilities/establishments must have an internal and external parasite prevention program in line with the health management plan.
- Dogs with pendulous ears must have their ears checked weekly and appropriate action taken to minimise ear infections.
- All dogs must have their toenails checked and trimmed at a frequency that prevents them from becoming overgrown.

Vaccinations and parasite control in puppies under 12 weeks of age

- Puppies must be vaccinated for the following by a veterinary practitioner:
 - Canine Distemper
 - Infectious Canine Hepatitis
 - Canine Parvovirus
 - Canine Cough (parainfluenza Type 2 and Bordetella bronchiseptica). (Not required for puppies but adult dogs must be vaccinated for canine cough)
 - Heartworm
 - Internal and external parasites e.g. fleas and ticks

First treatment/vaccine must be given before 10 weeks of age. Vaccination certificates including dates of next treatment, details of the treatment required and a record of who administered the treatment must be signed by a veterinary practitioner at each vaccination.

Vaccinations and parasite control in dogs 12 weeks of age and older

- All dogs 12 weeks of age and older in the facility/establishment must have current vaccination against and treatment for the following by a veterinary practitioner:
 - Canine Distemper
 - Infectious Canine Hepatitis
 - Canine Parvovirus
 - Canine Cough (parainfluenza Type 2 and Bordetella bronchiseptica)
 - Heartworm
 - Internal and external parasites e.g. fleas and ticks

Guidelines

Signs of illness or injury for which veterinary treatment should be sought include but are not limited to:

- Runny nose
- Runny, discharging or inflamed eyes
- Repeated sneezing
- Coughing
- Vomiting
- Severe diarrhoea, especially if bloodstained
- Lameness
- Bleeding or swelling of body parts (other than the vulva of a female on heat)
- Inability to stand or walk
- Loss of appetite
- Weight loss, particularly if severe or sudden
- Apparent pain
- Fits, staggering or convulsions
- Patchy hair loss
- Bloating of the abdomen
- Difficulty or inability to urinate or defecate
- Red or brown coloured urine
- Depression
- Fever
- Any other serious physical or behavioural abnormality

Bitches in the last week of pregnancy should be inspected by animal attendants at regular intervals.

Breeding and Rearing

Standards

- Bitches must not be mated during their first oestrous cycle.
 - A dog must be physically and mentally fit, healthy and free of disease at the time of being mated.
 - All dogs must have a general health check by a veterinary practitioner prior to their first mating. Veterinary practitioners must provide a certificate to state that, at the time of examination, the dog is suitable to breed.
 - All female dogs must have a pre-mating check with a veterinary practitioner prior to each mating cycle.
 - All breeding females must have a general health check by a veterinary practitioner within 8 weeks post-partum, or an annual health check whichever is more frequent.
 - A dog must only be mated for up to seven (7) years after which time he must be retired, de-sexed, given basic training and socialisation in preparation for re-homing.
 - During mating breeding pairs must be isolated from the remaining breeding population and monitored by the person in charge on a regular basis to ensure the mating proceeds in a normal manner.
 - Mothers in the latter stages of pregnancy must be provided with additional access to food and water provided at frequent intervals.
 - Whelping bitches must be provided with a suitable whelping box lined with clean bedding changed daily.
 - Animals that are isolated from the remaining breeding population must be provided with additional attention and socialisation by animal carers.
 - Bitches must not have more than five (5) litters in total. After that time she must be retired, de-sexed, given basic training and socialisation in preparation for re-homing.
 - Lactating mothers must be provided with additional food and water.
 - Lactating mothers must be housed in such a manner that they are able to escape their young.
 - Puppies must not be separated from their litter or their lactating mother until they are seven (7) weeks of age to facilitate socialisation, except in the best interests of the puppy or their mother.
 - Solid food must be offered to puppies from three (3) weeks of age. Puppies must be monitored when first offered solid food to ensure that the food is acceptable and palatable.
- If necessary solid food may require moistening or softening to increase palatability.
- Puppies must be observed to ensure that they achieve a steady weight gain every week.

Guidelines

- Breeding practices should ensure that both breeding animals and the offspring they produce are physically and behaviourally sound and healthy as possible. Dog breeders have a responsibility to ensure that their breeding animals maintain the best quality of life possible and litters should only be produced with a reasonable expectation of finding homes where they are both wanted and appreciated and are offered a similarly good quality of life.
- Where a heritable disease is recognised in a breed and where there is screening procedures or a test for that disease, the person in charge in the case of a stud dog or bitch should:
 - Have a current official evaluation or test result for the dog for such hereditary disease.

- Provide the official evaluation or test result to the owners where the dog is to be mated to an animal not owned by the breeding facility/establishment.
 - Provide the official evaluation or test result of both the sire and dam to the new owners of any puppy.
 - Endeavour to ensure that the genetic make-up of both the sire and dam will not result in an increase in the frequency or severity of known inherited disorders.
- Breeding dogs should be selected to eliminate negative behavioural traits e.g. poor mothering ability or aggressiveness.
 - It is desirable to encourage puppies to urinate and defecate away from the nesting area. It is easier for dogs to learn this behaviour at a young age and animals with good toileting practices may make better pets
 - Dogs which are well socialised to human adults and children and with other animals will become well-adjusted companions. The best opportunity to socialise puppies to humans and other animals is before twelve (12) weeks of age.
 - Before any dog or puppy is sold the prospective owner should be advised that the breeder has taken all reasonable steps to ensure that the animal is physically and behaviourally healthy.
 - Breeders should consider the welfare of their breeding sires and dams when deciding on the best time to re-breed or to cease breeding their animals.
 - When dogs reach the end of their useful breeding life or when mature potential breeding stock is found to be in some way unsuitable for breeding purpose it is the responsibility of the owner to:
 - Have such dogs spayed or castrated.
 - Settle the dogs into their new conditions.
 - Either provide a pet home for the de-sexed dogs themselves or to canvass for and carefully select a new pet home for the animals.
 - Exercise patience and retain responsibility for the dog until such a time as a satisfactory new home is established.
 - After delivery of a litter the mother and young should be health checked by a veterinary practitioner and the birthing area should be cleaned and disinfected.
 - Any puppy which does not achieve a regular weight gain should be referred to a veterinary practitioner.
 - The correct paper work, including mating dates, sire's pedigree and any service agreements or litter registration forms, should be supplied to the owner/lessee of the bitch when she is collected after the mating or on payment of an agreed fee.

Note

The person in charge of the facility/establishment is reminded of the provisions of local and state legislation and codes of practice concerning dangerous dogs and restricted breeds.

Exercise, Socialisation and Environmental Enrichment

Standards

- All dogs and puppies in the facility/establishment must be given sufficient daily exercise in line with their age, health and breeding status which must be detailed in facility's/establishment's health management plan.
- Dogs must receive socialisation and environmental enrichment, recognising the physiological status and special needs of differing ages and species to ensure good psychological health.
- All dogs of all age and breeding status in both small and large facility/establishments must be provided with a minimum amount of daily exercise and enrichment.
- The minimum exercise time in an exercise enclosure or on a leash must be for one (1) hour two (2) times per day. Should the dog's normal enclosure/pen size exceed ten (10) times the PIAA size for enclosures/pens the minimum time in an exercise enclosure must be thirty (30) minutes two (2) times per day.
- All dogs must be provided with environmental enrichment whilst in the exercise enclosure for stimulation. All socialisation and enrichment sessions must be supervised by staff at all times.
- The number of animals to be socialised must be limited so as to allow sufficient one to one play time and handling with staff and the other animals during the session.
- An exercise and enrichment management plan must be established as part of the facility/establishment's health management plan specific to each breed/type of dog maintained at the business, including retired animals, taking into consideration climatic extremes.
- All activities must be monitored.
- Socialisation and environmental enrichment must include walking on a lead, basic obedience training (using positive reinforcement), retrieving, throwing a ball and allowing play with safe and hygienic play toys.
- Where dogs are housed continuously indoors dogs must be given one full exercise session per day in an outdoor exercise area weather permitting.
- Enrichment programs must include rotation of activities and must not be limited to only periods of exercise and handling.
- Dogs and puppies injured, ill or recovering from an ailment must be exercised under guidance of a veterinary practitioner.

Working Dog Breeding Businesses

- All working and guardian dogs must be provided with a minimum of two (2) 30 minute exercise sessions per day (at least two days apart), when the dog is not working/guarding livestock or training.
- On days when dogs are working/guarding livestock, there are no exercise or enrichment requirements.

Guidelines

- Toys, sand pits and other obstacles should be provided as part of the enrichment program and playing with staff can be considered part of daily handling.
- Toys and washable enrichment items should be washed with hot soapy water when soiled and disinfected when being transferred between pens/enclosures/exercise areas.

- Dishwashers are suitable for disinfection at a temperature of 65 degrees C or above using the appropriate dishwashing detergent in accordance with manufacturer's instructions.

Working Dog Breeding Businesses

- Puppies and lactating bitches that are not being used for working livestock should be provided with gentle exercise and enrichment twice a day.

Cat Management

- Each animal must be individually identified.
- Measures must be implemented to protect cats from distress or injury caused by other animals.
- Cats must be protected from distress or injury caused by interference by people.
- Cats may be distressed by the presence of other cats and dogs and must be housed in a manner that prevents visual contact and minimises or reduces olfactory contact.
- Cats must receive environmental enrichment recognising the physiological status and special needs of differing ages and species, to ensure good psychological health.

Housing

Standards

This section outlines the minimum standards required for keeping cats and kittens in breeding facilities/establishments. The accommodation, environment and security of animals should be of a standard which ensures their security, safety and wellbeing.

Vehicles, caravans, portable crates and the crawl space under any dwelling must not be used as permanent housing for cats.

All housing facilities must display emergency evacuation procedures in and near animal housing facilities in the facility/establishment. This may be near the front door of a place of residence or near the kennelling areas.

- Breeding facilities/establishments must have a continuous water supply, adequate to meet the daily requirements of the cats held.
- Breeding facilities must be designed, constructed, serviced and maintained in a way that provides for the good health and wellbeing of the animals and which prevents the transmission of infectious disease agents, the escape of animals and does not cause injury to either animals or humans.
- Where a facility/establishment houses both dogs and cats, cat housing must be a sufficient distance or otherwise isolated from dog housing to minimise the stress created by the sound, sight or smell of dogs.
- Cat housing in PIAA breeding member facilities/establishments must meet the minimum pen/enclosure sizes outlined in these Standards and Guidelines for Best Practice.
- Cats must not be exposed to extended contact with wet floors.
- Each cat must be provided with a suitable enclosed area where it can 'hide' from other animals and sleep.
- Sleeping areas for cats must have clean, hygienic, dry, soft bedding appropriate to the breed. Bedding must be sufficient for the number of animals held in each enclosure and must be sufficient to insulate them from the floor.
- Each cat must be provided with a litter tray which is at least 1.2 times the length of the cat. The tray must contain a sufficient depth of material e.g. commercial cat litter, sand, shredded paper, sawdust or shavings.
- Sleeping areas must be cleaned daily and disinfected weekly.
- Each cat must be provided with a separate bed or sufficient bedding material so that all animals can sleep comfortably at the same time.

Isolation housing

- A designated isolation area within the facility/establishment must be available for cats suspected of illness or having infectious diseases. If the facility/establishment does not have a dedicated isolation area, a written agreement with a veterinary practitioner must be in place for animals to be transferred to a veterinary hospital that can accommodate the animals.
- A documented and demonstrable biosecurity program must be in place for the isolation housing.
- Animals suspected or known to be suffering from infectious diseases must be transferred directly to the isolation housing unless a veterinary practitioner has given written assurance that it is appropriate for those animals to be housed with other animals in the facility/establishment.
- Cat isolation housing must be a sufficient distance or otherwise located away from dog enclosures to minimise the stress created by the sound sight or smell of dogs.

MINIMUM SIZES FOR CAT ENCLOSURES

Animal/s	Min. Floor Area (m2)	Min Height (cm)	Min. Width (cm)
Kittens* (+/- queen)	0.8	210*	60
Single Cat	0.8	210*	60
Cats (max 2)	0.8	210*	60
Socially compatible group housed in backyard or house	0.8 per animal with provisions made for vertical space		

***The module must contain at least 2 levels incorporating raised sleeping quarters. Access to all levels must be available through the provision of ramps, poles, steps or the like.**

Breeding Areas

- Cat breeding area must be located away from sources of excessive noise or pollution that could stress or injure the animals.
- Noise from stud cats or calling queens must be managed to comply with noise regulations and work, health and safety requirements and may be reduced by one or more of the following methods:
 - Providing lockable soundproof quarters in which the stud is held at night in compliance with noise regulations.
 - Locating the stud house inside another building or by taking advantage of as much shielding by existing walls and buildings as possible.
 - Providing the stud with companion cats, a more interesting run or more companionship such as relocations to where people, other cats and other animals can be regularly seen.

- Removing a calling queen from an outside pen and placing indoors in a pen which can also be further covered over at night.
- Taking the queen promptly to the stud (the stud being either entire or vasectomised).

Guidelines

Environmental temperature should be controlled to minimise distress to cats including the provision of heating or cooling particularly for old, young and pregnant animals if necessary. Particular attention should be given to protections to brachycephalic breeds**, especially against heat.

****Brachycephalic means short-faced**

Nutrition

Standards

- Cats must receive a balanced and complete diet which allows them to maintain good health and growth, recognising the physiological status and special needs of differing ages.
- Minimum quantity and nutritional quality of food must be detailed in the health management plan.
- All meals must be served in containers that have been cleaned and washed in hot soapy water before use and disinfected once a week.
- Clean water must be available at all times at a temperature, quantity and quality to meet the physiological needs of the cat and that the cat will drink.
- Water containers must be wide and shallow enough to hold sufficient water for all cats in their enclosure.
- For young kittens the container must be shallow enough to prevent injury or drowning.
- When multiple housed each cat must be provided with sufficient water and food containers to ensure all cats can feed and drink at one time should they choose to.
- The person in charge must ensure that all cats multiple housed are socially compatible to feed together and are able to eat a sufficient quantity of food without duress.
- All adult and adolescent cats must be fed a minimum of once daily.
- Pregnant and lactating queens must be fed at least twice daily or under clear instruction from a veterinary practitioner.
- Kittens 3 weeks of age to weaning must be provided with an appropriate food in a shallow food container according to the facility/establishment health management plan.
- Fully weaned kittens less than 16 weeks of age must be fed a minimum of 3 times daily and must not be left without food for a period of more than 12 hours.
- Kittens may share a food container.
- Kittens between 4 and 6 months must be fed a minimum of twice daily and must not be left without food for a period of more than 12 hours.
- Orphaned and pre-weaned kittens must be fed under the direction of a veterinary practitioner.
- When multiple housed each animal must be provided with their own food container. The person in charge must ensure all animals are socially compatible to feed together and are able to eat a sufficient quantity of food without duress.
- Food must be stored in sealed containers to prevent its deterioration or contamination by vermin.

- Fresh food must be refrigerated according to manufacturer's directions.
- A minimum of 5 days food must be held by the facility/establishment at all times to ensure food is available in the case of an emergency.
- Food containers must be non-spillable and made of material that can be disinfected and must not cause injury to the animals.

Guidelines

- Food should be prepared hygienically and served in clean containers.
- Food and water containers should be readily accessible to cats and kittens and be positioned to avoid spillage or contamination by urine or faeces.
- Food containers should be stable and non-toxic.

Health Care

Standards

- All cats, regardless of breeding status, must have a complete health check by a veterinary practitioner at least once per year or more frequently as directed by a veterinary practitioner.
- All cats must have a general health check by a veterinary practitioner prior to their first mating.
- All breeding females must have a general health check by a veterinary practitioner with 8 weeks post-partum.
- All health issues identified must be recorded in the animal's health record.
- All cats must be groomed regularly by brushing and the coat of long and medium haired cats must be brushed at a frequency sufficient to prevent coats becoming tangled or matted.
- All facilities/establishments must have an internal and external parasite prevention program in line with the health management plan.
- Cats must have their ears checked weekly and appropriate action taken to minimise ear infections.
- All cats must have their toenails checked and trimmed at a frequency that prevents them becoming overgrown.

Vaccinations and parasite control in cats under 12 weeks of age

- Puppies must be vaccinated for the following by a veterinary practitioner:
 - Infectious Feline Enteritis
 - Feline Respiratory Disease (Feline Calici virus and Feline herpes virus)
 - Internal and external parasites e.g. fleas and ticks
- First treatment/vaccine must not be given before 10 days of age.
- Vaccination certificates including dates of next treatment, details of the treatment required and a record of who administered the treatment must be signed by a veterinary practitioner at each vaccination.

Vaccinations and parasite control in cats 12 weeks of age and older

- All cats 12 weeks of age and older in the facility/establishment must have current vaccination against and treatment for the following by a veterinary practitioner:
 - Infectious Feline Enteritis

- Feline Respiratory Disease (Feline Calici virus and Feline herpes virus)
- Internal and external parasites e.g. fleas and ticks
- Vaccination certificates including dates of next treatment, details of the treatment required and a record of who administered the treatment must be signed by a veterinary practitioner at each vaccination.

Guidelines

Signs of illness or injury for which veterinary treatment should be sought include but are not limited to:

- Runny nose
- Runny, discharging or inflamed eyes
- Repeated sneezing
- Coughing
- Vomiting
- Severe diarrhoea, especially if bloodstained
- Lameness
- Bleeding or swelling of body parts (other than the vulva of a female on heat)
- Inability to stand or walk
- Loss of appetite
- Weight loss, particularly if severe or sudden
- Apparent pain
- Fits, staggering or convulsions
- Patchy hair loss
- Bloating of the abdomen
- Difficulty or inability to urinate or defecate
- Red or brown coloured urine
- Depression
- Fever
- Any other serious physical or behavioural abnormality

Queens in the last week of pregnancy should be inspected by animal attendants at regular intervals.

Breeding and Rearing

Standards

- Queens must not be mated during their first oestrous cycle.
- A cat must be physically and mentally fit, healthy and free of disease at the time of being mated.
- During mating breeding pairs must be isolated from the remaining breeding population and monitored by the person in charge on a regular basis to ensure the mating proceeds in a normal manner.
- Mothers in the latter stages of pregnancy must be provided with additional access to food and water provided at frequent intervals
- Kitting queens must be provided with a covered kitting box lined with clean bedding changed daily.
- Animals that are isolated from the remaining breeding population must be provided with additional attention and socialisation by animal carers.
- Queens must not have more than three (3) litters in any two (2) year period unless with the written approval of a veterinary practitioner.

- Lactating mothers must be provided with additional food and water.
 - Lactating mothers must be housed in such a manner that they are able to escape their young.
 - Kittens must not be separated from their litter or their lactating mother until they are seven (7) weeks of age to facilitate socialisation, except in the best interests of the kitten or their mother.
 - Solid food must be offered to kittens from three (3) weeks of age. Kittens must be monitored when first offered solid food to ensure that the food is acceptable and palatable.
- If necessary solid food may require moistening or softening to increase palatability.
- Kittens must be observed to ensure that they achieve a steady weight gain every week.

Guidelines

- Breeding practices should ensure that both breeding animals and the offspring they produce are physically and behaviourally sound and healthy as possible. Cat breeders have a responsibility to ensure that their breeding animals maintain the best quality of life possible and litters should only be produced with a reasonable expectation of finding homes where they are both wanted and appreciated and are offered a similarly good quality of life.
- Where a heritable disease is recognised in a breed and where there is screening procedures or a test for that disease the person in charge in the case of a stud cat or queen should:
 - Have a current official evaluation or test result for the cat for such hereditary disease.
 - Provide the official evaluation or test result to the owners where the cat is to be mated to an animal not owned by the breeding facility/establishment.
 - Provide the official evaluation or test result of both the sire and dam to the new owners of any kitten.
 - Endeavour to ensure that the genetic make-up of both the sire and dam will not result in an increase in the frequency or severity of known inherited disorders.
- Breeding cats should be selected to eliminate negative behavioural traits e.g. poor mothering ability or aggressiveness.
- It is desirable to encourage kittens to urinate and defecate away from the nesting area. It is easier for cats to learn this behaviour at a young age and animals with good toileting practices may make better pets.
- Cats which are well socialised to human adults and children and with other animals will become well-adjusted companions. The best opportunity to socialise kittens to humans and other animals is best achieved before seven (7) weeks of age.
- Before any cat or kitten is sold the prospective owner should be advised that the breeder has taken all reasonable steps to ensure that the animal is physically and behaviourally healthy.
- Breeders should consider the welfare of their breeding sires and dams when deciding on the best time to re-breed or to cease breeding their animals.
- When cats reach the end of their useful breeding life or when mature potential breeding stock is found to be in some way unsuitable for breeding purposes it is the responsibility of the owner to:
 - Have such cats spayed or castrated.
 - Settle the cats into their new condition (ex-stud cats require considerable patience and care but can become excellent candidates for pet homes).

- Either provide a pet home for the de-sexed cats themselves or to canvass for and carefully select a new pet home for the animals.
 - Exercise patience and retain responsibility for the cat until such a time as a satisfactory new home is established.
- When cats are housed together for the purposes of mating the animal attendants should endeavour to ensure that:
 - The queen and stud are both eating and using the litter tray.
 - The animals have separate beds and are able to get some rest.
 - The animals have actually mated.
 - The stud has an easy accessible shelf on which to jump after mating the queen to enable him to escape her claws.
- After delivery of a litter the mother and young should be health checked by a veterinary practitioner and the birthing area should be cleaned and disinfected.
 - Any kitten which does not achieve a regular weight gain should be referred to a veterinary practitioner.
 - The correct paper work, including mating dates, sire's pedigree and any service agreements or litter registration forms, should be supplied to the owner/lessee of the queen when she is collected after the mating or on payment of an agreed fee.

Socialisation and Environmental Enrichment

Standards

- Cats must receive environmental enrichment, socialisation and handling to recognising the physiological status and special needs of differing ages and species to ensure good psychological health.
- All cats of all age and breeding status must be provided with a minimum amount of daily socialisation, handling and enrichment.
- An enrichment, socialisation and handling management plan must be established, in consultation with a veterinary practitioner, as part of the facility's/establishment's health management plan.
- Enrichment must include the provision of climbing and perching areas, scratch poles, hides, toys that they can roll and pounce on.
- Toys must be rotated weekly and made of materials that can be washed in hot soapy water and disinfected or are disposable.
- Cats and kittens must be exposed to items that stimulate their senses e.g. catnip and cat grass.
- Cats and kittens injured, ill or recovering from ailment must be under guidance of a veterinary practitioner.

Guidelines

When grooming an animal particular attention should be given to their eyes, nose, ears, claws and teeth.

Sale and Transfer of Ownership of Animals

Standards

- Breeders must only sell their own puppies and kittens and not act as an agent or broker for other breeders.
- Puppies and kittens under the age of 8 weeks of age must not be sold from a breeding facility/establishment.
- All animals being sold from a breeding facility/establishment must be accompanied by a breeder health guarantee (see below).
- All animals being sold must have current vaccination status.
- All dogs and puppies, cats and kittens re-homed must be microchipped, and treated to remove gastrointestinal parasites prior to release.
- No dog, puppy, cat or kitten suspected of being sick, injured or diseased may be sold under any circumstances.
- At the time of purchase clients must be offered accurate written information at no charge which concerns the care of animals purchased. (see additional information in guidelines below*)
- Purchasers of animals de-sexed prior to sale must be provided with a copy of the de-sexing certificate.

Guidelines

- *Information required to be offered at the time of purchase should include information about:
 - General care requirements of the species including appropriate diet and feeding regimes.
 - Usual life span of breed/species.
 - Minimum requirements for humane shelter and accommodation.
 - Minimum requirements for social contact with humans and other animals of the same species.
 - Minimum requirements for disease and parasite control/prevention.
 - How to identify and appropriately manage common diseases.
 - Procedures for seeking emergency treatment for the dog or cat and the value of establishing a relationship with a veterinary practitioner and/or animal behaviourist or other experienced person.
 - The estimated costs associated with providing food and shelter for the dog or cat.
 - Routine veterinary treatment which may be required for the animal(s) e.g. vaccination or parasite control.
 - Maximum time a dog or cat can be left unattended.
 - The expected behaviours of the species or breed e.g. digging or scratching.
 - Information about the legal requirements for pet ownership and the penalties for non-compliance.
 - The dog or cat's vaccination status and the need for ongoing vaccinations.
 - The desirability and advantages of de-sexing dogs and cats.
 - Minimum requirements for exercise.
 - Costs associated with registering the dog or cat.
 - Other information which is reasonable that the purchaser must be aware of.
- All advertisements for dogs and cats for sale should include the microchip number and the vaccination status of the animal.

- De-sexing of dogs and cats not intended for breeding is strongly encouraged.
- All facilities/establishments which re-home dogs and cats should assist in promoting socially responsible pet ownership in the community.
- Policies, procedures and staff training should be implemented which ensure that prospective buyers are matched to suitable dogs and cats. Such matching should consider the characteristics and lifestyle of the buyer, the type and behavioural attributes of the animal including exercise requirements and the environment of the new home, including yard size and presence of children.
- Sick, aggressive, pregnant, unweaned, poorly socialised or deformed dogs and cats or animals with known vices such as excessive barking, fence jumping (dogs) should not be made available for re-homing.
- Important information about the individual dog or cat, such as health care history, should be provided to the new owner of any animal sold.
- New owners should be encouraged to seek advice about care, management and training issues from veterinary practitioners or other people with appropriate expertise.
- When possible breeders should participate in breed placement programs to assist pounds and shelters in the re-homing of surrendered dogs and cats.
- Dogs or cats should not be sold to inappropriate purchasers.

Guarantee/Return Policy

- If within 3 days a dog or cat is not acceptable to the purchaser for any reason (not supported by a statement from a veterinary practitioner), the breeder is required to take the dog or cat back and refund 75% of the purchase price of the animal. The guarantee must be provided in writing to the purchaser at the point of sale.
- Where a cat or dog is returned within 21 days of sale accompanied by a statement from a veterinary practitioner and is not acceptable to the purchaser due to health reasons, excluding injury, the establishment must take back the animal and refund 100% of the purchase price.
- The return guarantee/return policy must be displayed in a prominent position on the wall or counter of the facility.
- If an animal dies or is euthanased (within a period of no more than three (3) years of its birth) as a result of a disease that is traceable to the point of sale and is verified by a veterinary practitioner, the person in charge will refund the purchase price or offer a replacement animal with the same guarantee.
- Where an animal is returned and there is a reasonable suspicion of animal abuse, the person in charge must immediately report this to the authorities.

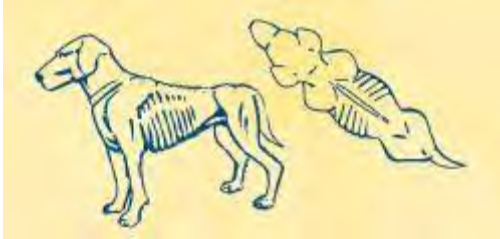
Note

The person in charge of the facility/establishment is reminded of the provisions of the NSW Companion Animals Act 1998 and all other local, state and commonwealth legislation and codes of practice concerning dangerous dogs and restricted breeds concerning notification of change in registration information.

Appendix 1

DOG CONDITION SCORE CHART

Emaciated



- Individual ribs, spine and pelvis prominent and evident from a distance.
 - Lack of muscle mass.
 - Little or no body fat.
 - Rump hollow.
 - Waist prominent when viewed from above.
 - Abdomen obviously tucked up.
 - Neck thin.
 - No fat on tail.
- Veterinary advice must be sought.

Thin



- Ribs, spine and pelvis bones visible and easily felt.
- Little body fat.
- Neck thin.
- Abdomen tucked up.
- Little fat on tail.
- Obvious waist when viewed from above.

Increase feeding and worm dog if not wormed recently. (ensure all-wormer used – some products do not cover all worms). Seek veterinary advice if dog remains underweight or unsure of feeding or worming regime.

Ideal



- Ribs and spine can be felt, last few ribs may be visible.
- Dog should have a waist when viewed from above.
- Belly is tucked up when viewed from side.
- Good muscle mass.
- Rump well muscled.

Overweight



- Ribs and spine not visible but can be felt.
- Fat deposit on tail.
- Little or no waist when viewed from above, rounded appearance, back appears broadened.
- Dog squarish along back line when viewed from side.
- Abdomen not tucked up, may appear rounded underneath.

Reduce feed intake or provide lower calorie feed. Increase exercise. Seek veterinary advice if unsure of appropriate diet or concerns over exercise regime.

Obese

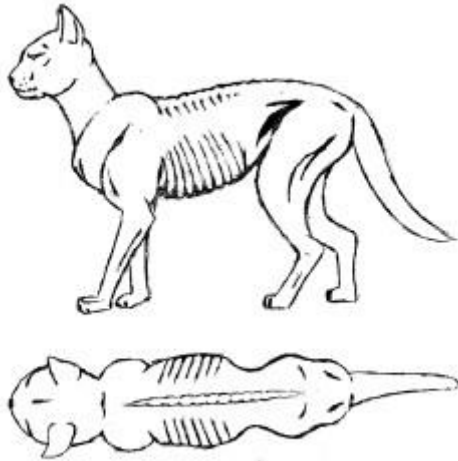


- Ribs and spine not visible and difficult to feel.
- Tail has obvious fat deposit.
- No waist and back broadened when viewed from above.
- Belly obviously rounded and possibly distended.
- Dog square or rounded up along back line when viewed from side.
Seek veterinary advice on diet and exercise regime.

Appendix 2

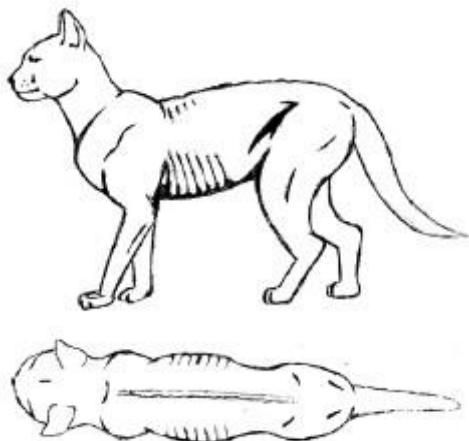
CAT CONDITION SCORE CHART

Emaciated



- Individual ribs, spine and pelvis prominent and evident from a distance
- Lack of muscle mass
- Little or no body fat
- Rump hollow
- Waist prominent when viewed from above
- Neck thin
- No flank fold (under belly), abdomen very tucked up **Veterinary advice must be sought.**

Thin



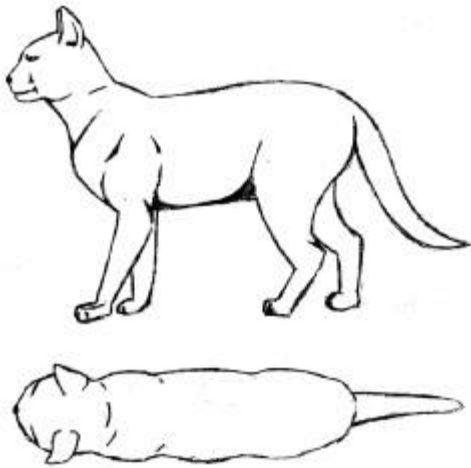
Ribs, spine and pelvis bones visible and easily felt

- Little body fat
- Neck thin

- No flank fold (under belly), abdomen tucked up
- Obvious waist when viewed from above
Increase feeding and worm cat if not wormed recently (ensure all-wormer used – some products do not cover all worms).

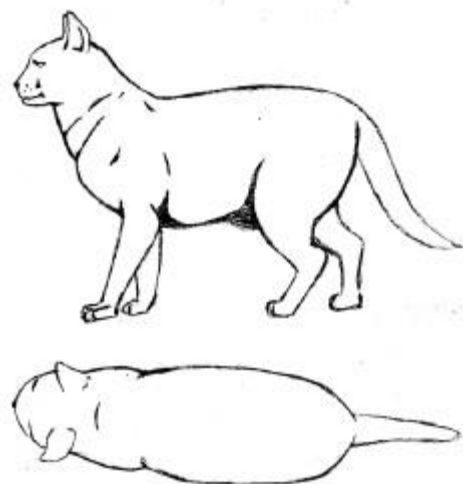
Seek veterinary advice if cat remains underweight or unsure of feeding or worming regime.

Ideal



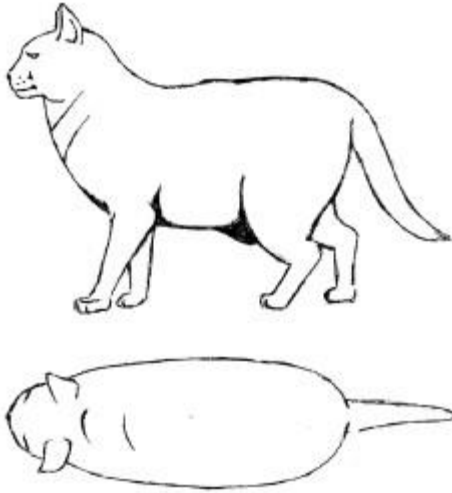
- Ribs and spine can be felt, last few ribs may be visible
- Flank fold (under belly) may be visible from side
- Cat should have a waist when viewed from top
- Good muscle mass

Overweight



- Ribs and spine not visible but can be felt
 - Little or no waist when viewed from above, rounded appearance
 - Flank fold (under belly) clearly visible and will wobble when cat moves. Belly and chest rounded
 - Large ventral fat pad covering hind legs
- Reduce feed intake or provide lower calorie feed. Consider options to increase exercise level of cat.

Obese



- Ribs and spine not visible and difficult to feel
- Tail has obvious fat deposit
- No waist and back broadened when viewed from above
- Flank fold (under belly) hangs down and will sway when cat moves, belly and chest very rounded **Seek veterinary advice on diet and exercise regime.**

2017/394/098

**Fw: Over 5,000 Signatures Against DA2017/394**

mayor to: Group Records
Sent by: **Wendy MacDougall**
Cc: Neil Southorn, David Sherley

08/01/2018 02:33 PM

From: mayor/BathurstCC
To: Group Records
Cc: Neil Southorn/BathurstCC@BathurstCC, David Sherley/BathurstCC@BathurstCC
Sent by: Wendy MacDougall/BathurstCC

From: Alex Vince <alex@animal-lib.org.au>
To: graeme.hanger@bathurst.nsw.gov.au
Date: 08/01/2018 01:55 PM
Subject: Over 5,000 Signatures Against DA2017/394

Dear Mayor Hanger,



I write to inform you that [the petition](#) calling on Bathurst Regional Councillors to reject **DA2017/394** ('*Rockley Valley Park Pty. Ltd.* ') has recently reached **over 5K signatures**.

I will continue to inform you of further developments.

Kind Regards,

--

Alex Vince

Outreach Co-ordinator
Animal Liberation

Suite 506/89 York Street
SYDNEY NSW 2000
Office: (02) 9262 3221
Web: <http://www.animal-lib.org.au/>

[Report this message as spam](#)

SUBMISSION TO BATHURST REGIONAL COUNCIL

ROCKLEY VALLEY PARK PTY. LTD.
DA2017/394

January 2018

Animal Liberation
WWW.ANIMAL-LIB.ORG.AU

CAN 66 002 228 328 | CFN 11637
506/89 York Street Sydney NSW 2000
P +61 2 9262 3221 | F +61 2 9262 6336
sydneyhq@animal-lib.org.au



ABOUT ANIMAL LIBERATION

ANIMAL LIBERATION is Australia's longest-running animal advocacy organisation with a history of achieving positive and permanent change in the lives of animals. Founded in 1976 by Christine Townend, and based on the philosophies set out by Prof. Peter Singer in his best-selling book of the same name, ANIMAL LIBERATION believes that all animals have the right to live free from human intervention.

OUR GOAL

As societies throughout time have had to fight for the rights of oppressed and minority groups to challenge dominant social views, the animal rights and advocacy movement of the 21st century stands as the greatest modern social change movement. ANIMAL LIBERATION intends to fight for all animals until they live lives of their own choosing, free from harm, use, or abuse by humans.

Our mission statement is *to work toward the end of suffering of exploited and confined animals, through legislation, consumer advocacy, action, and humane education.*

OUR WORK

ANIMAL LIBERATION pursues these goals via education campaigns, public events, and the utilisation of the media. We run an 1800 Cruelty Hotline for people to report neglect and cruelty - over a period of eight years this service has assisted hundreds of thousands of animals. Further, the development of campaign strategies are designed to influence changes in law and consumer behaviour whilst complimenting our ongoing research, investigations, and evidence-gathering.

Esteemed Councillors,

The following submission acknowledges that Australia is arguably the world's most avid dog-loving nation. It notes that the *Australian Veterinary Association (AVA)* estimates that there are approximately 20 dogs for every 100 humans, and an astonishing 38% of Australian households are known to feature at least one canine (AMA 2016). Many of these animals are considered to be a part of the extended or interspecies family. Yet, we are also a nation that continues to permit the unnecessary breeding of animals for profit. DA2017/394, submitted by Rockley Valley Park Pty. Ltd., is a case in point. This proposal seeks to make profit off the commercial production of companion animals.

Unfortunately, Australia has a large population of unwanted pets (see, for instance, the article in the local *Western Advocate*, 'Sad side of Christmas as Bathurst Pound fills up with surrenders,' published only days after Christmas). The lack of transparency and total absence of any national oversight system for the monitoring of canines entering pounds, shelters or rescue facilities across the country, and their fates, means that there is an unknown number of animals surrendered or abandoned each year. Estimates vary as data is often incomplete or unavailable.

Aside from posing significant and avoidable risks to animal welfare, the proposed DA threatens several ecological and environmental amenities or services. The following submission briefly relates these matters within the Councillors portfolio. As such, the following seeks to provide Bathurst Regional Council (hereafter, 'BRC') with a series of rationales - each drawn from either internal Council policy and/or procedural documents or State or Commonwealth legislation - culminating in a case against **DA2017/394** ('Rockley Valley Park Pty. Ltd.').

Ultimately, this submission holds that BRC must reject **DA2017/394**.

Animal Liberation welcomes the opportunity to respond to the Applicants' proposal and thanks Bathurst Regional Council for the professionalism exhibited in all matters dealing with this issue.

Alex Vince

Outreach Co-ordinator
ANIMAL LIBERATION



1.1 | “GETTING IT RIGHT”

STRATEGIC PLANNING, PRECAUTION & PRINCIPLES

1.1.1 | Given the nature, scope, and potential ecological and environmental outcomes associated with **DA2017/394**, BRC is advised to adopt precautionary behaviour as it applies to the currently discussed DA.

BRCs commitment to the framework of precautionary behaviour (see the multi-Council *Environmental Sustainability Action Plan 2007/08*) obliges Councillors to consider state and Commonwealth legislation in conjunction with internal Council policies and procedures as it applies to development. Thus, a precautionary principle is familiar to Council (see, for instance, the Council-specific *Sustainability Action Plan*, the *Biodiversity Management Plan*, the *Vegetation Management Plan*, and the precautionary principles provided for by the relevant State legislation, the *Environmental Planning & Assessment Act 1979* or the *Environmental Planning & Assessment Regulation 2000*).

This submission maintains that documentation and evidence provided to Council by the Applicant (‘Rockley Valley Park Pty. Ltd.’) is inadequate and misrepresents the extent of the threat posed by its proposal. To the credit of BRC, policy and procedure as it relates to DA proposals and associated ecological impacts have been created and are in operation. For example, the *Biodiversity Management Plan 2012* (hereafter, ‘the BMP’). Created following the signing of a Memorandum of Understanding (MoU) between multiple local councils and the granting of \$2 million to the Bathurst-Orange-Dubbo (BOD) Alliance, the BMP cites “issues of ecologically sustainable development and biodiversity conservation” as critical issues for Councillors (Mactaggart & Goldney 2012: ii). According to the Plan, Bathurst took “the lead on biodiversity for the project [the Alliance]” and goes on to cite the adoption of the BMP as a valuable tool to be used in ensuring “ecologically sustainable development (ESD) and biodiversity conservation [remain] regarded as core business for local councils” (Mactaggart & Goldney 2012: 2). “Ecologically sustainable development,” in other words, is a prime function of BRC. ESD, like precautionary behaviour, is thereby a concept BRC is familiar with. Given its presence alongside the precautionary principle in several Council Plans (e.g., BRC Vegetation Management Plan 2003: 16, 52-53), it is acceptable to expect BRC to apply these policies to **DA2017/394**.

The nature, utility, and location of the proposed facility

Crucially, the BMP cites the quality of Statements of Environmental Effects (SEEs) as a key issue or challenge to BRC. According to the BMP, these reports are “submitted in support of development applications” and they “vary widely”. That is, the quality of SEEs are not uniform. As a result of this, decisions made on the basis of incomplete or negligent SEEs “may, therefore, be based on *flawed or incomplete information*” (emphasis added) (Mactaggart & Goldney 2012: 156-158). To remedy against this potentiality, the BMP cites strategic planning (“getting it right”) as a main issue stemming from prior inappropriate land use practices due, in part, to the “limited access [BRC has] to reliable biodiversity data” to inform critical decisions (Mactaggart & Goldney 2012: 158). This submission holds that available data suggests the DA submitted by the Applicant is lacking in evidence, or as it applies to a threatened species, is entirely incognisant of the available evidence or its importance. This is not to discredit Council. Rather, it is included to assist BRC in achieving the goals discussed in the BMP, its forerunner the *Environmental Sustainability Action Plan 2006/08* (ESAP), and other relevant policies or legislation. Crucially, the BMP accommodates wider community involvement in the “adoption and undertaking of the strategies, actions and recommendations” it outlines (Mactaggart & Goldney 2012: viii).



1. 1. 2 | The BMP, State and Commonwealth legislation, and community sentiment suggest BRC is obliged to reject **DA2017/394**. The following section outlines a key threat associated with the proposal that the Applicant has failed to transparently, reliably, or adequately address. As such, we call on Council’s stated commitment to **precautionary behaviour**.

Prior to the development and adoption of the BMP (2012), BRC had prepared a *Biodiversity Management Issues Paper* in 2010. This historical adoption of measures designed to promote best practice biodiversity management indicates a Council commitment to ensuring transparency and appropriateness. For instance, the multi-Council ESAP states that, “where there are threats of serious or irreversible environmental damage, *lack of full scientific certainty is not considered a valid reason for postponing measures to prevent environmental degradation*” (emphasis added). The document characterises this as “precautionary behaviour” (BRC ESAP 2007: 7).

This suggests, in conjunction with other applicable and binding policies, procedures, and pieces of legislation, that a SEE attached to a DA submitted to Council containing contradictory or unclear claims that do not appear to signal certainty, the threat of

environmental damage then takes precedence. This is largely due to historical and ongoing pressures on ecosystems stemming from inappropriate land use practices. Thus, the 2012 BMP acknowledges that “widespread clearing, land use change and habitat modification since European settlement has put huge pressures on many ecosystems in the region causing their widespread degradation or their virtual disappearance” (Mactaggart & Goldney 2012: iii).

Despite maintaining that Koalas have not been sighted in the vicinity of the proposed facility (Applicants’ DA: 12), the DA provides a provision should a Koala be sighted. That is, although maintaining that no koalas have been seen (residents and Government data disagree on this point), the DA states that “dogs should be excluded from that particular kennel and WIRES [NSW Wildlife Information, Rescue & Education Service Inc.] should be called”. This is grossly insufficient given the potential threat under consideration. As BRCs *Rural Strategy* states, in relation to State Environmental Planning Policy (SEPP) no. 44 (Koala Habitat Protection), “development cannot be approved in an area affected by the policy without an investigation of core koala habitat” (BRC 2008: 35). To date, the Applicant has failed to adequately address this issue.



1. 1. 3 | Data obtained via consultation with the Office & Environmental Heritage (OEH) ‘Bionet Wildlife Atlas’ portal indicates **the presence of Koalas** directly adjacent to the proposed site. Coupled with the precautionary measures BRC is obliged to take, this suggests Council is required to reject or require further (evidence-based) documentation regarding **DA2017/394**.

A series of mechanisms exist to assist the decision-making process as it relates to environmental damage and/or threat. BRC maintains that, “*the requirement for a Flora & Fauna report is triggered in the following circumstances, but not limited to: - the potential, or actual clearing, of native vegetation (including native grasslands) associated with the erection or a dwelling, construction of a boundary fence or other activity being conducted, or - development or activity that may have an impact on a threatened species, or its habitat or on an Endangered Ecological Community (EEC), or any protected native flora or fauna, or - significant changes to the use of the land*” (BRC n.d.). As BRCs ‘Guideline for Flora and Fauna Reports’ explains, “a Threatened species and ecological communities can be protected under both NSW law [i.e., the *Threatened Species Conservation Act*] and Commonwealth law [i.e., the *Environmental Planning & Assessment Act*]” (BRC 2011).

Koalas (*Phascolarctos cinereous*) were listed as a vulnerable species under the *Threatened Species Conservation Act 1995* (Sch. 2) until its replacement in August 2017 by the *Biodiversity Conservation Act 2016*. They are similarly listed as vulnerable under the *Commonwealth Endangered Species Protection Act 1992* and are currently listed under the *BC Act 2016* (Sch. 1). Koalas are thus “considered to be threatened nationally”

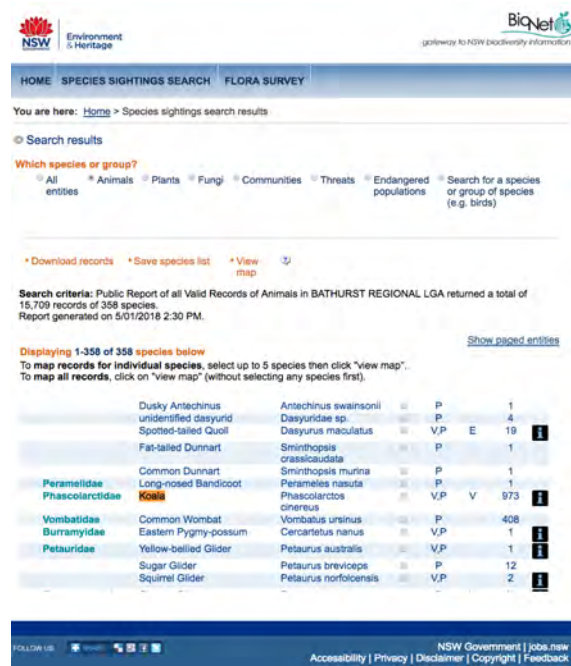
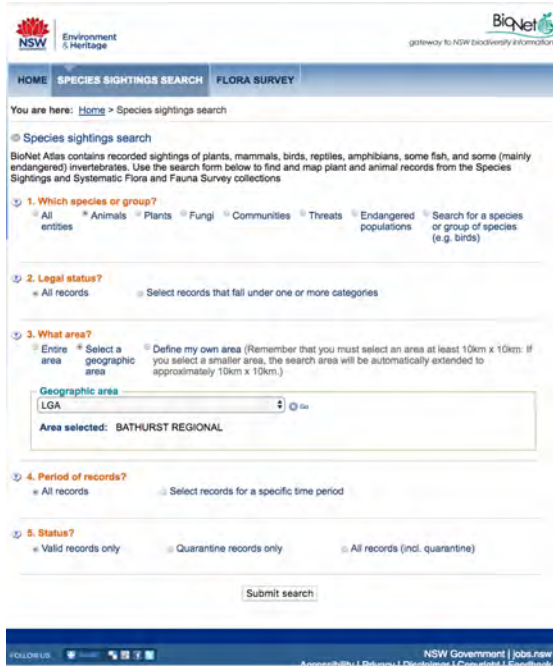


Fig. 1 (L) & Fig. 2 (R): *Bionet* Portal homepage (L) and data search page (R) (images taken from personal searches, NSW OEH 2018).

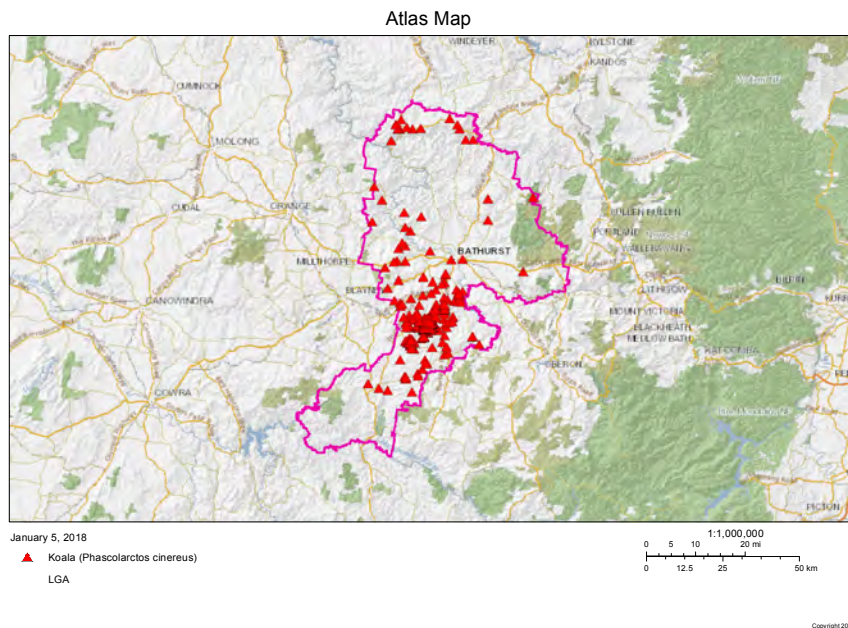


Fig. 3 (Above): OEH data illustrating known Koala locations in the Bathurst LGA (images taken from personal searches, NSW OEH 2018).

By referring to data obtained via reference to the OEHs *Bionet* 'Wildlife Atlas' Portal, it became apparent that Koalas have been sighted in the areas surrounding the proposed site (see previous page, Fig. 3). This indicates the presence of Koala feeding trees in the area. Any additional disturbance or habitat manipulation has the potential impact of fragmenting the land, thereby forcing the Koalas to "travel through cleared areas where they are vulnerable" to car collisions or dog predation (NSW OEH 2008). However, in a more detailed study and by overlaying maps provided by the Applicant it becomes apparent that Koalas have been sighted *directly adjacent* to Lot 2190 (the proposed site).

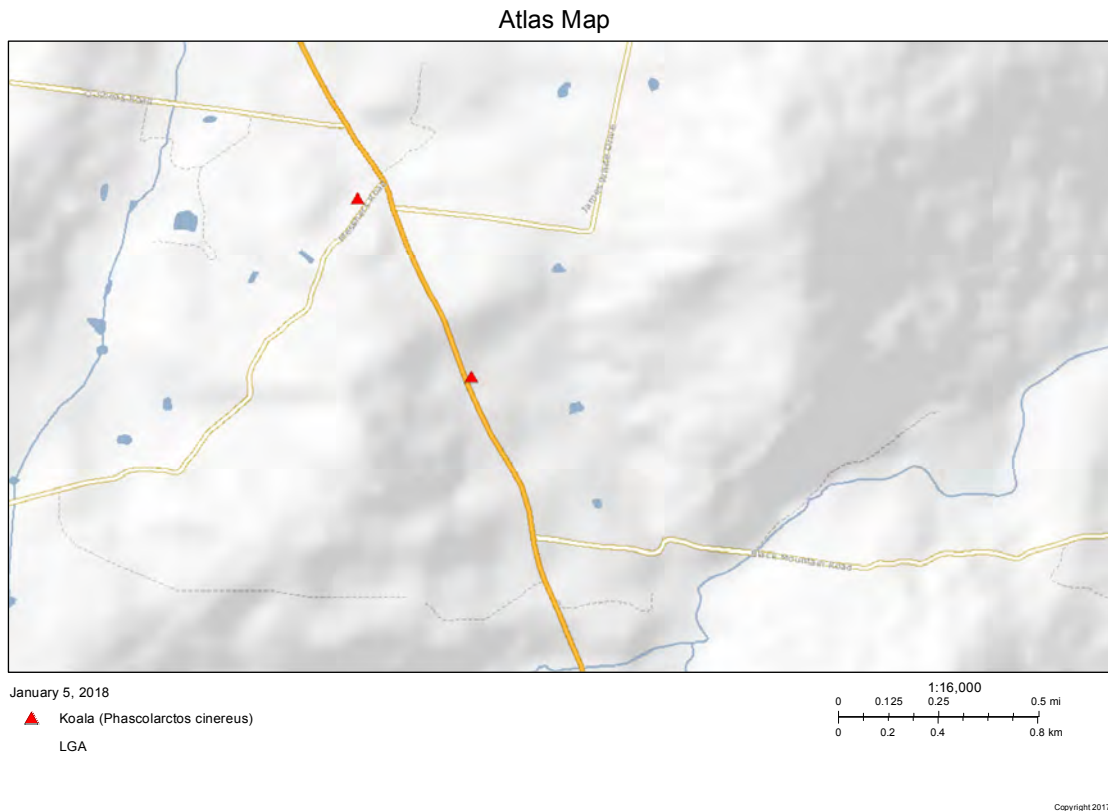


Fig. 4: Close-up of proposed site location (taken from Fig. 3) (image taken from personal searches, NSW OEH 2018).

In obtaining this data, it is suggested that BRC is obliged to uphold the responsibilities outlined above. In particular, duties taken in relation to environmental protection and development as they appear in several policies and documents (e.g., the BMP 2012) indicate a "triggering" combination of potential impacts associated with **DA2017/394**. This is pronounced when site maps provided by the Applicant are overlaid Fig. 4 ("close-up of proposed site location") and confirmed by the sighting allocation (Fig. 5 - OEH sighting described as "Adjacent to Lot 2190"). Figures 6-9 (see the appendix) illustrate the proximity of the proposed site and the officially collated Koala sighting.

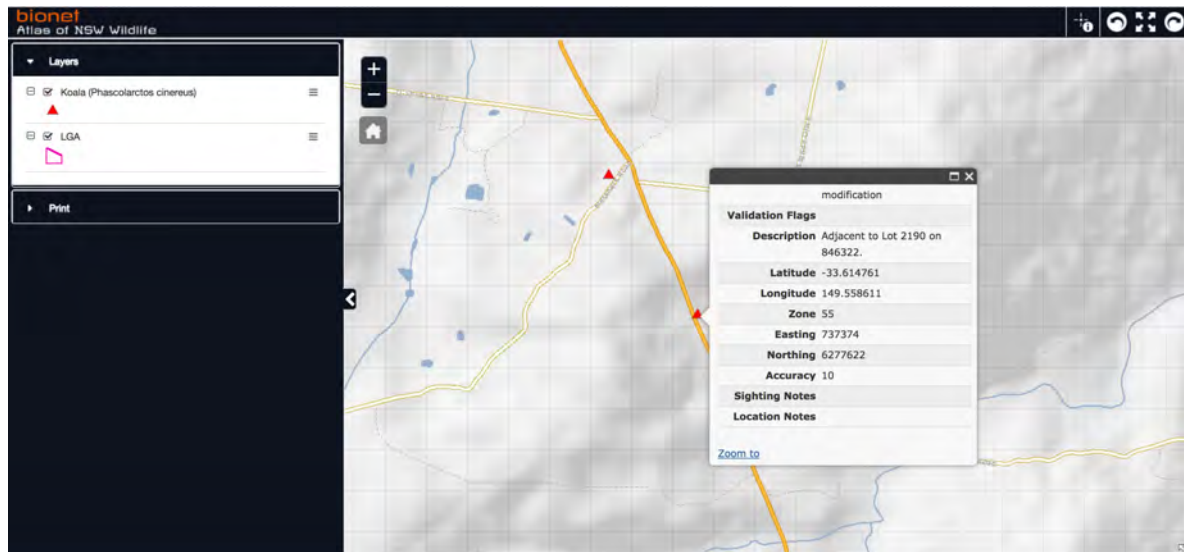


Fig. 5: OEH sighting described as “Adjacent to Lot 2190” (image taken from personal searches, NSW OEH 2018).

The proposed parcel of land (Lot 2190) is positioned in close proximity to known Koala feeding trees. The presence of these valuable trees is acknowledged in the SEE (DFP 2017: 12), yet maintains that the relative absence of trees within the confines of Lot 2190 (the proposed site) means that “there is no potential for habitat for koalas” (DFP 2017: 12). However, records obtained via consultation with the NSW Office of Environment & Heritage (OEH) Bionet Wildlife Atlas (see above and Figures 3-5) show the presence of Koalas *directly adjacent* to Lot 2190. Existing Council documents applicable to the current DA (including those cited by the Applicant in DFP 2017: 12-17) must therefore consider the presence and threat posed to this species as required by the instruments detailed above.

Council is urged to apply the principles it has previously committed to by finding the Applicants DA incomplete and likely to result in decisions based on “flawed or incomplete information” (Mactaggart & Goldney 2012: 156-158). For instance, information provided by Government-sourced data sets (i.e., the presence of Koalas *directly adjacent* to Lot 2190) invalidates the Applicants claim that “there is no potential for koalas”. The presence of a threatened species, in a LGA committed to protecting their ongoing existence in the area. Under SEPP No. 44, for example, “core koala habitat” refers to “an area of land with a resident population of koalas, evidenced by attributes such as breeding females (that is, females with young) and *recent sightings of and historical records of a population*”. Whilst the gender of the Koala sighted adjacent to the proposed site is unknown, it’s presence is a recent sighting and one that may (with the required research) reflect an ecological community.

ANIMAL LIBERATION

CAN 66 002 228 328 | CFN 11637
 506/89 York Street Sydney NSW 2000
 P +61 2 9262 3221 | F +61 2 9262 6336
 sydneyhq@animal-lib.org.au



With adequate research, the SEE provided by the Applicant would have become aware of the presence of a threatened species in such proximity to the proposed site. However, this does not attract any allowances under law. *SEPP no. 44* requires a Council as consent authority to “satisfy itself whether or not the land is a potential koala habitat” (emphasis added). Under s74B of the *EP&A Act*, BRC is the sole consent authority. Thus, the above suggests that the testimonial provided in the SEE contradicts evidence. The presence of a threatened species directly adjacent to Lot 2190 implies that the surrounding land is, or may be, “potential habitat” as per *SEPP no. 44*. The only avenue via which a council, BRC as consent authority in the present case, may satisfy itself of this is by evidence obtained “from a person who is qualified and experienced in tree identification”. To date, no reports or studies by a person “qualified and experienced in tree identification” has been provided.



1. 1. 4 | BRC is urged to **refuse DA2017/394** on these grounds and by direct utilisation of pre-existing Council policy. The reference to incomplete or misleading SEEs in the 2012 BMP (see p. 2 of this document) is particularly applicable to **DA2017/394**. If applied in conjunction with other required legislation, Council is required to reject DA2017/394.

These considerations suggest the proposed DA is obliged to include (or add) a Threatened Species Assessment and a Flora and Fauna Report (*EP&A Act*, *EPBC Act*, *TSC Act*). The absence of such documentation in the DA or provided as an appendix suggests that the Applicant has neglected to adequately consider the ramifications of such a project. The acknowledgement of having “limited access” to such data further suggests that data obtain from Government sources requires adherence to policies designed to protect habitat (e.g., *SEPP no. 44*). Animal Liberation urges Bathurst Regional Council to apply these sensible policies as they relate to **DA2017/394**.

Given that the proposed site is directly adjacent to a known Koala sighting and adjoins valuable Koala feeding trees, Council is urged to reject **DA2017/394** in accordance with the policies and procedures outlined above. Further, as the site is identified as containing Category 1 bushfire prone land vegetation and high biodiversity significance, approval of the proposed DA presents unnecessary and avoidable risks to the environment, native and threatened species, and unhindered community access to amenities.

2. 1 | COUNTING THE COST THE IMPACT VERSUS THE PROFIT

2. 1. 1 | Given the nature, scope, and potential ecological and environmental outcomes associated with **DA2017/394**, BRC is advised to adopt **precautionary behaviour** as it applies to the currently discussed DA.



Aside from the concerns associated with threatened species protection listed above, the proposed facility threatens the amenities and services of citizens. Currently, these citizens enjoy unhampered access and unimpeded enjoyment of their property. The following section outlines the rationales for refusing **DA2017/394** on additional grounds.

Facilities that keep canines in confinement are known for vocalisation. Kennels, pounds, shelters, and breeding facilities are recognised for the barking, whining, howling and yelping. In NSW, between 2004 and 2008 approximately 69% of noise complaints received by Council were about barking dogs (NSW EPA 2013), placing dog-barking in the top three noise annoyances. Previous studies have shown that barking is considered a “nuisance” at distances up to 500m. However, some cases were registered at over 800m from the source (Brosnan & Pritchard 2016). The closest neighbouring dwelling is approximately 480m from the proposed facility. From this it is evident that the residents and other sensitive receivers (ring-tailed possums or sugar gliders, for example) will be impacted upon. Similarly, the current noise level amenity within the area will be affected. An owner of a neighbouring property has since stated that the acoustic report provided by the Applicant is unreliable, citing poorly positioned sensors when the testing was done (Chamberlain 2017).

ANIMAL LIBERATION

CAN 66 002 228 328 | CFN 11637
506/89 York Street Sydney NSW 2000
P +61 2 9262 3221 | F +61 2 9262 6336
sydneyhq@animal-lib.org.au



The proposed location is characterised as “rural”. This implies that the current acoustical environment consists primarily of natural sounds. From the findings in the Acoustical Assessment (RSA 2017), the proposed facility appears to pose no threat to amenity to the surrounding neighbours. However, it appears that the testing was done under the assumption that there will not be “excessive barking” (RSA 2017: 8) as the dogs will be in a “comfortable environment” (RSA 2017: 8), will receive “behaviour training” (RSA 2017: 8) and will have “grown up together” (DFP 2017: 15). However, the Manager of the proposed facility cannot guarantee that the dogs will not cause noise annoyance to surrounding neighbours (barking can occur for a number of reasons, including calling/responding, or as a response to external stimuli).

The production of noise also implies degrees of sound. Previous data indicates that the loudest single dog bark can have a level of 85dB, greatly exceeding the criterion of 30dB for day time, 21dB in the evening, and 28dB at night. The report also mentions that sixty dogs barking collectively can produce 100dB of sound power. However, this accounts for only the breeding females and does not consider the males that will be at the facility (RSA 2017: 8). Previous studies have shown that during the day noise in dog shelters and training establishments often exceeded 125dB (Sales et al. 1997).

The presence of a large number of dogs suggests that the Applicants has not considered the ability to control or limit the production of noise and the nature of the proposal. This suggests that the SEE includes “incomplete or flawed information” (BMP 2012) and requires additional Council consideration. This report maintains that the appropriate response is refusing **DA2017/394**. The incomplete and misleading nature and flawed design of the DA impels BRC to reject **DA2017/394**.

APPENDIX

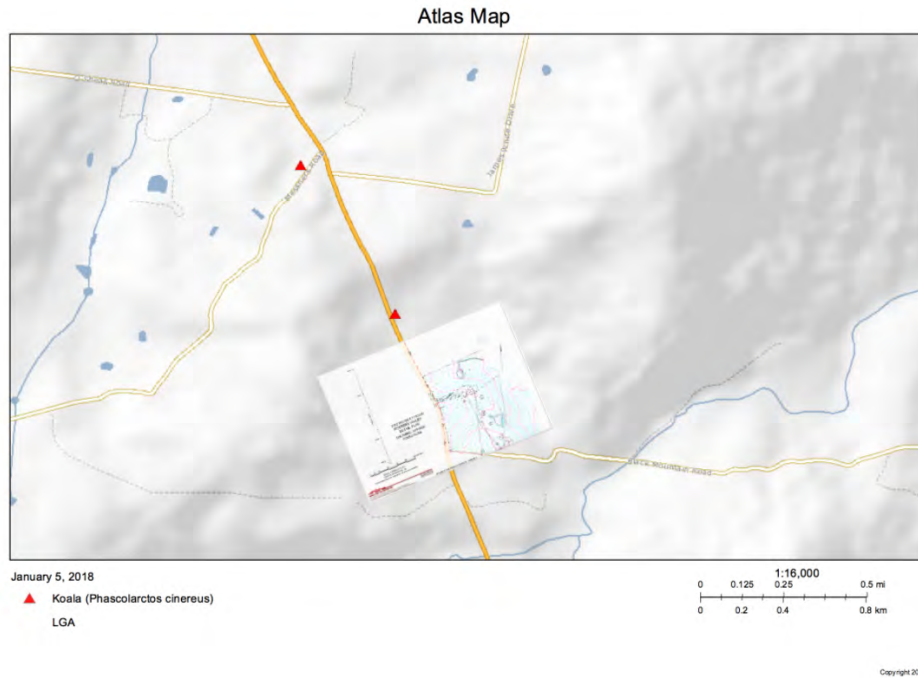


Fig 6: Close-up of proposed site location (taken from Fig. 3) with site plan (Inlaid Surveys 2017) overlaid (image taken from personal searches, NSW OEH 2018).

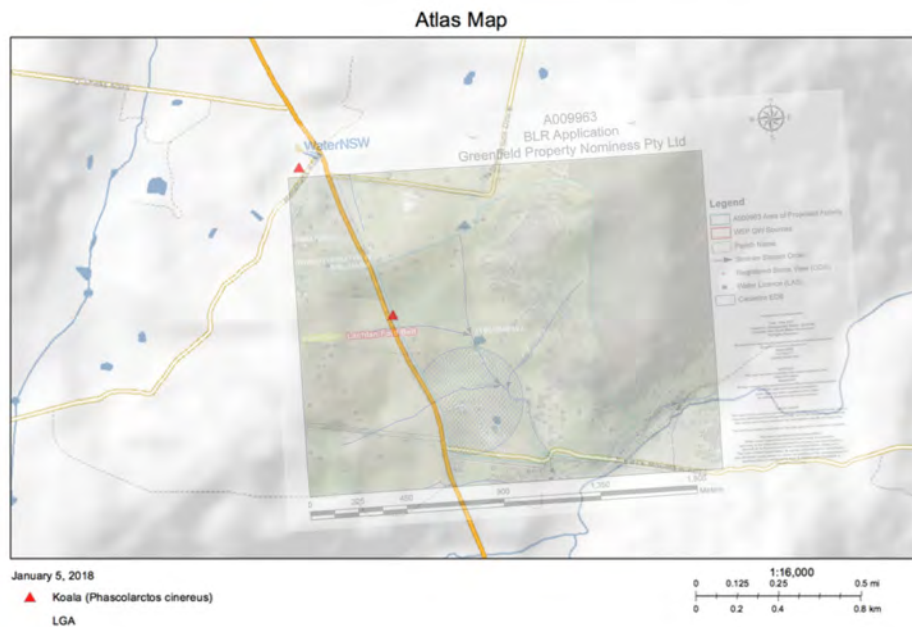


Fig. 7: Close-up of proposed site location (taken from Fig. 3) with map (DPI NSW / Water NSW) overlaid (image taken from personal searches, NSW OEH 2018).

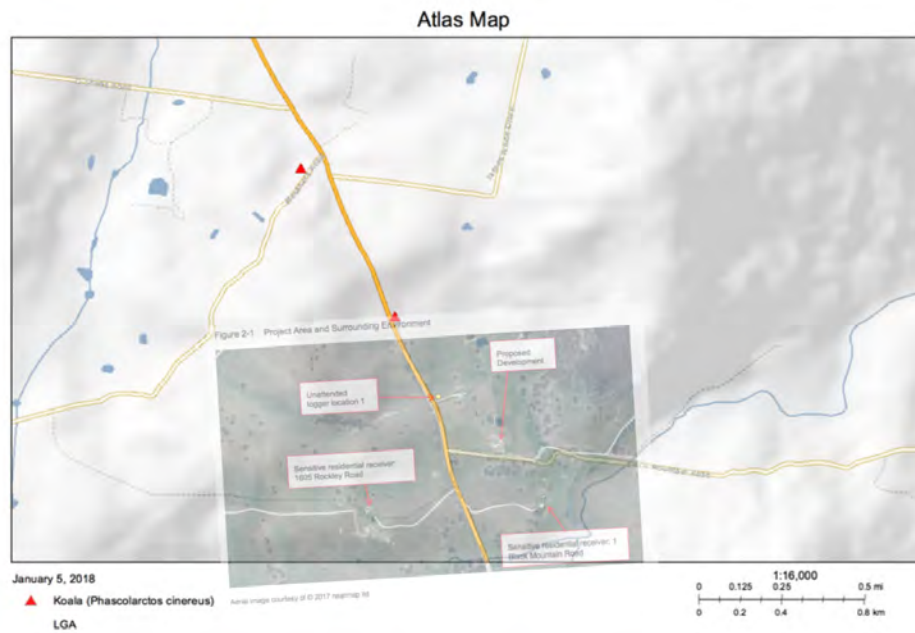


Fig. 8: Close-up of proposed site location (taken from Fig. 3) with map (Rodney Stevens Acoustics Pty. Ltd. 2017) overlaid (image taken from personal searches, NSW OEH 2018).

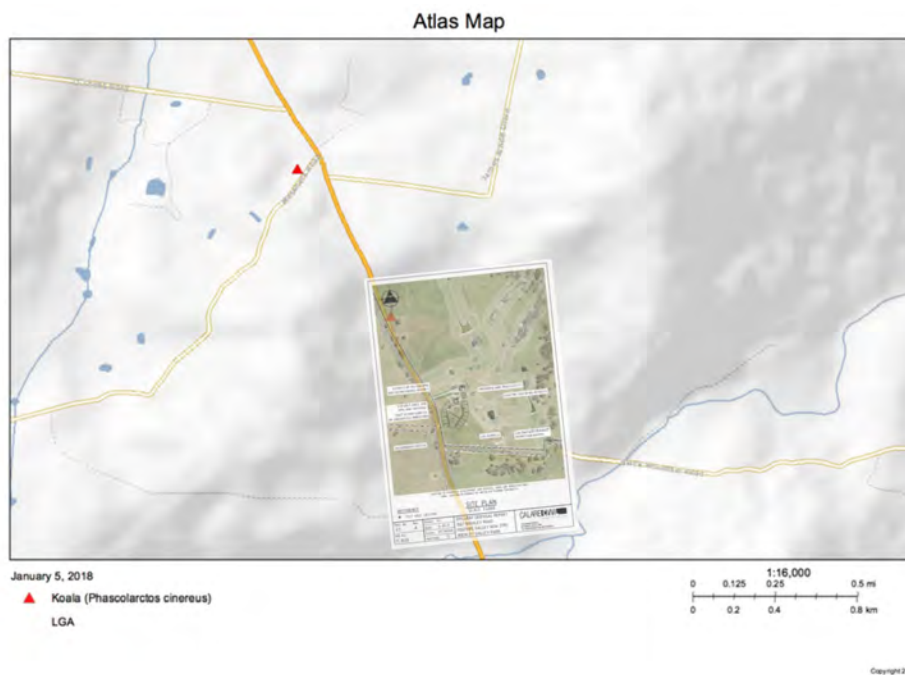


Fig. 9: Close-up of proposed site location (taken from Fig. 3) with map (Clare Civil Consulting Engineering 2017) overlaid (image taken from personal searches, NSW OEH 2018).

WORKS CITED

NOT INCLUSIVE OF DOCUMENTS PROVIDED BY THE APPLICANT

Animal Medicines Australia (AMA) 2016, *Pet Ownership in Australia, 2016*. Available at: http://animalmedicinesaustralia.org.au/wp-content/uploads/2016/11/AMA_Pet-Ownership-in-Australia-2016-Report_sml.pdf

Australian Veterinary Association (AVA) 2016, 'Pet ownership statistics'. Available at: <http://www.ava.com.au/news/media-centre/hot-topics-4>

Bathurst Regional Council n.d., 'Flora and fauna'. Available at: <https://www.bathurst.nsw.gov.au/building/development-applications/environmental-considerations/flora-and-fauna.html>

Bathurst Regional Council 2011, 'Guidelines for Flora and Fauna Reports including State Environmental Planning Policy No 44 - Koala Habitat Protection'. Bathurst.

Brosnan, D and Pritchard, J 2016, 'The assessment of dog barking noise from kennels,' *Institute of Acoustics*, 41(3): 43.

Environmental Planning & Assessment Act 1979 (NSW) (Austl.) Available at: http://www8.austlii.edu.au/cgi-bin/viewdb/au/legis/nsw/consol_act/epaaa1979389/

Mactaggart, B and Goldney D 2012, *Biodiversity Management Plan for Bathurst Regional Council*, Mactaggart Natural Resource Management. Available at: https://www.bathurst.nsw.gov.au/images/stories/council/studies/Biodiversity_Management_Plan.pdf

Mactaggart, B 2003, *Vegetation Management Plan*, plan prepared for Bathurst City Council by Terra Consulting Aust. Pty. Ltd.

NSW Environment Protection Authority (EPA) 2013, *Noise Guide for Local Government*, Sydney.

NSW Office of Environment & Heritage (OEH) 2008, *Recovery Plan for the Koala (Phascolarctos cinereus)*. Available at: <http://www.environment.nsw.gov.au/research-and-publications/publications-search/recovery-plan-for-the-koala-phascolarctos-cinereus>

Sales, G, Hubrecht, R, Peyvandi, A, Milligan, S and Shield, B 1997, 'Noise in dog kennelling: is barking a welfare problem for dogs?' *Applied Animal Behaviour Science*, 52(3-4): 321-329.

State Environmental Planning Policy No 44 - Koala Habitat Protection (NSW) (Austl.). Available at: <https://legislation.nsw.gov.au/inforce/b7eb6f0e-5ebf-11dd-8fae-00144f4fe975/1995-5.pdf>

Threatened Species Conservation Act 1995 (NSW) (Austl.). Available at: <https://www.legislation.nsw.gov.au/inforce/b7b85c46-520e-40b3-9439-b9d3108df6f5/1995-101.pdf>



Objection to Development Application (10 - 2017 - 394 - 1)
Mel Cole to: council

05/01/2018 08:44 AM

From: Mel Cole <mel.cole@optusnet.com.au>
To: council@bathurst.nsw.gov.au

For 3 reasons.

We are moving away from breeding animals and perpetuating the homeless animal problem with hundreds of thousands of animals being put down each year.

They are bribing/“Gifting” The Animal Welfare League to be their independent auditors, tens of thousands of dollars a year so they can’t be impartial.

The Managing Director of Belleville Pets, John Grima is on the board of the PIAA and thus cannot be impartial.

Breeding animals whilst may have shelter and water will receive the love and attention a companion animal needs and will be treated live livestock, repeatedly breeding each season and will suffer tumors and a multitude of health issues once “retired” And when they are “retired” will contribute even more to the many animals needing adoption.

[IMAGE]

[Melinda Cole / Senior Designer](#)

0412 564 577

melindacole.com  - Mel_Cole_Extended_Logo_V3.jpg

2017/394/089

**Large Scale DOG BREEDING FACILITY (discussion with Lucy Clifton)****Anne Greenaway** to: council

18/12/2017 10:09 AM

From: Anne Greenaway <anneg33@bigpond.com>
To: council@bathurst.nsw.gov.au

Dear Sir/Madam

I refer to discussion with Annette and Lucy Clifton in your Development Application department.

Thank you for confirming that it is not too late to put in a submission objecting to the large scale dog breeding facility and that the DA for this facility is still under consideration.

Kind Regards

Anne Greenaway

--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1SiFnLQJkL/77S5X8D21TGuy9b9FeOFdA/4.8>

2017/394/08


Submission - Terry Lane Re DA No 2017/394 - Animal Breeding Facility
David Sherley to: Neil Southorn, Richard Denyer, Janet Bingham

06/12/2017 04:43 PM

 Cc: David Sherley
 Bcc: Council-Out-Mail

File Number. DA2017/394
External Ref.
Full Name. Terry Lane
Title.
Organisation.
Return To Me.

 Please reply to : council@bathurst.nsw.gov.au

David Sherley
 General Manager
 Bathurst Regional Council
 158 Russell Street Bathurst 2795
 Phone: 02 6333 6201
 Fax: 02 6331 7211
 www.bathurst.nsw.gov.au

----- Forwarded by David Sherley/BathurstCC on 06/12/2017 04:41 PM -----

From: mayor/BathurstCC
 To: David Sherley/BathurstCC@BathurstCC,
 Date: 06/12/2017 04:38 PM
 Subject: Fw: Development Application No 2017/394
 Sent by: Michelle Hession

FYI

Michelle Hession
 Part-Time Administration Assistant - Corporate & Events (Wed-Fri)
 Bathurst Regional Council
 158 Russell Street Bathurst 2795
 Phone: 02 6333 6169
 Fax: 02 6331 7211
 www.bathurst.nsw.gov.au

----- Forwarded by Michelle Hession/BathurstCC on 06/12/2017 04:38 PM -----

From: Terry <tel.47@bigpond.com>
 To: warren.aubin@bathurst.nsw.gov.au, bobby.bourke@bathurst.nsw.gov.au,
 alex.christian@bathurst.nsw.gov.au, john.fry@bathurst.nsw.gov.au,
 graeme.hanger@bathurst.nsw.gov.au, jess.jennings@bathurst.nsw.gov.au,
 monica.morse@bathurst.nsw.gov.au, ian.north@bathurst.nsw.gov.au,
 jacqui.rudge@bathurst.nsw.gov.au
 Date: 06/12/2017 04:18 PM

Subject: Development Application No 2017/394

Dear Councillor

I attach copies of our submission re the above for you information. I also attach an email reply that I received from Primary Industries re water usage today.

And I include (below) photos of the latest koala sighting on my land - 29/11/17. Note that the proposed site of the dog facility can be clearly seen in the second photo

Thank you for your perusal.

Terry Lane









BathCouncil- Animal Breed Facility 27 Oct 17.doc submission2.doc submission 3.doc Appendix A petition.doc



appendix to submission.doc

----- Message from Water WRG Dubbo <water.wrg.dubbo@dpi.nsw.gov.au> on Wed, 6 Dec 2017 15:19:20 +1100 -----

To: Water Enquiries <water.enquiries@dpi.nsw.gov.au>,
tel.47@bigpond.com

cc: robert.kardell@waternsw.com.au, paul.mcnamara@waternsw.com.au

Subject
: Re: Bore approval 80WA724494

Hi Terry

The use of water for animals intensively housed is not considered domestic / stock use under Basic Landholder Rights.

See the attached extract from the below:

52 Domestic and stock rights

(1) Subject to subsection (2), an owner or occupier of a landholding is entitled, without the need for an access licence, water supply work approval or water use approval:

- (a) to take water from any river, estuary or lake to which the land has frontage or from any aquifer underlying the land, and
- (b) to construct and use a water supply work for that purpose, and
- (c) to use the water so taken for domestic consumption and stock watering, but not for any other purpose.

(2) Subsection (1) does not allow a landholder:

- (a) to take or use water in contravention of any mandatory guidelines established under section 336B, or
- (b) to construct a dam or water bore without a water supply work approval, or
- (c) in the case of the owner or occupier of a landholding arising from a subdivision effected on or after 1 July 2004, to take or use water in contravention of any prohibition or restriction imposed by or under the regulations (including any prohibition or restriction that the Minister is authorised by the regulations to impose), or
- (d) to carry out a controlled activity without a controlled activity approval.

(3) In this section:

domestic consumption , in relation to land, means consumption for normal household purposes in domestic premises situated on the land.

stock watering , in relation to land, means the watering of stock animals being raised on the land, but does not include the use of water in connection with the raising of stock animals on an intensive commercial basis that are housed or kept in feedlots or buildings for all (or a substantial part) of the period during

which the stock animals are being raised.

Hence, any use of water contrary to Basic Landholder Rights is an offence under the Act.

With respect to notification of neighbors, notification is not required for BLR bores due to the low quantity of water extracted. Other approvals require advertising in local paper (but not notification of adjoining landholders), however, as the Development Application is advertised with Council this constitutes advertising if the change of purpose of the bore is part of the DA. An access licence is still required to be purchased to validate the take of water. If you have concerns about the proposal, lodge an objection to the DA and have your concerns addressed formally.

I trust this helps.

Kind regards

Richard Wheatley

On Mon, Dec 4, 2017 at 7:57 AM, Water Enquiries <water.enquiries@dpi.nsw.gov.au> wrote:

Morning,

I'm hoping you can assist with this customers enquiry?

Please advise or direct to correct area if this would not be in your capacity.

Thanks

----- Forwarded message -----

From: **Terry** <tel.47@bigpond.com>

Date: Fri, Dec 1, 2017 at 11:49 AM

Subject: Bore approval 80WA724494

To: DPI Water <water.enquiries@dpi.nsw.gov.au>, Jodie <lane_jodie@hotmail.com>

I am writing to express my concerns regarding Bore approval 80WA724494.

First I must express my disappointment that this approval was issued without any of the immediate adjoining landholders, such as myself, being given an opportunity to comment or make submissions.

The bore, on the property adjoining us is uphill from our own holding and it is uncertain whether this bore will have any effect on certain springs that occur on our land.

I note that the bore has been approved for;

The water supply work authorised by this approval must only be used to take water for the purposes of domestic consumption and stock watering.

The new owners of the property at 1557 Rockley Road propose to establish a dog breeding facility at this site, using the water from the bore as their primary source. Full details of their application before Bathurst Regional Council can be see here;

<http://masterview.bathurst.nsw.gov.au/Application/ApplicationDetails/010.2017.00000394.001/>

Now my question to you is this - does the breeding of intensively housed dogs (up to 200 by my calculation) fall within the categories of either 'domestic' or 'stock watering', by my reading of your definitions it would not and would be in breach of the conditions stated on the approval.

Can you please advise me, as a matter of urgency, just what the position is? There is some urgency in this matter as a meeting to discuss the proposal has been set down for Wed 6/12 by Bathurst Regional Council

Thank you for your early reply.

Terry E Lane

[1605 Rockley Road](#)

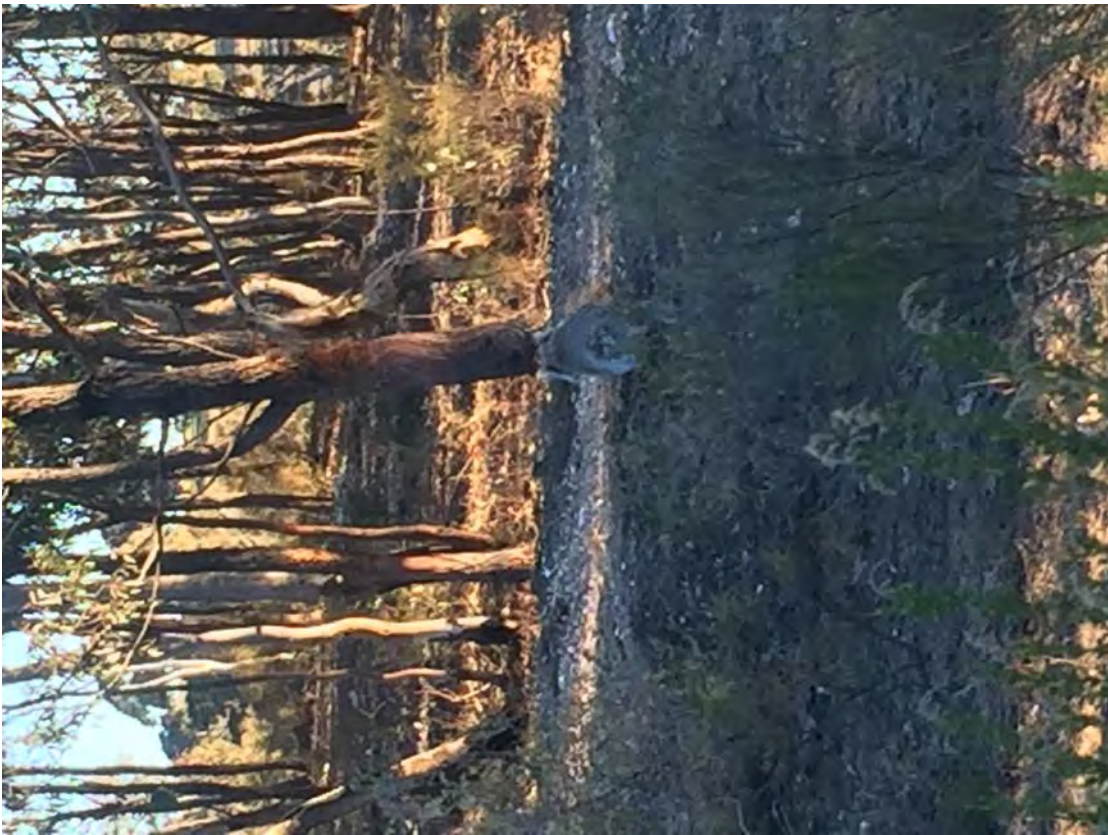
[Fosters Valley](#)

This message is intended for the addressee named and may contain confidential information. If you are not the intended recipient, please delete it and notify the sender. Views expressed in this message are those of the individual sender, and are not necessarily the views of their organisation.

This message is intended for the addressee named and may contain confidential information. If you are not the intended recipient, please delete it and notify the sender. Views expressed in this message are those of the individual sender, and are not necessarily the views of their organisation.

Appendix A - selection of koalas seen in area (by no means all)







Appendix

1 Black Mountain Road is located approximately 420m from the location of the dog breeding facility to the south-east. The dwelling house at 1 Black Mountain Road is significantly lower than the subject site. A photograph of 1 Black Mountain Road as viewed from Black Mountain Road is provided in **Figure 8** below.



Figure 8 1 Black Mountain Road to the south-east of the site.

1605 Rockley Road is located to the south-west of the site and is located approximately 480m from the location of the dog breeding facility. This site is significantly higher than the subject site as the land slopes steeply up to the west from Rockley Road. A photograph of 1605 Rockley Road as viewed from the intersection of Rockley Road and Black Mountain Road is provided at **Figure 9** below.



Figure 9 1605 Rockley Road, viewed from the intersection of Black Mountain Road and Rockley Road

Appendix (p2)



“Terrel Park”
1605 Rockley Road
Fosters Valley
N.S.W. 2795
Phone: (02)63379261
Email: tel.47@bigpond.com

27 October 2017

Your ref: LCL:I:JM:DA/2017/394

Acting Director
 Environmental, Planning and Building Services
 Bathurst Regional Council
 158 Russell St
 Bathurst 2795
 Email: Council@bathurst.nsw.com.au

Attn: M/s C L Clifton

Dear Madam

Development Application No 2017/394
Proposed Animal breeding Facility
Lot 2190 DP:846322 1557 Rockley Road Fosters Valley
Applicant: Rockley Valley Park Pty Ltd

We write in response to the above Development Application. The Development Application was not received by us until 22 October 2017 and a response is required by 30 October 2017. In the circumstances for such a significant development at least 6 weeks should be permitted for consideration and response. We have not had time to seek advice on a number of issues. We request until 30 November 2017 to respond in full and what the issues set out below are only our initial thoughts.

Whilst an animal breeding facility is allowed by the current zoning the impact of a dog breeding facility in this location is not consistent with the production of sheep for wool and lamb production and the quiet enjoyment of the neighbours of their land.. We make the following observations:

1. **Effluent and faeces run off**. A facility of this size will require significant washing down and waste disposal. As we are immediately adjacent to the proposed facility the by-products of this activity will, inevitably gravitate onto our property via the watercourse. We note that a septic tank is proposed do deal with this, but submit that this would be an ineffectual measure, considering the amount of waste/water likely to be generated. The feeder stream that comes into out property from this site then joins Davies Creek and ultimately runs into the Macquarie River.

2. **Noise and effect on our general Amenity of Life-** given that our residence is only about 200 metres from the proposed facility, the possibility of serious noise pollution is of grave concern. Please note that we are both in our seventies, and have health issues that could be seriously affected by any such noise, as sound travels quiet clearly across the intervening distance.
3. **Noise and its effect on lambing Ewes.** We run lambing ewes on the paddocks immediately adjacent to the proposed facility and the barking of dogs during lambing will cause stress to lambing ewes and possible miscarriage.
4. **Escape of dogs.** We appreciate that these dogs are caboodles however the escape of any of these dogs would add to any wild dog population which is plaguing many parts of NSW currently
5. **Koalas -** we believe the Statement of Environmental Effect (SoEE) significantly understates the situation regarding koalas in the immediate area of the proposed facility. Our observations are that koalas are frequent users of this and surrounding areas and do not restrict their climbing to officially recognised 'Habitat' or 'feed' trees, but can and will climb trees of any species. We have personally observed them on our property climbing willows, and a variety of conifers and/or pines. We do not believe that the 'The two perimeter fences will provide a physical barrier to the koalas from the dogs. The first undersigned (Terry lane) has been a ranger with the St Joseph's banks Wildlife Reserve for over 10 years and having had training in Koala habitat and characteristics.

We draw your attention to the following quote from the SoEE:

“The only potential interaction between koalas and the land at the south-western part of the site where the proposed dog breeding facility is to be located would be if a koala was walking on the ground which can occur mostly by male koalas seeking new territories or in search of a female.”

From my experience all koalas (including females with joeys) will frequently travel on the ground,

Please see photos of the Koala population in **the area; Attachments A to ????**

6. **Biosecurity Act and Regulations** No consideration appears to have been given to biosecurity risks to the existing livestock activities on surrounding properties including sheep and cattle production. This will include the frequent movements of dogs in and out of the facility.

7. **Dogs NSW Code of Conduct.** It is noted that this breeding facility will not be subject to the Dogs NSW Code of Conduct and its regulations as the facility will not be a facility for breeding pure bred dogs. Hence no code of conduct or regulations will cover this facility. Noting that the Dogs NSW requirements are only a Code and are not legislated, even if the facility was a member of Dogs NSW there are no penalties for failure to comply with Code

We would submit that further time is required for adjoining and adjacent landholders to fully consider the implications of the Development and this should be to 30 November 2017. The above outlines some of the initial concerns that the development will have on surrounding properties and the environment.

T.E.Lane

B.L.Lane

Encls: Attachments A to ?? photos of Koalas in the vicinity of the proposed Dog breeding facility

“Terrel Park”
1605 Rockley Road
Fosters Valley
N.S.W. 2795
Phone: (02)63379261
Email: tel.47@bigpond.com

12/11/2017

Your ref: LCL:I:JM:DA/2017/394

Acting Director
Environmental, Planning and Building Services
Bathurst Regional Council
158 Russell St
Bathurst 2795
Email: Council@bathurst.nsw.com.au

Attn: M/s C L Clifton

Dear Madam

Development Application No 2017/394
Proposed Animal breeding Facility
Lot 2190 DP:846322 1557 Rockley Road Fosters Valley
Applicant: Rockley Valley Park Pty Ltd

With regard to our comments on misidentification in our submission of Nov.2 we wish to point out that the entrance to our property has the number clearly displayed on the gate. Now as the resident manager of 1557 Rockley Road has visited our property on a number of occasions there could be no valid reason for any confusion over the number. In addition, if Rodney Stevens Acoustics had indeed placed an instrument where they claim to have done they would have had to enter through this gate. We also point out that the marked position of the RION NL-42 Environmental Noise Logger would place a crest of hillock between the two instruments.



To further clarify the situation we add the following photographs.

1. Taken from near our entrance gate looking North. The trees in the middle ground left mark the start of Black Mountain Road, the course of which is marked by the darker line running through the picture. Beyond Black Mountain Road is the site of the proposed facility and the residence of 1557 can be seen almost on the skyline, slightly right of centre. You will note that the ground slopes to form a basin and the run off comes through their boundary 3/4 right, mid field, crosses the road and flows into our property.



2. (Next page)

A view of the proposed site for the facility, taken from the Rockley Road and looking South East. Again the basin effect can be clearly seen. The structures to the left are the outbuilding of 1557 with the rightmost one being the site of the proposed 'training facility. The darker area, mid field, mid photo, is where the runoff leaves 1557 and crosses Black Mountain Road



“Terrel Park”
1605 Rockley Road
Fosters Valley
N.S.W. 2795
Phone: (02)63379261
Email: tel.47@bigpond.com

Your ref: LCL:I:JM:DA/2017/394

Acting Director
Environmental, Planning and Building Services
Bathurst Regional Council
158 Russell St
Bathurst 2795
Email: Council@bathurst.nsw.com.au

Attn: M/s C L Clifton

Dear Madam

Development Application No 2017/394
Proposed Animal breeding Facility
Lot 2190 DP:846322 1557 Rockley Road Fosters Valley
Applicant: Rockley Valley Park Pty Ltd

Further to our submission dated 27/10/17, and having had time to go through some of the relevant papers and reports, we wish to further submit.

a. **Statement of Environmental Effects**

This document prepared by DFP Planning Consultants.

We draw your attention to the appended photograph (fig 1), appearing on page 10 of this report, which purports to be of no 1 Black Mountain Road.

This is, in fact, a photograph of our residence on 1605 Rockley Road.

We further draw your attention to the photograph on page 11, (fig 2) supposedly our residence, which is, in fact, the house on 1595 Rockley Road and is located on the opposite (western) side of the Rockley Road.

We are located SSE of the site and in much closer proximity than the above.

There is no photograph of No.1 Black Mountain Road included in the document.

We append an Arial Photograph (fig 3) with the relevant dwellings marked, as well as the proposed area (blue outline) where **A** is 1557 Rockley Road, **B** 1605 Rockley Road, **C** 1595 Rockley Road and **D** 1 Black Mountain Road.

Now we can not say whether these inaccuracies have occurred by accident or design, but given the way they distort the relationship of the various places, we have drawn our own conclusions.

We draw your attention to section 5.2.1 of the document, which states;

5.2.1 Acoustic Impact

Rockley Valley Park has engaged Rodney Stevens Acoustics to prepare an Acoustical Assessment for the proposed dog breeding facility at the site. A copy of the Acoustic Report is attached at **Appendix 6** of this SEE. The Acoustic Report measured the background noise levels and determined what impact the proposed dog breeding facility would have on the two sensitive residential receivers being the dwelling houses at 1605 Rockley Road and 1 Black Mountain Road, Fosters Valley.

Please note that NO acoustic reading were taken at or anywhere near our dwelling (1605 Rockley Road).

We draw you attention to section 5.2.4, which states;

5.2.4 Koala Habitat

As previously discussed in this SEE, the area of the proposed dog breeding facility does not contain any core koala habitat and no koalas have been identified on the site. However, koala sightings have been made in the vicinity of the subject site. The two perimeter fences will provide a physical barrier to the koalas from the dog kennels and the dense conifer hedge proposed along both Black Mountain Road frontage and Rockley Road frontage will also deter koalas. It is recommended that the following conditions be imposed to protect koalas:

- No koala feed trees be planted on the site within the vicinity of the dog breeding facility including within it.
- **Should a koala be spotted in the vicinity of the dog breeding facility that WIRES or another professional animal welfare agency be called to safely relocate the koala.**
- Any dogs in proximity to the koala should be relocated until such time as the koala has been relocated.

Relocate the local koalas? These animals are native to this area and should under no circumstances be removed.

Although briefly, and with little understanding of the animals, the report mentions koalas, no consideration has been given to other sensitive wildlife in the vicinity. Ring tailed possums and sugar gliders inhabit this area, to say nothing of the platypi and water rats resident in Davys Creek. It should be noted that all runoff from this area runs into Davys Creek.

Acoustical Assessment

This document prepared by Rodney Stevens Acoustics.

As stated above - no acoustic readings were taken from near our residence, despite this report claiming to have done so. See figure 2-1 in their report. Please note that, once again, the various properties have been misidentified.

On page 5 of this report we note;
Instrumentation for the survey comprised of a RION NL-42 Environmental Noise Logger (serial number 546394) fitted with a microphone windshield. Calibration of the logger was checked prior to and following measurements.

Referring again to figure 2-1 you will see that this logger was located well beyond the proposed facility in relation to our residence, effectively almost doubling the distance.

Given the above, we submit that this report is worthless.

Effluent Disposal Investigation - Proposed Dog Breeding Facility 1557 Rockley Road

Fosters Valley 2795 NSW

Item prepared by Calare Civil Pty Ltd.

Page 3 of this report states that the estimated daily estimated flow from washing down activities etc is 400 litres per day, and yet elsewhere it is stated that the septic tank will only be of 4000 litres capacity.

The diagram on page 7 of this report completely ignores the runoff directly to the south of the facility, which runs across Black Mountain Road and on to our property.

Water

We note that a bore has been completed on the site under approval 80WA724494. It is the stated intention that water from this bore will be used in the day to day running of the facility, however we draw your attention to section DK0896-00001 (page 7) of the approval which states

The water supply work authorised by this approval must only be used to take water for the purposes of domestic consumption and stock watering.

and to the following definitions in the glossary

domestic consumption - Domestic consumption is the use of water for normal household purposes in domestic premises situated on the land.

and

stock watering - Stock watering is the use of water for stock animals being raised on the land. It does not include the use of water for the raising of stock animals on an intensive commercial basis (kept in feedlots or buildings for all, or a substantial part, of the period during which the stock animals are being raised).

Washing down of pens, filling a recreational dam etc would seem to be in breach of these conditions, and we point out the following which is to be found at the foot of page 1 of the approval

It is an offence under the Water Management Act 2000 to breach a term or condition of the approval or to construct and use works to which the approval does not relate. It is also an offence to use works the subject of an approval if the approval has expired, been surrendered or cancelled.

What assurance do we have that the conditions of this approval will be strictly adhered to?

Further Concerns

It would appear that the proposed enterprise would be unregulated. The stated intention of the proposed facility is to breed **cross bred** dogs, and thus they will not fall under the auspices of the Australian National Kennel Council Ltd, as they only deal with pure bred dogs (verified by phone). It would appear that the only body the enterprise would be in any way answerable to is the Pet Industry Association of Australia, of which the principal of the venture, Mr. John Grima, is a board member. This can be verified by visiting <https://paaa.net.au/about/> and clicking on the link **PIAA Board of Directors**. Surely a conflict of interest here?

The proposal includes 15 dog enclosure designed to hold 5 dogs each. This is a potential of 75 adult dogs. It should be noted that pups under 14 weeks are not counted in any totals so the reality is that the facility could contain 200+ animals at any given time.

Signed

T.E.Lane

B.L.Lane

Appendix

1 Black Mountain Road is located approximately 420m from the location of the dog breeding facility to the south-east. The dwelling house at 1 Black Mountain Road is significantly lower than the subject site. A photograph of 1 Black Mountain Road as viewed from Black Mountain Road is provided in **Figure 8** below.



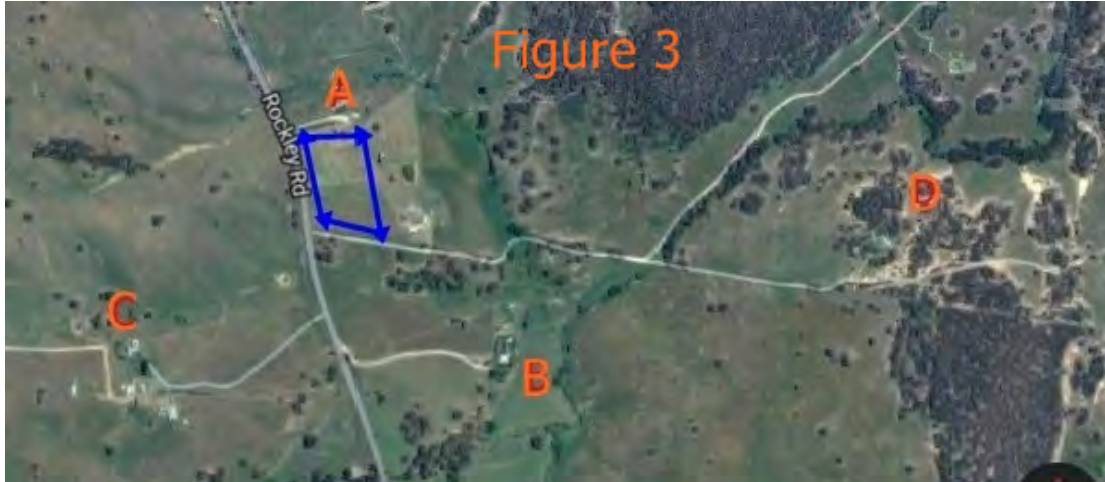
Figure 8 1 Black Mountain Road to the south-east of the site.

1605 Rockley Road is located to the south-west of the site and is located approximately 480m from the location of the dog breeding facility. This site is significantly higher than the subject site as the land slopes steeply up to the west from Rockley Road. A photograph of 1605 Rockley Road as viewed from the intersection of Rockley Road and Black Mountain Road is provided at **Figure 9** below.



Figure 9 1605 Rockley Road, viewed from the intersection of Black Mountain Road and Rockley Road

Appendix (p2)



**Application: Development Application (10 - 2017 - 394 - 1)****Mathew Clausen** to: council

25/10/2017 08:04 PM

From: Mathew Clausen <mclausen@iinet.net.au>
To: council@bathurst.nsw.gov.au

Dear General Manager,

I am writing to lodge an objection to the development application for an animal breeding facility. It is evident the application will operate as a commercial puppy farm. Intensive breeding of animals invariably leads to poor treatment and raises serious ethical issues.

As NSW already has a shocking kill rate of abandoned dogs and cats, it seems unconscionable to contribute to the ill treatment of animals let alone add to the supply of pets when so many council and other animal shelters need people to adopt rather than buy pets.

Yours sincerely

Mr M. Clausen
Sent from my iPad
--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RWBPkaOKW/29RElTjoHVfmvqoUp8cFQ8/0.5>



To the general manager: Development Application (10 - 2017 - 394 - 1)
verbosity to: council

25/10/2017 08:25 PM

From: verbosity <verbosity9@zoho.com>
To: "council" <council@bathurst.nsw.gov.au>

You cannot seriously be considering this application in this day and age? Regardless of ethics, you would do your own position as well as that of your locality great harm.

Sent using [Zoho Mail](#)

**Reject John Grimas animal factory application**

Julie Butler to: council

25/10/2017 08:29 PM

From: Julie Butler <juliebutler010@gmail.com>
To: council@bathurst.nsw.gov.au

Hello

I'm appalled to read of an application by John Grima to build yet another puppy farm! I use this term because we all know that's basically what it will be! With all the abandoned animals in rescue shelters or similar facilities it blows my mind that this will even be considered.

I appeal to your sense of decency as human beings to reject this application.

No amount of money can excuse these animal factories.

A lot of you would have loved pets yourselves so surely you can understand the alarm a huge amount of people feel about this?

I implore you to reject it.

Julie Butler
136 Flinders St
Thornbury, VIC, 3071

Sent from my iPad

--

Click here to report this message as spam:

<https://console.mailguard.com.au/ras/1RWCgJMckV/7mVRpN1NJw3wumZYCN3tIQ/1.2>

**Objection****Natalie Conway** to: council

25/10/2017 08:30 PM

From: Natalie Conway <conway50@bigpond.net.au>
To: council@bathurst.nsw.gov.au

I would like to lodge an objection to John Grima, the managing director of Kellyville Pets and board member of the Pet Industry Association of Australia (PIAA), building his own puppy factory to supply his own pet shop.

Bathurst Regional Council have made the plans available for public comment, which can be viewed here:
<http://masterview.bathurst.nsw.gov.au/Application/ApplicationDetails/010.2017.00000394.001/>

If you wish to lodge an objection, you can do so by emailing council@bathurst.nsw.gov.au.

Regards Nat
--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RWCiqMJF8/6LIy6x4sPIZoIQikPqTMMB/4>



Objection
Angela Young to: council

25/10/2017 09:03 PM

From: Angela Young <angeyoung@yahoo.co.uk>

To: council@bathurst.nsw.gov.au

Dear Sirs,

I would like to lodge an objection to Development Application ([10 - 2017 - 394 - 1](#)). With council-run pounds and rescues across the entire country filled to overflow with animals, there is absolutely no need for this profit-driven facility, and it will in fact be detrimental to the aforementioned facilities.

Equally, it is disgraceful to allow the destruction of yet more koala habitat in this state. Do councils have any idea how much the koala is worth to the Australian tourism industry - alive and free in its natural environment? We need to be doing more to preserve this gorgeous, unique creature, not less - and not allowing the breeding of other species likely to be left wanting.

Yours faithfully,

Angela Young

[Sent from Yahoo Mail for iPad](#)



puppy farm
julia ilich to: council

25/10/2017 09:40 PM

From: julia ilich <lullababy.au@gmail.com>
To: council@bathurst.nsw.gov.au

Dear Council

I object to a breeding facility approval in your shire. The first state of the USA has made the groundbreaking ruling that only rescue dogs may be sold in Pet Stores, please set the trend in Australia and disallow the application on humane grounds. Time and time and time again we see animals suffer terribly when they are USED to make money. Please Ask your board to vote on this issue. PLEASE.

Yours sincerely,

Julia Ilich

[Report this message as spam](#)



General manager; Application 10-2017-394-1
Katarina Milinkovic to: council@bathurst.nsw.gov.au

25/10/2017 10:05 PM

From: Katarina Milinkovic <kat.2166@live.com.au>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

Dear, Mr David Sherley

I would like to object to Application development 10-2017-394-1 for an animal breeding facility.

There are a great number of animals especially canines who are euthanised daily, too many that cannot find permanent homes. Breeding facilities are not regulated enough in New South Wales to ensure proper management of these animals therefore as experience shows animals are sold in bad health.

Also more people are becoming aware of the problems that come with buying animals from breeders and pet shops, the number of people choosing to adopt is increasing. Having a new animal breeding facility when the campaign on ending puppy factories is growing is like building a mine when renewable energy is on the rise. We should be going forward not backward in both the care of our species and those that rely on us.

Please consider the implications this development would have on the animals and community.

Kind regards,
Katarina Milinkovic

Get [Outlook for Android](#)



Application: Development Application (10 - 2017 - 394 - 1)
emma langford to: council

25/10/2017 10:12 PM

From: emma langford <emmajanelangford@me.com>
To: council@bathurst.nsw.gov.au

I wish to make an objection to the above DA, Development Application (10 - 2017 - 394 - 1) the animal breeding facility. On the following grounds:-

A dog breeding site is not an appropriate use of an area significant to the endangered eastern koala.

Public opinion is moving away from supplying live animals (apart from rescues) in pet shops, legislation will soon follow.

Public opinion is strongly against the mass farming of companion animals, legislation is in the pipeline to regulate and eventually ban "puppy farming"

Noise, mess smells are all byproducts of unethical puppy farms.

Regards

Emma Langford

Sent from my iPad



Proposed puppy farm aka dog & puppy hell
Eve to: council

25/10/2017 10:12 PM

From: Eve <e.barbour@bigpond.com>
To: council@bathurst.nsw.gov.au

To whom this may concern,

I am absolutely appalled to hear that council is considering approving a puppy factory at Fosters Valley.

Are you not aware of the thousands of unwanted dogs sitting in pounds, on kill lists, desperate for someone to take them home & love them???

Are you not aware of the rescue groups, desperate to find loving homes for the collective thousands of dogs they have???

How disgusting that council's greed is more important than the lives of the poor animals that will be kept permanently pregnant, in appalling conditions (ALL puppy factories keep their dogs in HORRIFIC conditions), with babies taken from their mothers far too young, to sit in pet shop windows!

Shame on you, you vile excuses for human beings. I hope karma gives you what you deserve!

Yours in fury,
Eve Barbour

Sent from my iPhone
--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RWE6pefRA/7dVRaxMyGjIHdtNia5I90E/1>

**Application 10 - 2017 - 394 - 1 - breeding facility**

Kayla O'Neill to: council

25/10/2017 11:57 PM

From: "Kayla O'Neill" <kaylaloneill@gmail.com>
To: council@bathurst.nsw.gov.au

Any idiot can see that this is a puppy farm and the poor dogs that end up there will be kept in terrible conditions, owned by a flog who is happy for them to live that way while he profits from their misery since he clearly has no real life skills to be able to make a proper living without doing so off the back of animals' suffering. Who in their right mind would allow this to go ahead and without even any council requirements to conduct checks on the welfare of the animals? Come on. Don't be those guys.

[Report this message as spam](#)



Development Application (10 - 2017 - 394 - 1)
Sue Teakle to: council

26/10/2017 05:45 AM

From: Sue Teakle <sueteakle@gmail.com>
To: council@bathurst.nsw.gov.au

Att: THE GENERAL MANAGER

I wish to object to the DA above on strictly moral grounds.

It may be a perfectly good business model in all other aspects but the slaughter of millions of unwanted dogs just to provide a feel good moment for someone cuddling a puppy is totally immoral.

Please trash this proposal.

Sue Teakle
18 Dunedin Street,
Dover Gardens.
SA 5048

[Report this message as spam](#)



Objection

Caitlyn Brett to: council

26/10/2017 06:42 AM

From: Caitlyn Brett <caitlynbrett21@gmail.com>
To: council@bathurst.nsw.gov.au

Hi,

I'd like to put in a complaint and objection regarding this planned puppy factory:

<http://masterview.bathurst.nsw.gov.au/Application/ApplicationDetails/010.2017.00000394.001/>

The facilities are extremely inadequate and unsuitable for breeding puppies and it would be disgusting to see these plans come into action.

Please consider how inadequate and horrendous the facilities are.

Thank you



Puppy farm in your local area
Beverly Finnigan to: council

26/10/2017 07:34 AM

From: Beverly Finnigan <mannfinn22@gmail.com>
To: council@bathurst.nsw.gov.au

To whom is concerns, please disregard my ignorance but I thought puppy farming was now illegal in NSW?

I'm devastated to read this this morning

<http://www.westernadvocate.com.au/story/5008072/dog-breeding-facility-proposed-near-koa-la-feed-trees-south-of-bathurst/#slide=2>

This is not fair on any animal to live in mass producing conditions and should never be aloud. Have council not learnt from all other mass producing dog farms. Thousands of dogs get pts daily because of over breeding and council is going to allow this to happen to add to that problem.

Shame on you. This won't happen with out a fight from the community.

Please don't let this greedy selfish property go ahead for the animals benifit.

Regards
Bev Finnigan

[Report this message as spam](#)

[Skip to navigation](#)[Skip to content](#)[Skip to footer](#)

Western Advocate

[News](#)

[News](#)

- [Local News](#)
- [Rural](#)
- [National](#)
- [World](#)
- [Business](#)
- [Property](#)

[Sport](#)

- [Local Sport](#)
- [NRL](#)
- [Tournaments](#)
- [Bathurst 1000](#)
- [Cricket HQ](#)
- [National Sport](#)

[Comment](#)

- [Editorial](#)
- [Letters](#)
- [Opinion](#)
- [Polls](#)

[Community](#)

- [Community News](#)
- [What's On](#)
- [Competitions](#)
- [Sponsorships](#)
- [Send us your news](#)

[Life & Style](#)

- [Food & Wine](#)
- [Travel](#)
- [Health](#)
- [Money](#)
- [Parenting](#)

[Entertainment](#)

- [Books & Arts](#)
- [TV & Movies](#)
- [Technology](#)
- [TV Guide](#)
- [Horoscopes](#)
- [Quizzes](#)

[Business Features](#)

- [Special Publications](#)
- [Advertising Features](#)
- [Recommended](#)

[Classifieds](#)

- [Place a Classifieds Ad](#)
- [Tributes](#)
- [Celebrations](#)
- [Jobs](#)
- [Cars](#)
- [Real Estate](#)
- [Ag and Rural](#)

Search Site

- [Home](#)
- [News](#)
- [Sport](#)
- [Comment](#)
- [Community](#)
- [Life & Style](#)

- [Entertainment](#)
- [Business Features](#)
- [Classifieds](#)
- [All](#)

News

- [Local News](#)
- [Rural](#)
- [National](#)
- [World](#)
- [Business](#)
- [Property](#)



1. [Home](#)
2. [News](#)

October 24 2017 - 5:00PM

Dog breeding facility proposed near koala feed trees south of Bathurst

•

MURRAY NICHOLLS

[News](#)

- [SHARE](#)
- [TWEET](#)
-
-



Plans for a dog breeding facility at Fosters Valley

AN animal breeding facility planned for Fosters Valley could be built alongside a known koala feeding habitat if plans now before Bathurst Regional Council are approved.

Rockley Valley Park Pty Ltd plans to build an \$841,000 breeding facility to supply dogs to a Kellyville pet store.

A statement of environmental effects [SoEE] lodged as part of the development application says it would include 15 kennels; a building containing 20 whelping (birthing) kennels; eight mating kennels; a grooming shed; and a number of dogs runs, outdoor fenced areas and dog socialisation areas.

The breeding facility would take up about two hectares of a 100 hectare site at the corner of Rockley Road and Black Mountain Road, about 21 kilometres south of Bathurst.

“The proposed facility seeks to raise well socialised puppies that have experienced love and care at the site and have been properly trained prior to the dogs being sold at the Kellyville Pets facility,” the SoEE states.

A key concern for the SoEE was the proposed site’s proximity to koala “feed trees” along the western boundary of the 100 hectare site.

AD

powered by plista

However, the SoEE states the distance between the breeding facility and koala habitat meant no koalas were likely to be harmed by the dogs.

“Due to the fact that there are no trees in the vicinity of the dog breeding facility, there is no potential habitat for koalas,” it states.

“The only potential interaction between koalas and the land at the south-western part of the site where the proposed dog breeding facility is to be located would be if a koala was walking on the ground which can occur mostly by male koalas seeking new territories or in search of a female.”

The SoEE recommends “non-koala feed trees” be planted around the site and two perimeter fences will be built around the facility.

“The area of the proposed dog breeding facility does not contain any core koala habitat and no koalas have been identified on the site,” it states.

“However, koala sightings have been made in the vicinity of the subject site.

“The two perimeter fences will provide a physical barrier to the koalas from the dog kennels and the dense conifer hedge proposed along both Black Mountain Road frontage and Rockley Road frontage will also deter koalas.”

Special protocols will be put in place to be followed if a koala is seen in the area after the facility is built.



- [SHARE](#)
- [TWEET](#)
-
-

RECOMMENDED



Turnbulls fined \$700k for illegal land clearing
NATIONAL



Summer's best value family entertainment is back!
CRICKET AUSTRALIA



LETTER: Don't blame the snake when a pet dog is bitten
COMMENT



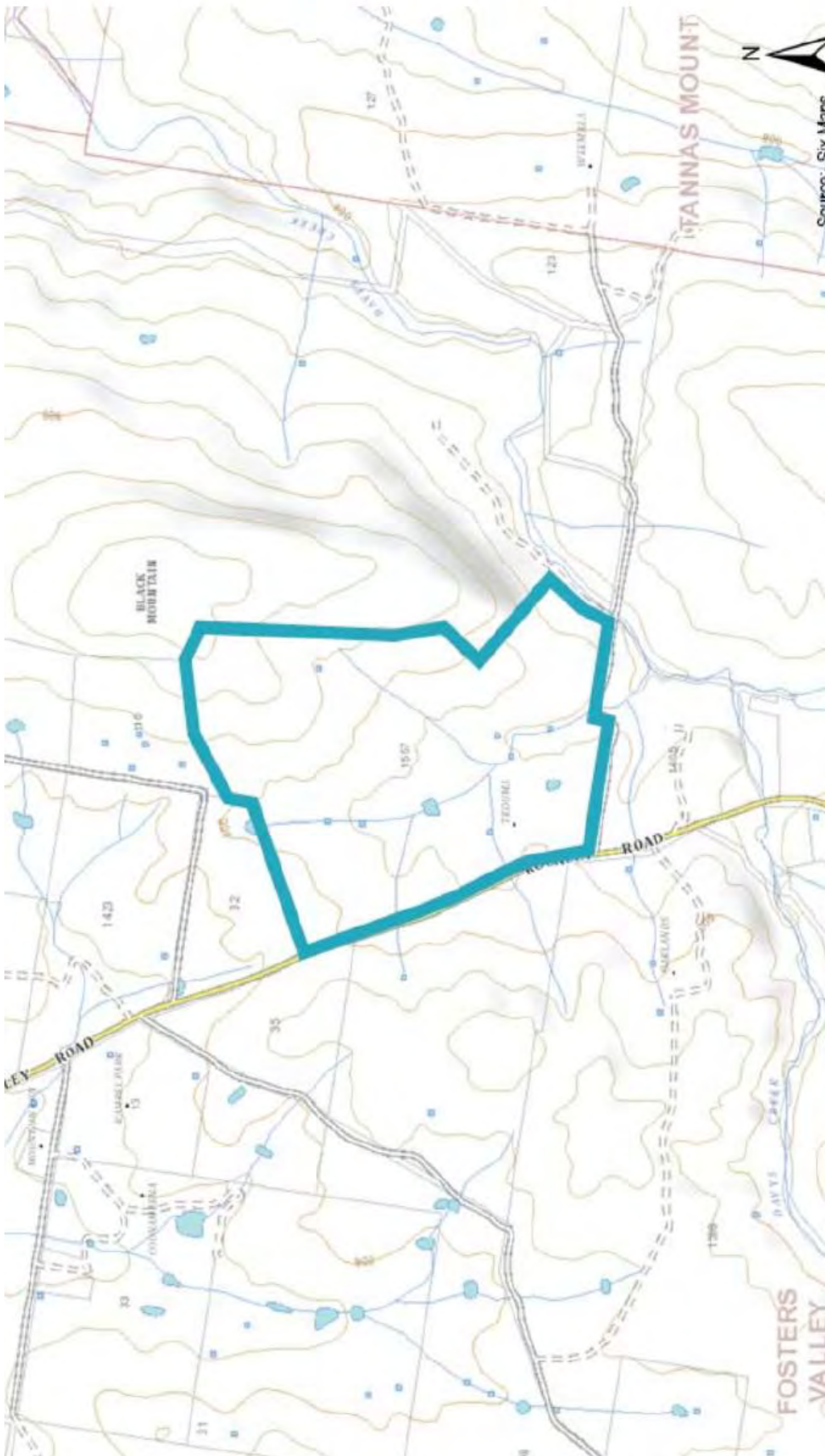
Discover the top 11 must-do experiences in NZ's South I...
TOURISM NEW ZEALAND

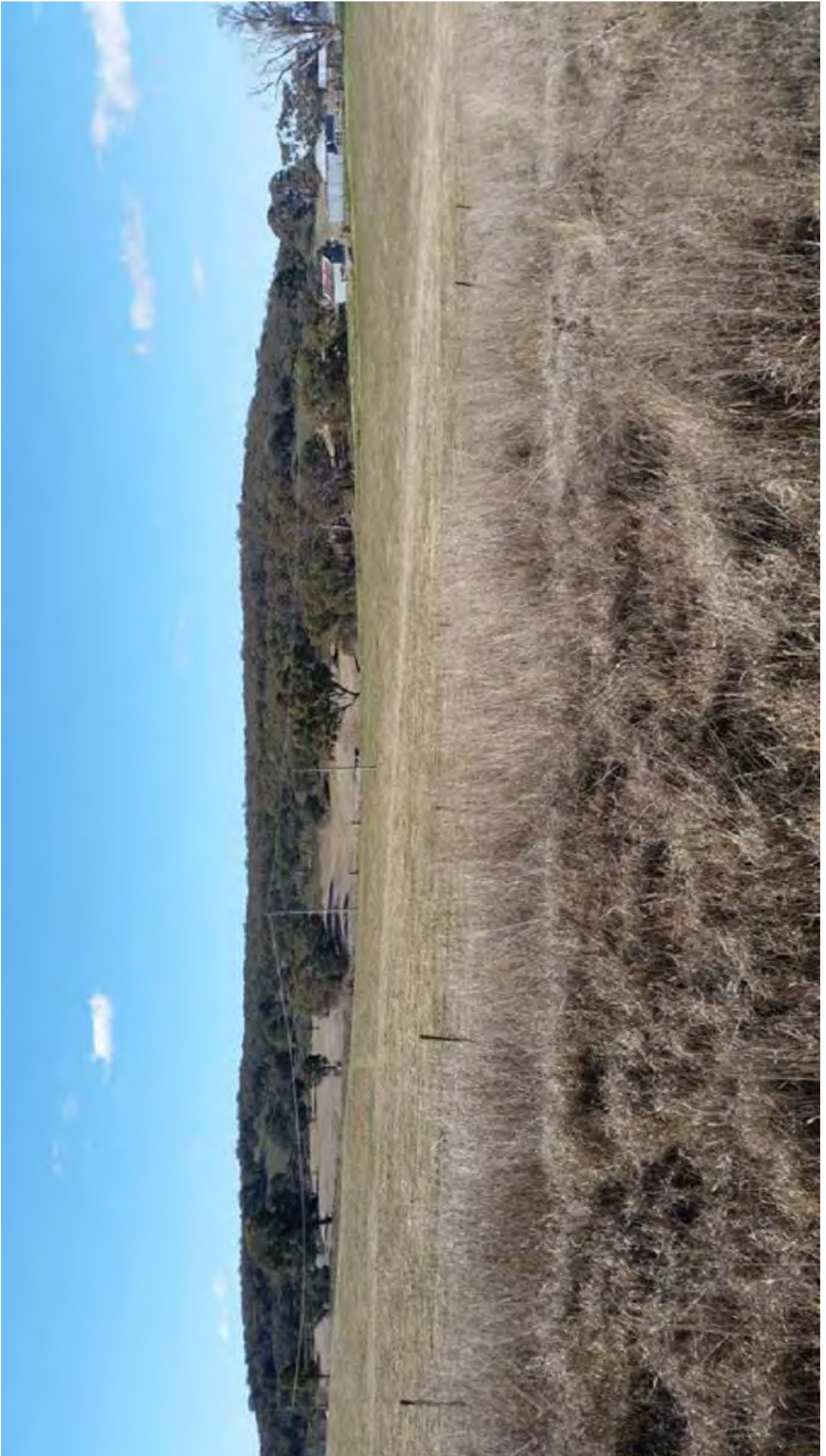
The final cut: Ross Larsen's last column in charge of 2MCE

Browse our latest offers and deals. Book now!











**objection to dog breeding facility in bathurst**

Mariana Zurak to: council

26/10/2017 08:38 AM

From: Mariana Zurak <mariana@relativity.com.au>
To: council@bathurst.nsw.gov.au

Dear Councillors,

I wish to express my deep concern over plans by Kellyville Pets to build a breeding facility.

Lets not sugar coat it, "breeding facility" is a polite term for puppy factory.

It is true that animals all over the world are produced in "factory farms" which is why we are used to hearing this term and therefore treat animals as fodder or toys for our amusement.

Animals are hard work, like our children. Which is why 250,000 animals are abandoned and then killed or "put down" in Australia.

I then ask you why would anyone need to invest in a breeding facility?! it makes no sense to me that they would need to further breed these beings.

I ask you why if Kellyville Pets needs to exist, why they simply cannot participate in an adoption program?

I write to object to this plan and ask that you consider the above, talk to your local RSPCA and reject this and any breeding facility.

thank you,

--

mariana zurak

production manager

+61 2 4226 4577 | 0417 068 301

www.relativity.com.au

facebook.com/Relativityfilms

IMPORTANT NOTICE: This email and any attachment to it is intended only to be read or used by the named addressee. It is confidential and may contain legally privileged information. No confidentiality or privilege is waived or lost by any mistaken transmission to you. If you receive this email in error, please immediately delete it from your system and notify the sender. You must not disclose, copy or use any part of this email if you are not the intended recipient. Relativity is not responsible for any unauthorised alterations to this email or attachment to it. Live long and prosper.



Proposed dog breeding facility - objection
Claire Gannon to: council

26/10/2017 11:36 AM

From: Claire Gannon <clairegannon@yahoo.com>
To: council@bathurst.nsw.gov.au

I wish to object to the proposed dog breeding facility in Bathurst. Please ensure this does not go ahead. The pounds are full and healthy dogs are being killed every day. The country does not need another dog cruel breeding facility aka puppy mill / puppy farm.

Regards
Claire Gannon

Sent from my iPhone
--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RWSlgtAkc/6p3yADY2iAX1zUT59Kivd9/1.2>



Application: Development Application (10 - 2017 - 394 - 1)
info to: council

26/10/2017 12:14 PM

From: <info@lanabananafun.com.au>
To: <council@bathurst.nsw.gov.au>
Please respond to <info@lanabananafun.com.au>

To: The General Manager

I write to oppose the approval of and in event of such, the pending construction of, an Animal Breeding Facility in Fosters Valley as per below details.

I unequivocally oppose the construction of a breeding facility whilst animals remain in your own local council pounds/ shelters or any other animal holding facility in the State of NSW.

Description:	Animal breeding facility
Submitted Date:	16/10/2017
Application Type:	Development Application

1557 Rockley Rd, Fosters Valley 2795 NSW (Lot: 2190 DP: 846322)

Applicant: Rockley Valley Park Pty Ltd

Officer: Camilla Clifton

Application Status: In Progress
Determination Date:
Determination Type: Pending

Estimated Cost \$841,000.00

Yours Sincerely

Lana Venckus
48 Pine St
Rydalmere NSW 2116
TEL: 0417674858

2017/394/032

**Breeding facility****kirstin morris** to: council@bathurst.nsw.gov.au

26/10/2017 12:59 PM

From: kirstin morris <keasarge@hotmail.com>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

Dear council.

I'm writing in anger to you at learning about the proposed dog breeding facility. Besides allowing a glorified puppy mill breeding mutts into our community, I'm more angry at the destruction of the koala habitat and the impact on their population. Do not allow this to go ahead!.

A conceded citizen

Kirstin.

Get [Outlook for Android](#)

**Pending Development Application (10-2017-394-1)****Suzan Quilliam** to: council@bathurst.nsw.gov.au

Cc: "suzanquilliam@gmail.com"

26/10/2017 02:31 PM

From: Suzan Quilliam <suzan.quilliam@mcri.edu.au>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>
Cc: "suzanquilliam@gmail.com" <suzanquilliam@gmail.com>

Dear Bathurst Regional Council,

It has been brought to my attention that an application for an Animal Breeding Facility at 1557 Rockley Road, Fosters Valley 2795 is pending and my hope is that my email will have an influence on your decision. John Grima the Managing Director of Kellyville Pets and a board member of the PIAA wants to breed puppies to replenish stock in his own pet shop.

Pet Shops exploit animals and also exploit people financially. Puppy farms need to be abolished completely and be a thing of the past. Please refer to the three links I have listed below you can clearly see that we have enough dogs/puppies in this country that are currently homeless or up for sale and the asking prices are outrageous.

Rescue group volunteers have dedicated their valuable time to re-home dogs/puppies and are under enormous pressure physically & mentally because many dog owners think a dog is a novelty and when the novelty wears off these poor dogs are surrendered or abandoned and sadly sometimes innocent victims of horrendous cruelty.

I ask that the Bathurst Regional Council be part of the solution to help abolish puppy farms and reject John Grima's application as his primary purpose is to exploit dogs/puppies purely for financial gain while rescue shelters are struggling to fund their own organisations and rely purely on the public to help them financially.

It's simply wrong, unethical, cruel, greedy and unnecessary and the cycle needs to end... Please be part of the solution and don't let one more dog suffer.

If he really cared about animals, he would be part of the solution and dedicating his time to helping these organisations but he is just another business man we do not need.

LINKS: 26/10/2017 TIME: 14.29 pm

<https://www.gumtree.com.au/s-dogs-puppies/dogs/k0c18434>

[https://www.petrescue.com.au/listings/search?q=\(And.Size.Small. .Species.Dog.\)&skip=0&perpage=12](https://www.petrescue.com.au/listings/search?q=(And.Size.Small. .Species.Dog.)&skip=0&perpage=12)

<https://www.tradingpost.com.au/search-results/?q=dogs&filter-location-text=&filter-location-dist=%3E500&cat=Pets+and+Horses%2FDogs>

Regards,

Suzan Quilliam

This email has been scanned by the Symantec Email Security.cloud service.
For more information please visit <http://www.symanteccloud.com>



Attention: General Manager, Development Application (10 - 2017 - 394 - 1)

Karyn Souder to: council

26/10/2017 04:06 PM

From: Karyn Souder <souder17@gmail.com>
To: council@bathurst.nsw.gov.au

Dear General Manager

I am a resident of NSW and am very concerned to have learned that there has been an application for a large scale dog breeding facility lodged for 1557 Rockley Rd, Fosters Valley 2795 NSW (Lot: 2190 DP: 846322).

Most concerning is that there are far too many dogs already without homes and thousands are put down each year.

Pet breeding facilities breed females from a young age every breed cycle and then dispose of/destroy them at an average age of 6. It's well known that the breeding dogs in large facilities are in less than desirable conditions and the puppies are not well socialised. Dogs are meant to be companions, not commodities.

Further, there is no requirement in NSW for the council to inspect and enforce the code for the well being of the dogs. Once a permit is granted, that's the end of council involvement.

A staff ratio of 1:125 dogs is unacceptable as mothers and their pups are counted as one dog opening up the 1:25 in part 7 specifying the dogs counted are over 16 weeks and fertile. Even then 1:25 is ridiculous. You know this if you have a dog.

We all know that puppy farms and industrial farming are morally wrong and do not consider the well being of animals. It's genocide for profit. It's cruel and unusual.

I ask you to please heavily consider rejecting this application.

Thank you for your time.

Kind regards,
Karyn Souder
36 Hargrave St, Paddington NSW 2021

[Report this message as spam](#)


Puppy Farms
Glenys Miller to: council@bathurst.nsw.gov.au

26/10/2017 04:45 PM

From: Glenys Miller <glenys.miller@gmail.com>

To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

To Whom It May Concern

It's very sad to read that Bathurst Council has received an application from John Grima, owner of Kellyville Pets, Kellyville to build a puppy farm in your 'backyard' in order to supply his own pet shop. As RSPCA Australia is strongly opposed to puppy farming, ***I wish to add my objection*** to this request.

So much information from the RSPCA alone, is available online, explaining the constant problems they receive in relation to these enterprises. Quoting text found online 'RSPCA NSW Inspectors raid puppy farm 8.6.2017 and confiscated 100 dogs from a 'breeder'. 1-2 puppy farms are reported to RSPCA now each week'!

I take this opportunity and enclose their statement:

"A puppy farm (also known as a puppy factory or puppy mill) is defined as **'an intensive dog breeding facility that is operated under inadequate conditions that fail to meet the dogs' behavioural, social and/or physiological needs'**.

Puppy farms are usually large-scale commercial operations, but inadequate conditions may also exist in small volume breeding establishments which may or may not be run for profit.

Puppy farming is a major animal welfare issue in Australia. The main welfare problems associated with puppy farms include but are not limited to:

- Extreme confinement - in some cases breeding animals may never be allowed out of their cage to exercise, play, socialise, have companionship or even to go to the toilet.
- Inadequate veterinary care and general care (grooming and parasite control).
- Unhygienic living conditions.
- Inadequate and overcrowded housing conditions.
- Frequent long-term health and/or behavioural problems in breeding dogs and puppies born in puppy farms as a result of the poor conditions they are bred in and a lack of adequate socialisation

Puppies from puppy farms may be sold via any avenue of sale including the internet, newspaper ads, markets, carboot sales, pet shops or sometimes at the puppy farm itself. Puppy farms may also use a house as a 'shop front' to sell their animals from, so you don't get to see the appalling conditions they breed dogs in. We don't know exactly how many puppy farms there are in Australia, as many puppy farms operate in highly remote areas and are not known to authorities, but with the advent of internet sales it is a growing national problem. RSPCA Inspectors have rescued dogs from puppy farms where hundreds of breeding females have been kept in cages in appalling conditions.

Be aware that any type or breed of dog can come from a puppy farm (purebred dogs, crossbreeds, mixed breeds), so you cannot judge whether a dog has been bred in a puppy farm based on the breed or type of dog. The only way to be sure is to visit the breeding

facility and check out the conditions.

RSPCA Australia is strongly opposed to puppy farming. We advocate regulation of the breeding, supply and sale of companion animals to help set minimum standards and stamp out puppy farms."

It seems that once a Council approves such an application their responsibility ends there, thus condoning such practices and the destruction of hundreds of helpless animals.

Please support the position of our RSPCA, making it a kinder place for our pets by not allowing another 'puppy farm'.

I look forward to your reply.

Yours sincerely,

Glenys Miller

It seems that once approval is granted, the Council's responsibility ends.

Since the practice of selling puppies and kittens behind glass in shops, (or anything classified as pets) the 'killing' of both species has increased dramatically by thousands. Unfortunately there is an expected time for purchase and when the time is up, the animal is discarded or to use the preferred term, euthanised.

The life of a female under puppy farm methodology is gross abuse.

[Report this message as spam](#)

**Animal Breeding Facility Application**

Linda Hintz to: council

26/10/2017 05:02 PM

From: Linda Hintz <l.hintz@bigpond.com>
To: council@bathurst.nsw.gov.au

To Bathurst City Council

I was horrified to see the story in the local newspaper regarding an Application for an Animal Breeding Facility near a Koala Habitat. Firstly, haven't we all done enough to destroy Koala's habitats? Enough is enough and anyone that says that they won't be impacted and distressed from the noise that will also come from that facility, well they have their head in the sand.

Animal Breeding Facility? Its is just me or does this scream "Fancy Puppy Mill"? If each Council member actually spoke to an *Ethical* Dog Breeder you would understand the love and care that goes into breeding their dogs. They honour the breed and "always Always Always" seek to improve the breed through their breeding choices. It is never ever to produce designer dogs for Pet Shops.

Please do your homework and vote down this application as it will cause great misery for the animals unfortunate to end up in such a facility. Ethical dog breeders don't pump out puppies, they have a great love for all their dogs, the dogs live in a family home environment and very careful consideration is given to which bitch is mated to which dog, always for the improvement of the breed. Thorough Health checks are done and if a dog and/or a bitch don't get great results, they are not bred with. Very careful consideration is given to the people who end up purchasing a puppy and they are vetted and interviewed and have to fill out questionnaires before they are considered to be able to purchase a puppy as the breeders want to ensure that the precious gifts are welcomed into a family with love and care and will be a life long member of that family.

It is 2017 and it makes me incredibly sad that people like this company are doing what they are doing purely for greed and openly stating that they are supplying a pet shop, when so many States are trying to stamp out pets being allowed to be sold in shops. Why, because they are being supplied from Puppy Mills.

Having volunteered at the local Animal Welfare Shelter for a number of years, I see time and after time, dogs obviously with health issues that have come from puppy mills, who could not be sold because they were not sold as cute puppies.

You have the ability to stop this before a precedent is set.

I truly hope that you "Do the Right Thing".

Yours faithfully

Linda Hintz



DA 10 - 2017 - 394 - 1
jesscraig89 to: council

26/10/2017 08:14 PM

From: jesscraig89@gmail.com
To: council@bathurst.nsw.gov.au

Good evening,

I would like to lodge an objection to DA 10 - 2017 - 394 - 1, the construction of a dog breeding facility.

I personally support the ethical breeding of pedigree dogs through registered breeders. I believe we should support ethical breeders who breed to improve the health and nature of the particular breed they favour. Such breeders have limited litters and raise the puppies in a home environment so they are well socialised and adjusted to home life. They also follow stringent application processes to ensure their dogs go to the right homes.

What is being proposed here by the owner of Kellyville Pets, does not conform to ethical breeding standards, will not produce well-socialised and adjusted dogs, and cannot guarantee the dogs will go to good homes.

I have personally been to Kellyville Pets and looked at adopting one of their puppies. If you are willing to pay the money, you can have a dog. They don't care.

Essentially what is being proposed in this DA is nothing short of a puppy farm and for the council to approve it would set a precedent that breeding purely for profit and without prejudice is ok. State governments across Australia have started implementing measures to wipe out backyard breeders and the like as they recognise the inhumane nature of the practice and the dire euthanasia statistics that come out as a result.

I implore Council to reject this DA outright. The owner of Kellyville Pets already makes a significant amount of money from selling puppies (\$4,900 each when I was in store). He currently sources puppies from animal Inspector checked, breed-specific breeders and should continue doing so. To open a puppy farm of his own, not only takes business away from decent breed-loving breeders, but adds unnecessary pressure on an already struggling pound and rescue system.

Please councillors, do you own research and ask any animal behaviorist if they think such an environment is good for dogs. I use to work for an animal welfare organization and know first hand, not even the RSPCA etc. would use kennels if they had a choice as they recognise how bad they are for animals' wellbeing.

Thank you for your time.

Best Regards,
Jessica Craig

Sent from my iPhone



Re development application # 10 - 2017 - 394 -
Trent Watson to: council

27/10/2017 09:20 AM

From: Trent Watson <trent.w.watson@gmail.com>
To: council@bathurst.nsw.gov.au

Attn General Manager

In regards to the development application number 10 - 2017 - 394, I wish to express my concern over such a 'breeding' facility.

The applicant may dress it up any way they like and try to spin it in a positive light, however this is nothing more than a factory farm application.

I urge council to reject this application and any others like it. Profits and animal welfare simply do not go together. To approve this application is basically endorsing animal cruelty.

Kind regards
Lisa Watson
9 Talltrees cct
Wakerley Qld 4154

**Say NO to Puppy Farms!!****sharon deen** to: council@bathurst.nsw.gov.au

27/10/2017 09:41 AM

From: sharon deen <shazpete69@hotmail.com>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

27-10-17

Hello.

My name is Sharon Deen.

I am emailing you today in regard to the proposed development from John Grima of Kellyville Pets to build a Puppy Farm in Bathurst.

I cannot voice my OBJECTION enough!!

I work in the Pet Industry,, am an animal rights advocate and have seen first hand the life long effects of dogs that have originated from such Vile places as puppy farms.

Please Please do Not allow this development to go ahead. PLEASE!!

Kindest regards

Sharon Deen

Molong.

Sent from my iPhone



Application: Development Application (10 - 2017 - 394 - 1)

Laura D to: council

27/10/2017 11:19 AM

From: Laura D <lozzad32@gmail.com>
To: council@bathurst.nsw.gov.au

Dear General Manager

My name is Laura Dallimore and I live at 8/126 Cadles road,
Carrum
Downs, Vic 3201

I wish to lodge an objection to the building of the above
facility to
supply puppies for his own pet shop.

We have as a country thousands of unwanted dogs and puppies in
pounds
and rescue groups across the nation. Which is a massive over
supply
already and is a very big problem causing councils and rescues
groups
to spend thousands of dollars trying to control the problem
every
year.

Millions have been euthanized over the years which is very
sad.
Contributing to this problem is a large supply from
unscrupulous puppy
farm owners.

We cannot keep contributing to problem, by allowing this
company to
bring more unwanted dogs into the world. Time to say No and
stop the
over breeding, there just isn't enough loving homes to look
after them
all.

What will happen once its built to keep proper conditions for
the
dogs? how will they be treated and looked after if no one has
make
checks.

I have seen too many times the disgusting conditions these
dogs are
forced to live in when they are just used as breeding
machines.

Please I beg of you to do what is right and deny this
application.

ADOPT don't shop is what we all need to do.

Kind regards
Laura

Sent from my iPhone
--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RXhxBOmeG/1YTbbnE2i6MZT26gfUEgE3/1.2>

**Say no to animal breeding facility****Catherine Neasbey** to: council

27/10/2017 03:55 PM

From: Catherine Neasbey <cjneasbey@gmail.com>
To: council@bathurst.nsw.gov.au

Dear Councillors,

Having just read about an application for an animal breeding facility in the area, it's very concerning.

<http://www.westernadvocate.com.au/story/5010354/our-say-breeding-facility-plan-could-be-a-tough-test-for-new-councillors/>

I work with Blacktown pound transporting animals to carers, and I would hope that a Council wouldn't allow such an application to pass without any consideration given to the hundreds of animals hoping for adoption in the surrounding pounds. This is an opportunity to send a powerful message - Adopt Don't Shop.

Thank you for advocating for our four-legged friends.

Regards,

Catherine Neasbey

0421 951 058 // cjneasbey@gmail.com

[Report this message as spam](#)

[Skip to navigation](#)[Skip to content](#)[Skip to footer](#)

Western Advocate

[Comment](#)

[News](#)

- [Local News](#)
- [Rural](#)
- [National](#)
- [World](#)
- [Business](#)
- [Property](#)

[Sport](#)

- [Local Sport](#)
- [NRL](#)
- [Tournaments](#)
- [Bathurst 1000](#)
- [Cricket HQ](#)
- [National Sport](#)

[Comment](#)

- [Editorial](#)
- [Letters](#)
- [Opinion](#)
- [Polls](#)

[Community](#)

- [Community News](#)
- [What's On](#)
- [Competitions](#)
- [Sponsorships](#)
- [Send us your news](#)

[Life & Style](#)

- [Food & Wine](#)
- [Travel](#)
- [Health](#)
- [Money](#)
- [Parenting](#)

[Entertainment](#)

- [Books & Arts](#)
- [TV & Movies](#)
- [Technology](#)
- [TV Guide](#)
- [Horoscopes](#)

Our say | Breeding facility plan could be a tough test for new councillors | Western Ad... Page 2 of 6

- [Quizzes](#)

Business Features

- [Special Publications](#)
- [Advertising Features](#)
- [Recommended](#)

Classifieds

- [Place a Classifieds Ad](#)
- [Tributes](#)
- [Celebrations](#)
- [Jobs](#)
- [Cars](#)
- [Real Estate](#)
- [Ag and Rural](#)

Search Site

- [Home](#)
- [News](#)
- [Sport](#)
- [Comment](#)
- [Community](#)
- [Life & Style](#)
- [Entertainment](#)
- [Business Features](#)
- [Classifieds](#)
- [All](#)

Comment

- [Editorial](#)
- [Letters](#)
- [Opinion](#)
- [Polls](#)

1. [Home](#)
2. [Comment](#)

October 24 2017 - 6:30PM

Our say | Breeding facility plan could be a tough test for new councillors

[Comment](#)

- [SHARE](#)
- [TWEET](#)
-
-



THE proponents of a new dog breeding facility planned for Fosters Valley, south of Bathurst, will hope their development does not encounter the same hurdles as a kennels proposal on the other side of town in 2014.

When Brendan McHugh first lodged his plans to build the Dunkeld Pet Hotel beside the Mitchell Highway, he could not have imagined just what a drawn-out process it would prove to be.

Even though Bathurst Regional Council's own senior staff recommended the kennels be approved, a majority of councillors – at the urging of nearby residents – thought otherwise and knocked it back.

It's history now that the case ended up in the Land and Environment Court where Mr McHugh won the matter, costing the council [ie ratepayers] more than \$100,000 trying to defend a case its own staff had tried to avoid.

The breeding facility proposal has certain similarities, but also marked differences.

The most obvious similarity is the fact we are again talking about a proposal within a rural setting that will bring together a large number of dogs in a confined space.



AD

powered by plista

A statement of environment effects lodged with council says the proposed breeding facility could house up to 60 breeding dogs – more than double the number housed at the kennels.

While current zoning would allow the breeding facility to go ahead, its presence would greatly change the amenity of the area and we wait to hear what residents living nearby might have to say about it.

Another concern for council might be the proximity of the breeding facility to koala feed trees on Black Mountain.

While the SoEE finds it would be very unlikely for a koala to make its way into the breeding facility, just the thought will naturally give some pause for consideration.

And then we need to see the attitude of the councillors.

The newcomers, in particular, could find themselves in a tough position if there is vocal resident opposition to the breeding facility but support from senior staff.

It's hard to imagine returning councillors would want to go down the path of the Land and Environment Court again, but the new councillors will be mindful that they have been elected to speak for all ratepayers.

And it's cases like this where there are few precedents to follow that can cause the greatest difficulty.

There could be some interesting times ahead.

- [SHARE](#)
- [TWEET](#)
-
-

RECOMMENDED



'He tried so hard to conquer his demons': Federal ...
NATIONAL

Seven melanomas identified in a year as Bathurst clinic turn...



2017 Model Year Runout now on
LAND ROVER

7 Tips For Leaders To Empower Their Employees
REST SUPERFUND



NEWS



Promoted



Assault at home followed consumption of 500ml bottle of absi...

LOCAL NEWS



Why spend big bucks on sparkling water?

SODASTREAM



All the winners have been chosen, now just to wait for the g...

LOCAL NEWS



Promoted

Switch to \$5 Roaming

VODAFONE

powered by plista

Follow us on Facebook

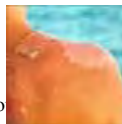


[View More Local Busin](#)



Health Insurance

Health insurance agency in Bathurst, New So



Damaged skin?

Have your skin checked by our specialist.



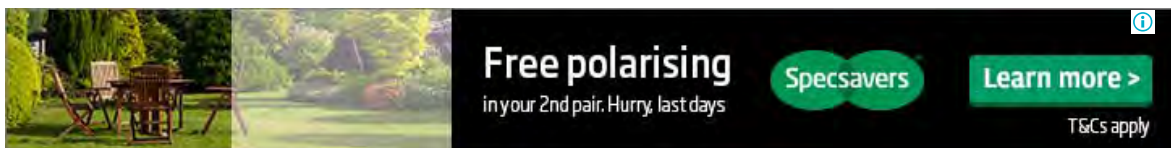
[List Your Business](#)

Local News

1. [Fuel stations slammed for 'disgusting' price discrepancies](#)

Our say | Breeding facility plan could be a tough test for new councillors | Western Ad... Page 6 of 6

2. [The Assumption School turns rainbow coloured | Photos, video](#)
3. [Wild weather brings trees down, SES crews called out](#)
4. [EXCLUSIVE | Soil testing at Bathurst Airport to determine 'emerging contaminant' levels](#)
5. [Great Western Highway work to start soon at Marrangaroo](#)
6. [Vandal slashes tyres, \\$500 reward offered to catch offender](#)



-
-
-
-

Fairfax Regional Media

Western Advocate

Classifieds

Submit

**Fw: Bathurst Council Puppy Factory DA**

mayor to: Group Records
Sent by: **Michelle Hession**
Cc: David Sherley

27/10/2017 03:29 PM

Could you please place on file and allocate to appropriate person for response

Michelle Hession
Part-Time Administration Assistant - Corporate & Events (Wed-Fri)
Bathurst Regional Council
158 Russell Street Bathurst 2795
Phone: 02 6333 6169
Fax: 02 6331 7211
www.bathurst.nsw.gov.au

----- Forwarded by Michelle Hession/BathurstCC on 27/10/2017 03:26 PM -----

From: Lisa Ryan <dachshundrescueandrehoming@telstra.com>
To: warren.aubin@bathurst.nsw.gov.au, bobby.bourke@bathurst.nsw.gov.au,
alex.christian@bathurst.nsw.gov.au, john.fry@bathurst.nsw.gov.au,
graeme.hanger@bathurst.nsw.gov.au, jess.jennings@bathurst.nsw.gov.au,
monica.morse@bathurst.nsw.gov.au, ian.north@bathurst.nsw.gov.au,
jacqui.rudge@bathurst.nsw.gov.au
Cc: bathurst@parliament.nsw.gov.au
Date: 26/10/2017 08:00 PM
Subject: Bathurst Council Puppy Factory DA

Dear Councillors

I am emailing in relation to the Development Application submitted by Rockley Valley Park Pty Ltd to build an intensive Puppy Factory within your shire.

I note your council is in the state electorate of Bathurst, held by National Party MP, Paul Toole.

Is this either a Designated or Integrated DA ?

What is the closure date for objections ?

I have reviewed the documents on council's website and there appears to be several missing documents.

Where is the traffic report ?

Where is the odour report ?

Regards

Lisa J Ryan

0423 366 602

2017/394/044

**Proposed puppy farm****The Observer** to: council@bathurst.nsw.com.au

27/10/2017 09:14 PM

From: The Observer <Charley25@live.com.au>
To: "council@bathurst.nsw.com.au" <council@bathurst.nsw.com.au>

Hi

Allowing a new puppy farm to be built in Bathurst would be shameful.

People who run these places are in it for only one reason - money. They do not have the best interests of the animals at heart.

If this farm should go ahead there will be many animals who will live miserable lives just as breeding machines. What kind of life is that for a dog? It is just plain cruel.

Puppy farms are very much out of favour with the public these days because we know what goes on inside them. All puppy farms should be closed down, not new ones built.

Please do not allow this venture to go ahead - for the sake of the animals.

Regards Deborah Kemp

--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RXs6BJQVo/1bJMnT8FgIfjX1Jh64HdjK/0.2>

2017/394/045



Development Application (10 - 2017 - 394 - 1
Mel Nelson to: council@bathurst.nsw.gov.au

27/10/2017 09:37 PM

From: Mel Nelson <mjn_col@yahoo.co.uk>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

Dear Councillors, I strongly object to the proposed development application above pertaining to an animal breeding facility.

We currently kill over 200,000 unwanted, healthy pets every year - how can there possibly be a demand for more? We need to fix the system we have in place right now before we start to churn out more and more animals for Councils, ratepayers and volunteers to have to deal with when the novelty wears off.

As a rate payer I do not want to have spend additional money looking after unwanted pets while private individuals profit from the sale but have no responsibility for their well being after that point.

Thanks you for your consideration,

Mel Ellis

2017/394/046

**Dog breeding facility****Trevor Brown** to: council@bathurst.nsw.gov.au

29/10/2017 04:12 PM

From: Trevor Brown <trevorjbrown@hotmail.com>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

I wish to object strongly to the application for a dog breeding facility in your council area. Dog shelters in Sydney are overcrowded with unwanted dogs, mostly purchased from pet shops, on a whim, with no thought of future responsibilities. This practice needs to be stamped out and the sale of animals through pet shops banned. I sincerely hope this application is rejected.

Janelle Brown

Sent from my iPad

--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RYb07vPcu/69ZFimRUSxhGldslJgjl3C/1.9>

50

“Terrel Park”
1605 Rockley Road
Fosters Valley
N.S.W. 2795
Phone: (02)63379261
Email: tel.47@bigpond.com

27 October 2017

Your ref: LCL:I:JM:DA/2017/394

Acting Director
 Environmental, Planning and Building Services
 Bathurst Regional Council
 158 Russell St
 Bathurst 2795
 Email: Council@bathurst.nsw.com.au

BATHURST REGIONAL COUNCIL

30 OCT 2017

Attn: M/s C L Clifton

REF 2017/394/050

Dear Madam

Development Application No 2017/394
Proposed Animal breeding Facility
Lot 2190 DP:846322 1557 Rockley Road Fosters Valley
Applicant: Rockley Valley Park Pty Ltd

We write in response to the above Development Application. The Development Application was not received by us until 22 October 2017 and a response is required by 30 October 2017. In the circumstances for such a significant development at least 6 weeks should be permitted for consideration and response. We have not had time to seek advice on a number of issues. We request until 30 November 2017 to respond in full and what the issues set out below are only our initial thoughts.

Whilst an animal breeding facility is allowed by the current zoning the impact of a dog breeding facility in this location is not consistent with the production of sheep for wool and lamb production and the quiet enjoyment of the neighbours of their land.. We make the following observations:

1. **Effluent and faeces run off.** A facility of this size will require significant washing down and waste disposal. As we are immediately adjacent to the proposed facility the by-products of this activity will, inevitably gravitate onto our property via the watercourse. We note that a septic tank is proposed do deal with this, but submit that this would be an ineffectual measure, considering the amount of waste/water likely to be generated. The feeder stream that comes into out property from this site then joins Davies Creek and ultimately runs into the Macquarie River.

RECEIVED

30 OCT 2017

BATHURST REGIONAL COUNCIL

1

DEPBS-R

2. **Noise and effect on our general Amenity of Life-** given that our residence is only about 200 metres from the proposed facility, the possibility of serious noise pollution is of grave concern. Please note that we are both in our seventies, and have health issues that could be seriously affected by any such noise, as sound travels quiet clearly across the intervening distance.
3. **Noise and its effect on lambing Ewes.** We run lambing ewes on the paddocks immediately adjacent to the proposed facility and the barking of dogs during lambing will cause stress to lambing ewes and possible miscarriage.
4. **Escape of dogs .** We appreciate that these dogs are caboodles however the escape of any of these dogs would add to any wild dog population which is plaguing many parts of NSW currently
5. **Koalas -** we believe the Statement of Environmental Effect (SoEE) significantly understates the situation regarding koalas in the immediate area of the proposed facility. Our observations are that koalas are frequent users of this and surrounding areas and do not restrict their climbing to officially recognised 'Habitat' or 'feed' trees, but can and will climb trees of any species. We have personally observed them on our property climbing willows, and a variety of conifers and/or pines. We do not believe that the 'The two perimeter fences will provide a physical barrier to the koalas from the dogs. The first undersigned (Terry lane) has been a ranger with the St Joseph's banks Wildlife Reserve for over 10 years and having had training in Koala habitat and characteristics.

We draw your attention to the following quote from the SoEE:

“The only potential interaction between koalas and the land at the south-western part of the site where the proposed dog breeding facility is to be located would be if a koala was walking on the ground which can occur mostly by male koalas seeking new territories or in search of a female.”

From my experience all koalas (including females with joeys) will frequently travel on the ground,

Please see photos of the Koala population in **the area; Attachment A**

6. **Biosecurity Act and Regulations** No consideration appears to have been given to biosecurity risks to the existing livestock activities on surrounding properties including sheep and cattle production. This will include the frequent movements of dogs in and out of the facility.
7. **Dogs NSW Code of Conduct.**

We would submit that further time is required for adjoining and adjacent landholders to fully consider the implications of the Development and this should be to 30 November 2017. The above outlines some of the initial concerns that the development will have on surrounding properties and the environment.

T.E.Lane



B.L.Lane



Encls: Attachments A to ?? photos of Koalas in the vicinity of the proposed Dog breeding facility

Appendix A - selection of koalas seen in area (by no means all)







2017/394/051



Objection re: DA application 10-2017-394-1
Pamper Paws Dog Spa to: council

30/10/2017 02:12 PM

From: "Pamper Paws Dog Spa" <info@pamperpaws.com.au>
To: <council@bathurst.nsw.gov.au>

Good afternoon,

I wish to voice my concerns regarding the breeding facility, or in other terms, puppy farm, proposed for 1557 Rockley Road, Forsters Valley. Please find my letter attached. I look forward to your response.

Kind Regards,

Meagan Lidbetter

Owner/Dog Groomer

Header

Price Lane

BLAYNEY NSW 2799

Ph: 02 6368 4507

Sms: 0431 910 751

Web: www.pamperpaws.com.au



- image002.png



- Objection re DA application 10-2017-394-1.docx

To General Manager, Bathurst Shire Council;

I wish to voice my concerns regarding the breeding facility, or in other terms, puppy farm, proposed for 1557 Rockley Road, Forsters Valley.

Within the pet industry, there is a clear understanding that breeding should only be done by responsible, registered breeders, to aim to produce a litter for better construction and temperament and a sounder dog.

As per Animal Welfare Code of Practice Breeding Dogs and Cats, point 10.1.2.1 *“Breeding practices should ensure that both breeding animals and the offspring they produce are as physically and behaviourally sound and healthy as possible.”* And 10.1.2.2 *“Where a heritable disease is recognised in a breed and where there are screening procedures or a test for that disease the person in charge in the case of a stud cat or dog or bitch or queen should:*

- *have a current official evaluation or test result for the dog or cat for such hereditary disease;*
- *provide the official evaluation or test result to the owners where the dog or cat is to be mated to an animal not owned by the breeding facility;*
- *provide the official evaluation or test result of both the sire and the dam to the new owners of any puppy of kitten;*
- *endeavour to ensure that the genetic make-up of both sire and dam will not result in an increase in the frequency or severity of known inherited disorders.”*

How will Rockley Valley Park be ensuring such diseases will be screened adequately?

Environmental enrichment and socialisation is paramount to an animal’s mental and physical wellbeing. At minimum requirements of 1 staff member per 25 dogs, the facility is unable to meet PIAA standards *“The minimum exercise time in an exercise enclosure or on leash must be for one hour, two times a day.”* *“The number of animals to be socialised must be limited so as to allow sufficient one to one play time and handling with staff and animals during the session.”* *“Socialisation and environmental enrichment must include walking on lead, basic obedience training, allowing play with toys.”*

As per PIAA standards, Staff ratios – *“animals to staff per enclosure at facility/establishment/centre must at least meet the requirements shown in Table 3 below.*

Table 2: Dog & enclosure ratio per staff member

No. of dogs at facility	Min. no. of staff	Max. no. of dogs per exercise area per min. no. staff
1-10	1	6
11-20	2	12
21-30	3	17
For every 10 dogs over 30	Add 1 extra staff member	17

- *For example, if there is one staff member at the facility there can be no more than 10 dogs held and they must be separated into at least 3 separate enclosures with no more than 6 dogs per enclosure.*
- *At least one staff member must be on call to come in and assist where necessary. It is recommended that if more than 10 dogs are booked in for a day, an extra staff member is present, particularly during main check in and check out times.*
- *At least two staff members must be present when introducing a new dog to the group play area – one to supervise the entry of the new dog and one or more to manage the dogs already in the play area.*
- *Where enclosures are separated by physical barrier (i.e. different room) a staff member must be in visual and audible range of animals in each enclosure at all times.”*

As per Animal Welfare Code of Practice Breeding Dogs and Cats, point 7.1.1.10 *“Dogs and cats must receive environmental enrichment, recognising the physiological status and special needs of differing ages and species, to ensure good psychological health”* and 10.1.2.5 *“Dogs and cats which are well socialised to human adults and children and with other animals will become well adjusted companions. The best opportunity to socialise puppies to humans and other animals is before twelve weeks of age.”*

As per Animal Welfare Code of Practice Breeding Dogs and Cats point 10.1.1.8 *“Animals that are isolated from the remaining breeding population must be provided with additional attention and socialisation to animal carers”*

How will Rockley Valley Park ensure that environmental enrichment and socialisation requirements are met to the above standards?

As per Animal Welfare Code of Practice Breeding Dogs and Cats point 4.2.1 *“Where staff are employed to care for animals; they should have formal qualifications and experience in animal care and management, which should be recorded in a register of staff training. Where appropriate, staff should be re-trained on a biennial basis”*

What formal qualifications will hired staff have in relation to the breeding and animal husbandry industry? How will this be regulated?

Animal Welfare Code of Practice Breeding Dogs and Cats point 9.1.2.6 *“Policies, procedures and staff training should be implemented which ensure that prospective buyers are matched to suitable dogs and cats. Such matching should consider the characteristics and lifestyle of the buyer, the type and behavioural attributes of the animal including exercise requirements, and the environment of the new home, including yard size and presence of children”*

What policies and procedures will Rockley Valley Park have in place to ensure adequate screening of potential buyers before re-homing both puppies and adult dogs?

Animal Welfare Code of Practice Breeding Dogs and Cats point 10.1.1.1 *“Bitches and queens must not be intentionally mated during their first oestrous cycle”* and point 10.1.1.10 *“Bitches must not have more than two litters in any two year period, unless with the written approval of a veterinary practitioner.”* Point 10.1.2.8 *“When dogs or cats reach the end of their useful breeding life, or when mature potential breeding stock is found to be in some way unsuitable for breeding purposes, it is the responsibility of the owner to:*

- *have such dogs or cats spayed or castrated;*
- *settle the dogs or cats into their new condition;*
- *either provide a pet home for the desexed dogs or cats themselves, or to canvass for and carefully select a new pet home for the animals;*
- *exercise patience and retain responsibility for the dog or cat until such time as a satisfactory new home is established.”*

With rescue shelters currently operating at maximum capacity nationally, and RSPCA NSW Dog Euthanasia Report 2015-2016 having a total of 2984 dogs euthanised within the financial year, how will Rockley Valley Park ensure adequate re-homing will be available for retired dogs? How will Rockley Valley Park provide adequate training for these dogs to ensure they are able to settle into a pet home? Such as children, other pets, traffic, household visitors, loud noises, house toilet training?

Puppy farms do not operate within the best interests of the animal, instead farm animals for the sole purpose of making large sums of money. As someone who has worked within the animal industry for a long time, I have seen first hand the negative effects these puppy farms have. I have seen many poor-bred dogs, bred as ‘designer breeds’, sold to buyers who are unaware of the poor breeding lines, the lack of socialisation their pup received in the critical younger weeks, and misinformed buyers who were left uneducated on the requirements and expectations of their dog, and pet ownership. I trust that Bathurst Shire Council will look at the negative impacts this puppy farm will bring to the area, before considering allowing the application to progress any further.

Kind regards,

Meagan Lidbetter

2017/394/05

**Dog breeding facility proposal , Fosters Valley****Paul D. Stapleton** to: council@bathurst.nsw.gov.au

Cc: Owen Stapleton

30/10/2017 03:12 PM

From: "Paul D. Stapleton" <PAUL.STAPLETON@jetstar.com>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>
Cc: Owen Stapleton <owenstapleton12@gmail.com>

To whom it may concern,

My names Paul, a concerned local residing in the immediate area (110 O'Sheas Road, Fosters Valley) of the proposed dog breeding facility the Bathurst council has planned to establish. I'd like to voice my strong opposition to have any such facility built in or around the immediate area, and am baffled as to why the council chose this exact area to build such a facility.

My families decision to live in the area was based on its tranquility and serenity. What positives could come of having sixty-plus dogs living within close proximity of each other bring to the local community? What guarantees do the residents have in regards to the safety of their livestock and livelihood? Are aggressive breeds such Pit Bulls and the like planned to be kennelled there?

It's concerning to have such a proposed establishment close to farms with young lambs and calves in the event dogs manage to escape and attack defenceless livestock, not to mention native fauna such as koalas and kangaroos which frequent the Rockley Mount area.

I'm hoping both mine and the other local residents voices are taken into consideration with future planning on the matter.

Thank you,

Paul Stapleton, Meagan Sigurdson

Sent from my iPad

This e-mail is intended only to be read or used by the addressee. It is confidential and may contain legally privileged information. If you are not the addressee indicated in this message (or responsible for delivery of the message to such person), you may not copy or deliver this message to anyone, and you should destroy this message and kindly notify the sender by reply e-mail. Confidentiality and legal privilege are not waived or lost by reason of mistaken delivery to you.

Jetstar Airways Pty Limited

ABN 33 069 720 243
--

Click here to report this message as spam:
<https://console.mailguard.com.au/ras/1RYAgsCJmw/2dvoqFa6O3NRInkJBobZZw/0.2>



I am opposed to the Rockely Valley Park Pty Ltd opening a breedign facility to supply dogs to a Pet store in Kellyville

Marni Ramoni to: council

31/10/2017 01:40 PM

From: Marni Ramoni <marni.ramoni@gmail.com>
To: council@bathurst.nsw.gov.au

Hi

I hereby oppose to the proposed breeding facility from being approved as there is already a problem with overpopulation of domestic animals, who find their way to the pounds for various reasons and get put down because a breeder brought them to this world and did not have a care in the world if the owners would look after their "product" or not.

also it is widely known that puppy factories are a concern for the community given the horrors of cruelty practices and lack of vet care these animals are put through.

I will write to my MP about this too.

there are other ways to stimulate the economy in Bathurst and in NSW and it is not through unnecessary suffering of domestic companions and wildlife.

thanks

.Marni Ramoni

0450183260

[Report this message as spam](#)



Objection to proposed dog breeding facility south of Bathurst (Please forward this email to the appropriate person , thank you)

Helen Ivory to: council@bathurst.nsw.gov.au

31/10/2017 02:34 PM

From: Helen Ivory <hhelen202@yahoo.com.au>
To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>
Please respond to Helen Ivory <hhelen202@yahoo.com.au>

Objection to proposed dog breeding facility south of Bathurst

To whom it may concern:

I understand that a dog breeding facility application has been lodged with the Bathurst Regional Council by a person named John Grima or a company of which he is the alleged owner and operator, Rockley Valley Park Pty. Ltd. I understand that John Grima is allegedly a board member of the Pet Industry Association of Australia (PIAA) and Managing Director of Kellyville Pets where allegedly the puppies produced at the facility are intended to be sold.

I strongly object to permission being granted for this facility by the council on the grounds that a) I believe animals should only be allowed to be sold at pet shops if they have come from the pound or animal rescue organisations and b) I believe nearby koala habitat may (potentially) be threatened if the facility is allowed to go ahead.

Helen Ivory



re Development Application 10 - 2017 - 394 - 1
Terry to: council

01/11/2017 07:23 PM

From: Terry <tel.47@bigpond.com>
To: council@bathurst.nsw.gov.au

The attached file is further to our submission in regard to the above DA, dated 27 October 2017.

Thank you for your consideration.

Yours T.E & B.L. Lane, 1605 Rockley Road, Fosters Valley



- submission2.doc

“Terrel Park”
1605 Rockley Road
Fosters Valley
N.S.W. 2795
Phone: (02)63379261
Email: tel.47@bigpond.com

Your ref: LCL:I:JM:DA/2017/394

Acting Director
Environmental, Planning and Building Services
Bathurst Regional Council
158 Russell St
Bathurst 2795
Email: Council@bathurst.nsw.com.au

Attn: M/s C L Clifton

Dear Madam

Development Application No 2017/394
Proposed Animal breeding Facility
Lot 2190 DP:846322 1557 Rockley Road Fosters Valley
Applicant: Rockley Valley Park Pty Ltd

Further to our submission dated 27/10/17, and having had time to go through some of the relevant papers and reports, we wish to further submit.

a. **Statement of Environmental Effects**

This document prepared by DFP Planning Consultants.

We draw your attention to the appended photograph (fig 1), appearing on page 10 of this report, which purports to be of no 1 Black Mountain Road.

This is, in fact, a photograph of our residence on 1605 Rockley Road.

We further draw your attention to the photograph on page 11, (fig 2) supposedly our residence, which is, in fact, the house on 1595 Rockley Road and is located on the opposite (western) side of the Rockley Road.

We are located SSE of the site and in much closer proximity than the above.

There is no photograph of No.1 Black Mountain Road included in the document.

We append an Arial Photograph (fig 3) with the relevant dwellings marked, as well as the proposed area (blue outline) where **A** is 1557 Rockley Road, **B** 1605 Rockley Road, **C** 1595 Rockley Road and **D** 1 Black Mountain Road.

Now we can not say whether these inaccuracies have occurred by accident or design, but given the way they distort the relationship of the various places, we have drawn our own conclusions.

We draw your attention to section 5.2.1 of the document, which states;

5.2.1 Acoustic Impact

Rockley Valley Park has engaged Rodney Stevens Acoustics to prepare an Acoustical Assessment for the proposed dog breeding facility at the site. A copy of the Acoustic Report is attached at **Appendix 6** of this SEE. The Acoustic Report measured the background noise levels and determined what impact the proposed dog breeding facility would have on the two sensitive residential receivers being the dwelling houses at 1605 Rockley Road and 1 Black Mountain Road, Fosters Valley.

Please note that NO acoustic reading were taken at or anywhere near our dwelling (1605 Rockley Road).

We draw you attention to section 5.2.4, which states;

5.2.4 Koala Habitat

As previously discussed in this SEE, the area of the proposed dog breeding facility does not contain any core koala habitat and no koalas have been identified on the site. However, koala sightings have been made in the vicinity of the subject site. The two perimeter fences will provide a physical barrier to the koalas from the dog kennels and the dense conifer hedge proposed along both Black Mountain Road frontage and Rockley Road frontage will also deter koalas. It is recommended that the following conditions be imposed to protect koalas:

- No koala feed trees be planted on the site within the vicinity of the dog breeding facility including within it.
- **Should a koala be spotted in the vicinity of the dog breeding facility that WIRES or another professional animal welfare agency be called to safely relocate the koala.**
- Any dogs in proximity to the koala should be relocated until such time as the koala has been relocated.

Relocate the local koalas? These animals are native to this area and should under no circumstances be removed.

Although briefly, and with little understanding of the animals, the report mentions koalas, no consideration has been given to other sensitive wildlife in the vicinity. Ring tailed possums and sugar gliders inhabit this area, to say nothing of the platypi and water rats resident in Davys Creek. It should be noted that all runoff from this area runs into Davys Creek.

Acoustical Assessment

This document prepared by Rodney Stevens Acoustics.

As stated above - no acoustic readings were taken from near our residence, despite this report claiming to have done so. See figure 2-1 in their report. Please note that, once again, the various properties have been misidentified.

On page 5 of this report we note;
Instrumentation for the survey comprised of a RION NL-42 Environmental Noise Logger (serial number 546394) fitted with a microphone windshield. Calibration of the logger was checked prior to and following measurements.

Referring again to figure 2-1 you will see that this logger was located well beyond the proposed facility in relation to our residence, effectively almost doubling the distance.

Given the above, we submit that this report is worthless.

Effluent Disposal Investigation - Proposed Dog Breeding Facility 1557 Rockley Road

Fosters Valley 2795 NSW

Item prepared by Calare Civil Pty Ltd.

Page 3 of this report states that the estimated daily estimated flow from washing down activities etc is 400 litres per day, and yet elsewhere it is stated that the septic tank will only be of 4000 litres capacity.

The diagram on page 7 of this report completely ignores the runoff directly to the south of the facility, which runs across Black Mountain Road and on to our property.

Water

We note that a bore has been completed on the site under approval 80WA724494. It is the stated intention that water from this bore will be used in the day to day running of the facility, however we draw your attention to section DK0896-00001 (page 7) of the approval which states

The water supply work authorised by this approval must only be used to take water for the purposes of domestic consumption and stock watering.

and to the following definitions in the glossary

domestic consumption - Domestic consumption is the use of water for normal household purposes in domestic premises situated on the land.

and

stock watering - Stock watering is the use of water for stock animals being raised on the land. It does not include the use of water for the raising of stock animals on an intensive commercial basis (kept in feedlots or buildings for all, or a substantial part, of the period during which the stock animals are being raised).

Washing down of pens, filling a recreational dam etc would seem to be in breach of these conditions, and we point out the following which is to be found at the foot of page 1 of the approval

It is an offence under the Water Management Act 2000 to breach a term or condition of the approval or to construct and use works to which the approval does not relate. It is also an offence to use works the subject of an approval if the approval has expired, been surrendered or cancelled.

What assurance do we have that the conditions of this approval will be strictly adhered to?

Further Concerns

It would appear that the proposed enterprise would be unregulated. The stated intention of the proposed facility is to breed **cross bred** dogs, and thus they will not fall under the auspices of the Australian National Kennel Council Ltd, as they only deal with pure bred dogs (verified by phone). It would appear that the only body the enterprise would be in any way answerable to is the Pet Industry Association of Australia, of which the principal of the venture, Mr. John Grima, is a board member. This can be verified by visiting <https://piaa.net.au/about/> and clicking on the link **PIAA Board of Directors** . Surely a conflict of interest here?

The proposal includes 15 dog enclosure designed to hold 5 dogs each. This is a potential of 75 adult dogs. It should be noted that pups under 14 weeks are not counted in any totals so the reality is that the facility could contain 200+ animals at any given time.

Appendix

1 Black Mountain Road is located approximately 420m from the location of the dog breeding facility to the south-east. The dwelling house at 1 Black Mountain Road is significantly lower than the subject site. A photograph of 1 Black Mountain Road as viewed from Black Mountain Road is provided in **Figure 8** below.



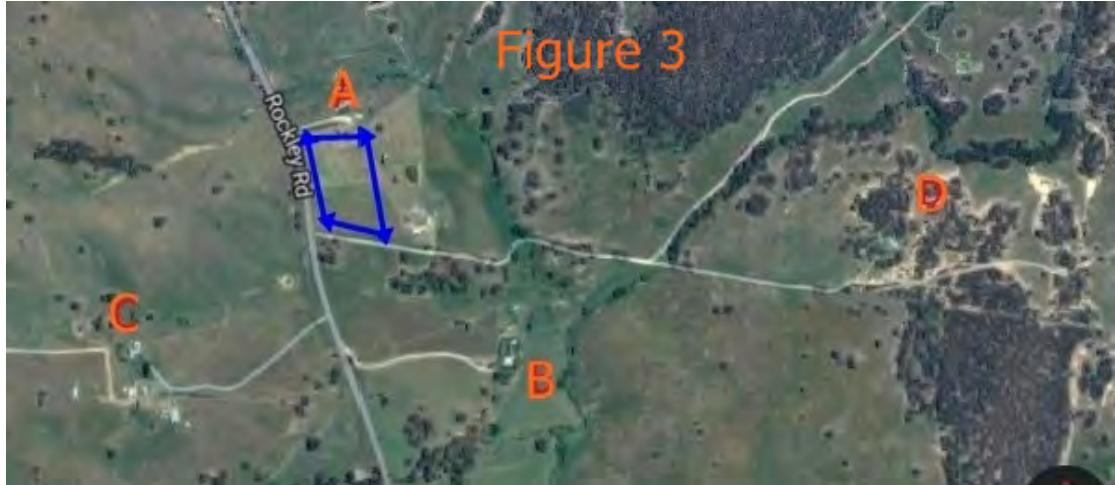
Figure 8 1 Black Mountain Road to the south-east of the site.

1605 Rockley Road is located to the south-west of the site and is located approximately 480m from the location of the dog breeding facility. This site is significantly higher than the subject site as the land slopes steeply up to the west from Rockley Road. A photograph of 1605 Rockley Road as viewed from the intersection of Rockley Road and Black Mountain Road is provided at **Figure 9** below.



Figure 9 1605 Rockley Road, viewed from the intersection of Black Mountain Road and Rockley Road

Appendix (p2)



2017/394/06

“Terrel Park”
1605 Rockley Road
Fosters Valley
N.S.W. 2795
Phone: (02)63379261
Email: tel.47@bigpond.com

12/11/2017

Your ref: LCL:I:JM:DA/2017/394

Acting Director
Environmental, Planning and Building Services
Bathurst Regional Council
158 Russell St
Bathurst 2795
Email: Council@bathurst.nsw.com.au

Attn: M/s C L Clifton

Dear Madam

Development Application No 2017/394
Proposed Animal breeding Facility
Lot 2190 DP:846322 1557 Rockley Road Fosters Valley
Applicant: Rockley Valley Park Pty Ltd

With regard to our comments on misidentification in our submission of Nov.2 we wish to point out that the entrance to our property has the number clearly displayed on the gate. Now as the resident manager of 1557 Rockley Road has visited our property on a number of occasions there could be no valid reason for any confusion over the number. In addition, if Rodney Stevens Acoustics had indeed placed an instrument where they claim to have done they would have had to enter through this gate. We also point out that the marked position of the RION NL-42 Environmental Noise Logger would place a crest of hillock between the two instruments.



To further clarify the situation we add the following photographs.

1. Taken from near our entrance gate looking North. The trees in the middle ground left mark the start of Black Mountain Road, the course of which is marked by the darker line running through the picture. Beyond Black Mountain Road is the site of the proposed facility and the residence of 1557 can be seen almost on the skyline, slightly right of centre. You will note that the ground slopes to form a basin and the run off comes through their boundary 3/4 right, mid field, crosses the road and flows into our property.



2. (Next page)

A view of the proposed site for the facility, taken from the Rockley Road and looking South East. Again the basin effect can be clearly seen. The structures to the left are the outbuilding of 1557 with the rightmost one being the site of the proposed 'training facility. The darker area, mid field, mid photo, is where the runoff leaves 1557 and crosses Black Mountain Road





re Development Application 10 - 2017 - 394 - 1
Terry to: council

12/11/2017 09:32 PM

From: Terry <tel.47@bigpond.com>
To: council@bathurst.nsw.gov.au

The attached file is further to our submissions in regard to the above DA, dated 27 October 2017 and 1st November 2017.

Thank you for your consideration.

Yours T.E & B.L. Lane, 1605 Rockley Road, Fosters Valley  - submission 3.doc

DRAFT DETERMINATION OF A DEVELOPMENT APPLICATION**PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE**

1. **The payment to Council of \$150.80 for the issuing of rural access levels.**

These bonds/fees must be paid at the time of lodgement of any Construction Certificate application.

All monetary conditions are reviewed annually, and may change as of 1 July each year.

REASON: Because it is in the public interest that such fees be paid in accordance with Council's Management Plan. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

2. **A septic tank is to be installed on the land and the premises connected thereto, in accordance with the provisions of the Local Government (Approvals) Regulation made under the Local Government Act, 1993. A "Local Approval to install, alter and/or operate a system of sewage management under Section 68 of the Local Government (General) Regulation 2005" application form must be submitted and approved by Council prior to the issuing of a Construction Certificate in relation to the building.**

REASON: Because the character of the development is such that effluent will be produced, and the location is such that the development cannot be connected to the sewerage system, and because it is in the public interest to comply with the provisions of the Local Government (Approvals) Regulation, 1993. Section 79C (1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

3. **A geo-technical study is to be submitted with the "Local Approval to install, alter and/or operate system of sewage management under Section 68 of the Local Government (General) Regulation 2005" application form to determine the suitability of the site with respect to the onsite disposal of effluent.**

This study is to be carried out by an experienced geo-technical engineering consultant, with associated testing being conducted by a NATA registered laboratory. Matters such as geology, stratigraphy (in particular soil profile and permeability) must be addressed.

The study must also state whether or not the proposed dwelling and the proposed effluent disposal area are located in a position and are of a design and capacity to ensure that all effluent arising from the dwelling can be disposed of on the site without causing nuisances and/or pollution, both in the short and the long term.

NOTE 1: As a site investigation will need to be undertaken in order to determine the design of the floor slab and/or footings, it is suggested that the required geo- technical study with respect to onsite disposal of effluent be carried out at the same time. This should minimise investigation time and costs.

NOTE 2: The final location of the dwelling on the land may be determined by the findings and recommendations of the required geo-technical study. The location of the dwelling should therefore not be finalised until the results of the geo-technical study are known.

REASON: To ensure that the site can cope with effluent disposal. Section 79C(1)(b) the Environmental Planning and Assessment Act 1979, as amended.

4. **The applicant is to obtain a CONSTRUCTION CERTIFICATE pursuant to Section 109C of the Environmental Planning and Assessment Act 1979, as amended from either Council or an accredited certifying authority certifying that the proposed works are in accordance with the Building Code of Australia PRIOR to any works commencing.**

NOTE 1: No building, engineering, excavation work or food premises fitout is to be carried out in relation to this development until the necessary Construction Certificate has been obtained.

NOTE 2: YOU MUST NOT COMMENCE WORK UNTIL YOU HAVE RECEIVED THE CONSTRUCTION CERTIFICATE, even if you made an application for a Construction Certificate at the same time as you lodged this development application.

NOTE 3: It is the responsibility of the applicant to ensure that the development complies with the provision of the Building Code of Australia in the case of building work and the applicable Council Engineering Standards in the case of subdivision works. This may entail alterations to the proposal so that it complies with these standards.

REASON: So that the design of the proposed work may be assessed in detail before construction commences and because it is in the public interest that the development comply with the appropriate construction standards. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

PRIOR TO ANY WORK ON SITE

5. **If the work involved in the approved development:**
- a) **is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or**
 - b) **building involves the enclosure of a public place,**
- a hoarding or fence must be erected between the work and the public place.**

If necessary, an awning is to be erected, sufficient to prevent any substance, from or in connection with the work, falling into the public place. Further the work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.

NOTE 1: If the approved development requires the erection of temporary scaffolding, fencing or hoardings on the road or the footpath adjacent to the site, the applicant is to obtain further approval under the Local Government

Act 1993 and/or the Roads Act 1993 from Council before work commences.

NOTE 2: Any such scaffolding, fencing, hoardings or awnings are to be removed when the work has been completed.

NOTE 3: Any external lighting required by this condition is to be designed and positioned so that at no time will any light be cast upon any adjoining property.

REASON: Because it is in the public interest that adequate safety measures are provided. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

6. **Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site. Each toilet provided must be:**
- a) **a standard flushing toilet connected to a public sewer, or**
 - b) **if that is not practicable, an accredited sewage management facility approved by the Council, or**
 - c) **if that is not practicable, any other sewage management facility approved by the Council.**

NOTE 1: The provision of toilet facilities in accordance with this condition must be completed before any other work is commenced.

NOTE 2: Refer to Council's Guidelines for the provision of builder's temporary closet accommodation for additional information.

REASON: To provide adequate sanitary facilities during the construction phase. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

DURING CONSTRUCTION

7. **The applicant is to arrange an inspection of the development works by Council's Engineering Department at the following stages of the development. This condition applies notwithstanding any private certification of the engineering works.**

COLUMN 1	COLUMN 2
Drainage	<ul style="list-style-type: none"> * After laying of pipes and prior to backfill; * Pits after rendering openings and installation of step irons.

New gate – rural crossing	<ul style="list-style-type: none"> * Prior to commencement of excavation works. * After compaction of base and prior to sealing * Road pavement surfacing
Erosion and sediment control	<ul style="list-style-type: none"> * Prior to the installation of erosion measures.
All development and/or subdivision works	<ul style="list-style-type: none"> * Practical completion.

REASON: Because it is in the public interest that Council inspect the work at these stages of development. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

8. **All roofed and paved areas are to be drained and the water from those areas and from any other drainage conveyed to an appropriately sized and sited on-site disposal area, in accordance with AS/NZS 3500.**

Storm water disposal drains shall be connected to all roof gutter down pipes within 14 days of installation of the down pipes and/or the construction of hard standing areas, as may be appropriate, to discharge roofwater to the approved method of disposal.

Where kerb and gutter is constructed, an approved PVC or galvanised steel kerb adaptor (either roll over kerb adaptor or upright kerb adaptor) shall be installed in the kerb.

NOTE 1: 'Pump-out' stormwater drainage systems are not acceptable.

REASON: Because the character of the development is such that storm water run off will be increased and must be safely conveyed to the storm water drainage system. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

9. **The ground surrounding the building shall be graded and drained to ensure that all surface and seepage water is diverted clear of buildings on the site and clear of adjoining properties. Permanent surface or subsoil drains or a combination of both shall be provided to all excavated areas, hard standing areas and depressions. The invert of such drains shall be a minimum of 200 mm below the finished floor level and shall have a minimum grade of 1:100 to the approved storm water disposal location. This work shall be carried out within 14 days of the installation of the roof gutter down pipes.**

REASON: A drainage system for the disposal of stormwater must convey the water to an appropriate outfall, avoid the entry of water into a building, avoid water damaging the building and avoid the likelihood of damage or nuisance to any other property. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

10. **All earthworks, filling, building, driveways or other works, are to be designed and constructed (including stormwater drainage if necessary) so that at no time will any ponding of stormwater occur on adjoining land as a result of**

this development.

REASON: To prevent the proposed development having a detrimental effect on the developments existing on the adjoining lands. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

11. **The developer is to relocate, if necessary, at the developer's cost any utility services.**

REASON: Because the circumstances are such that the services be relocated. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

12. **The construction of an all-weather vehicular access to each proposed allotment. Such access shall include a minimum 4.0 metre wide sealed footway crossing, extending from the edge of the bitumen seal on the public road to the entrance gate or stock grid.**

NOTE: Any new vehicular access points are to be located such that all RTA stopping sight distances are achieved.

REASON: To provide an all-weather vehicular access clear of the public roadway. Section 79C(1)(c) of the Environmental Planning and Assessment Act 1979, as amended.

13. **Compliance with any requirements of the Department of Primary Industries - Water.**

REASON: Because of representations to that effect made by that body (those bodies). Section 79C(1)(d) of the Environmental Planning and Assessment Act 1979, as amended.

14. **The Builder must at all times maintain, on the job, a legible copy of the plan and specification approved with the Construction Certificate.**

REASON: Because it is in the public interest that a copy of the construction certificate plans are available. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

15. **Building work involving the use of electric or pneumatic tools or other noisy operations shall be carried out only between 7.00 am and 8.00 pm on weekdays and 8.00 am and 8.00 pm on weekends and public holidays.**

REASON: So that building works do not have adverse effect on the amenity of the area. Section 79C(1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

16. **All building rubbish and debris, including that which can be wind blown, shall be contained on site in a suitable container at all times prior to disposal at Council's Waste Management Centre or other facility that can lawfully be used as a waste facility for that type of waste. The container shall be erected on the building site prior to work commencing.**

Materials and sheds or machinery to be used in association with the

construction of the building shall not be stored or stacked on Council's footpath, nature strip, reserve or roadway.

NOTE 1: No building rubbish or debris shall be placed or be permitted to be placed on any adjoining public reserve, footway, road or private land.

REASON: To ensure that the building site and adjoining public places are maintained in a clean and tidy condition so as not to interfere with the amenity of the area. Section 79C (1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

17. **Erosion and sediment control measures are to be established prior to commencement of construction and maintained to prevent silt and sediment escaping the site or producing erosion. This work must be carried out and maintained in accordance with Council's Erosion and Sediment Control Guidelines for Building Site.**

NOTE 1: All erosion and sediment control measures must be in place prior to earthworks commencing. Copies of the above guidelines are available from Council's Environmental, Planning & Building Services Department.

REASON: To ensure the impact of the work on the environment in terms of soil erosion and sedimentation is minimised. Section 79C (1)(b) of the Environmental Planning and Assessment Act 1979, as amended.

18. **If soil conditions require it:**

- a) **retaining walls associated with the erection/demolition of a building or other approved methods of preventing movement of soil must be provided, and**
- b) **adequate provision must be made for drainage.**

REASON: Because it is in the public interest that all building elements are able to withstand the combination of loads and other actions to which it may be subjected. Section 79C(1)(b) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

PRIOR TO OCCUPATION/SUBDIVISION CERTIFICATE

19. **The vegetation screening along Rockley Road and Black Mountain Road is to be native species other than koala feed species to limit likelihood of koala interactions, and it be extended along Black Mountain Road to provide a more effective barrier to neighbours. The screening is to be a distance of 200m (or along the southern and eastern security fence) so that the facility is less visible to Black Mountain Road.**

REASON: To limit the adverse impact of the animal breeding facility on the surrounding area. Section 79C (1)(d) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

20. **All natural drainage paths be protected by permanent vegetation of a type to contain sediment movement off the property.**

REASON: To protect the health of downstream water courses. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

21. **A dedicated water supply of at least 20,000 litres is to be provided on site for fire fighting purposes. This is in addition to the water supply requirements for domestic purposes.**

The water supply is to achieve the following standards:

- a) **A suitable connection for fire fighting purposes is made available and located within the Asset Protection Zone and away from the structure. A 65mm Storz outlet with a Gate or Ball valve is provided;**
- b) **Gate or Ball valve and pipes are adequate for water flow and are metal rather than plastic;**
- c) **Underground tanks have an access hole of 200mm to allow tankers to refill direct from the tank. A hardened ground surface for truck access is supplied within 4 metres of the access hole;**
- d) **Above ground tanks are manufactured of concrete or metal and raised tanks have their stands protected. Plastic tanks are not used. Tanks on the hazard side of a building are provided with adequate shielding for the protection of fire fighters; and**
- e) **All above ground water pipes external to the building are metal including and up to any taps. Pumps are shielded.**

NOTE: Any departure from the above standards will require written authorisation from Council and the Rural Fire Service.

REASON: Because it is in the public interest that adequate water supply be available for fire fighting purposes. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

22. **The applicant is to obtain an Occupation Certificate pursuant to Section 109C of the Environmental Planning and Assessment Act 1979, from either Council or an accredited certifying authority prior to occupation of the building.**

NOTE 1: The issuing of an Occupation Certificate does not necessarily indicate that all conditions of development consent have been complied with. The applicant is still responsible for ensuring that all conditions of development consent have been complied with.

REASON: Because it is in the public interest that an Occupation Certificate be issued prior to occupation of the building. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

USE OF THE SITE

23. **All animals are to be wholly contained within their breeding and inner yard enclosure between the hours of 6:00pm and 7:00am.**

REASON: To reduce the likelihood of noise associated with animals being

exercised outside of their sleeping pens and impacting upon the amenity of the locality. Section 79C(1)(c) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

24. **Compliance with Industry & Investment NSW, “Animal Welfare Code of Practice – Breeding Dogs & Cats” 2009 and Pet Industry Association of Australia “Standards and Guidelines for Best Practice Breeding Establishments 2016” and subsequent amendments as required.**

REASON: To ensure appropriate operation in accordance with best industry practice. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

25. **Noise levels at the nearest non-associated residences are not to exceed the following:**

Rated Background Level	Intrusive Criteria	Daytime Noise Penalty	Evening/Night noise penalty	Acceptable Noise Criteria Day	Acceptable Noise Criteria Evening/Night
30dBA	35dBA	-5dBA	-10dBA	30dBA	25dBA

REASON: To ensure the development does not result in excessive noise impacts. Section 79C (1)(d) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

26. **Acoustic compliance monitoring of not less than 1 week is to occur within 6 months of the facility's operation and at not less than 80% of the operational capacity. Acoustic assessment is to take place within 30 metres of the residential receivers, identified in the acoustic report or if permission is not granted, within 1557 Rockley Road at the closest point to the receiver.**

REASON: To ensure the development does not result in excessive noise impacts. Section 79C(1)(d) and (e) of the Environmental Planning and Assessment Act 1979, as amended.

27. **The proponent is to at least twice yearly undertake direct consultation with the surrounding residential properties to seek feedback in relation to issues such as noise, traffic generated and compliance with Conditions of Consent.**

NOTE: Evidence of this consultation is to be submitted to Council.

NOTE: This condition has effect for a period of two years from the date of this Consent.

REASON: Because it is within the public interest that concerns raised are adequately addressed to ensure the development does not adversely impact the surrounding amenity. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

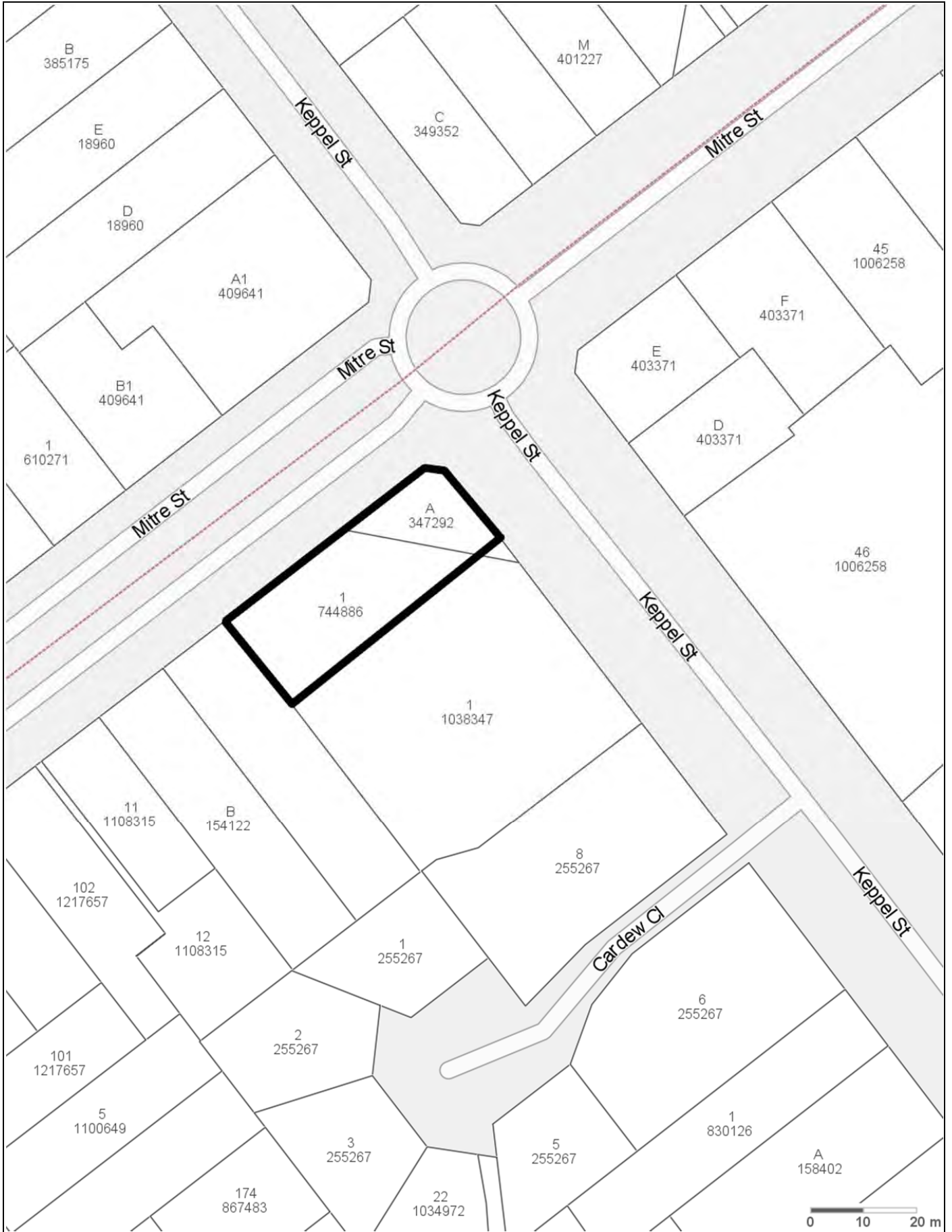
28. **Management procedures are to be put in place to prevent the emission of avoidable barking or other noise, including shade cloth, or similar (1800mm**

in height and a colour conducive to the landscape features) is to be erected along the security fence to prevent barking caused by external stimulus.

REASON: To ensure that appropriate measures are implemented should inappropriate animal noise emissions occur. Section 79C (1)(e) of the Environmental Planning and Assessment Act 1979, as amended.

29. **A complaints management plan is to be established, including a record for verbal and telephone complaints, investigation and relevant testing measures, timeline for action to be completed and confirmation of follow up with complainant. The record of complaints and actions is to be submitted to Council annually, including a “Nil” report if that is the case.**

REASON: Because it is within the public interest that concerns raised are adequately addressed to ensure the development does not adversely impact the surrounding amenity. Section 79C(1)(e) of the Environmental Planning and Assessment Act 1979, as amended.



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: DwyerD

Date: 8/02/2018

Projection: GDA94 / MGA zone 55

Map Scale: 1:940 @ A4

DA 2017/314



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: DwyerD
 Date: 8/02/2018
 Projection: GDA94 / MGA zone 55
 Map Scale: 1:940 @ A4

DA 2017/314

Alterations and Additions to 118 Mitre Street, Bathurst

Drawings List

- DA 01 Roof and Site Plan
- DA 02 Existing and Demolition Plan
- DA 03 Ground Floor Plan
- DA 04 First Floor Plan
- DA 05 Elevations
- DA 06 Sections

Schedule of BASIX commitments

BASIX Certificate number: A289315

Insulation

external wall: brick veneer
 raked ceiling, pitched/skillion roof: framed ceiling
 R1.66 (or R2.20 including construction)
 R2.74 (up)
 roof: foil backed blanket 55mm
 dark (solar absorptance > 0.70)

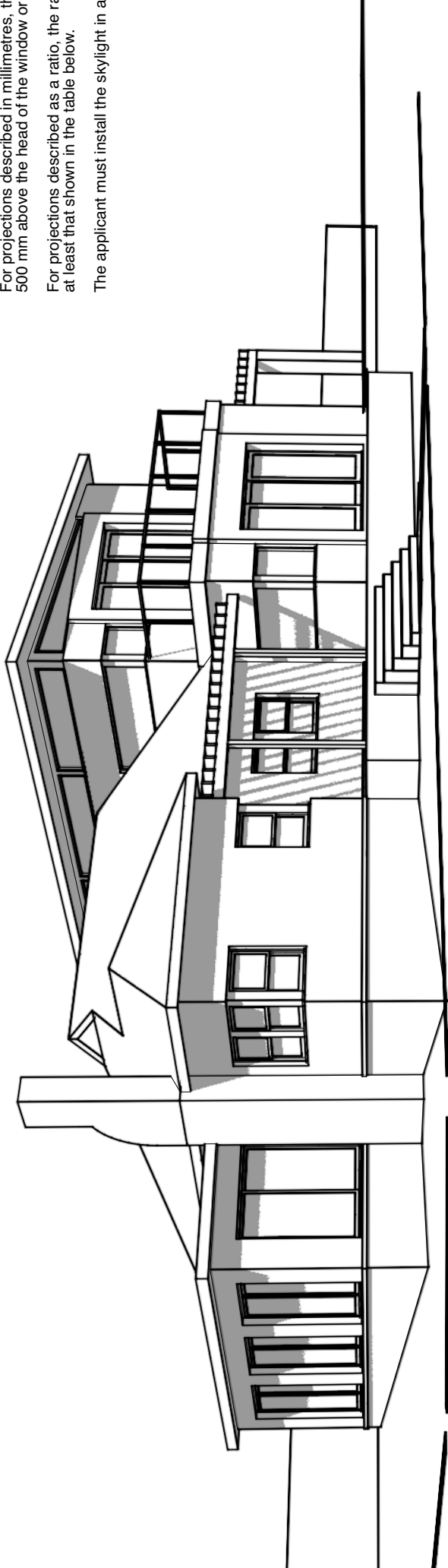
Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the BASIX certificate Glazing Requirements table.

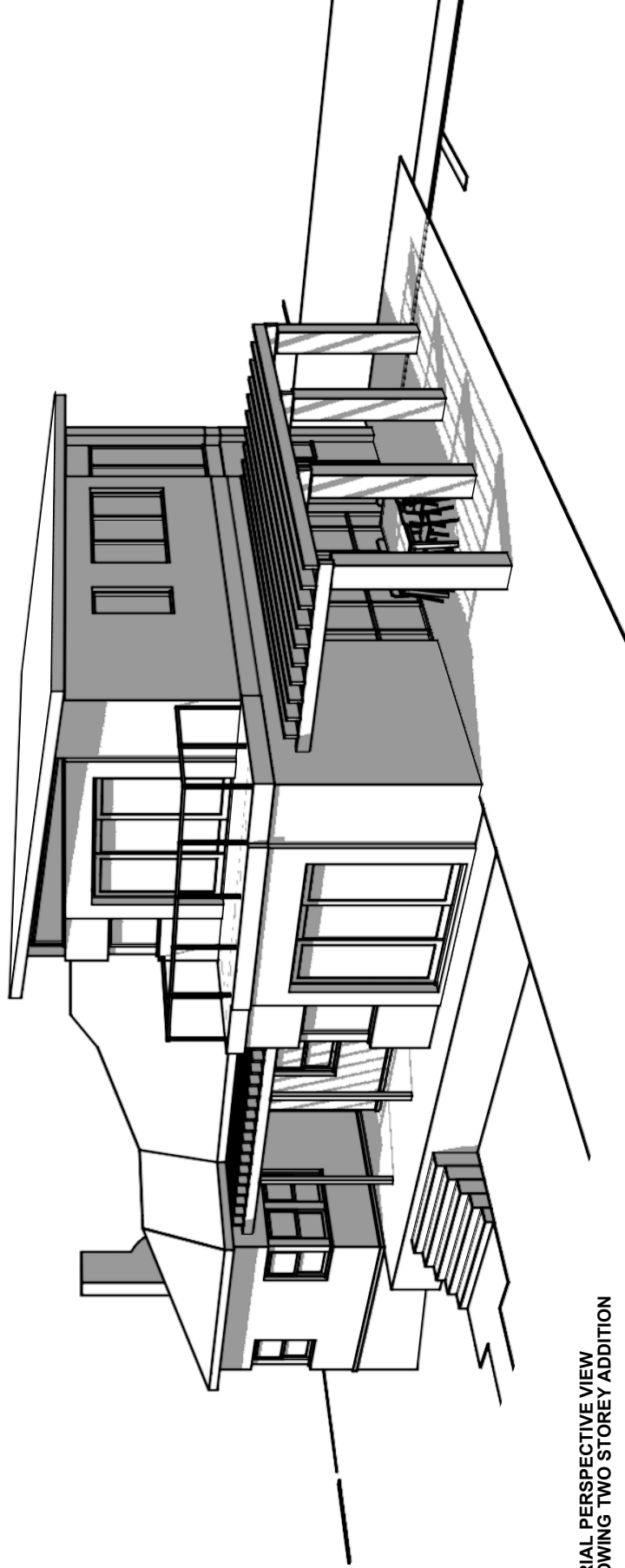
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

The applicant must install the skylight in accordance with the specifications listed in the BASIX Skylight Glazing Requirements table.



PERSPECTIVE VIEW FROM CORNER OF MITRE AND KEPPEL STREETS



AERIAL PERSPECTIVE VIEW SHOWING TWO STOREY ADDITION

alterations and additions

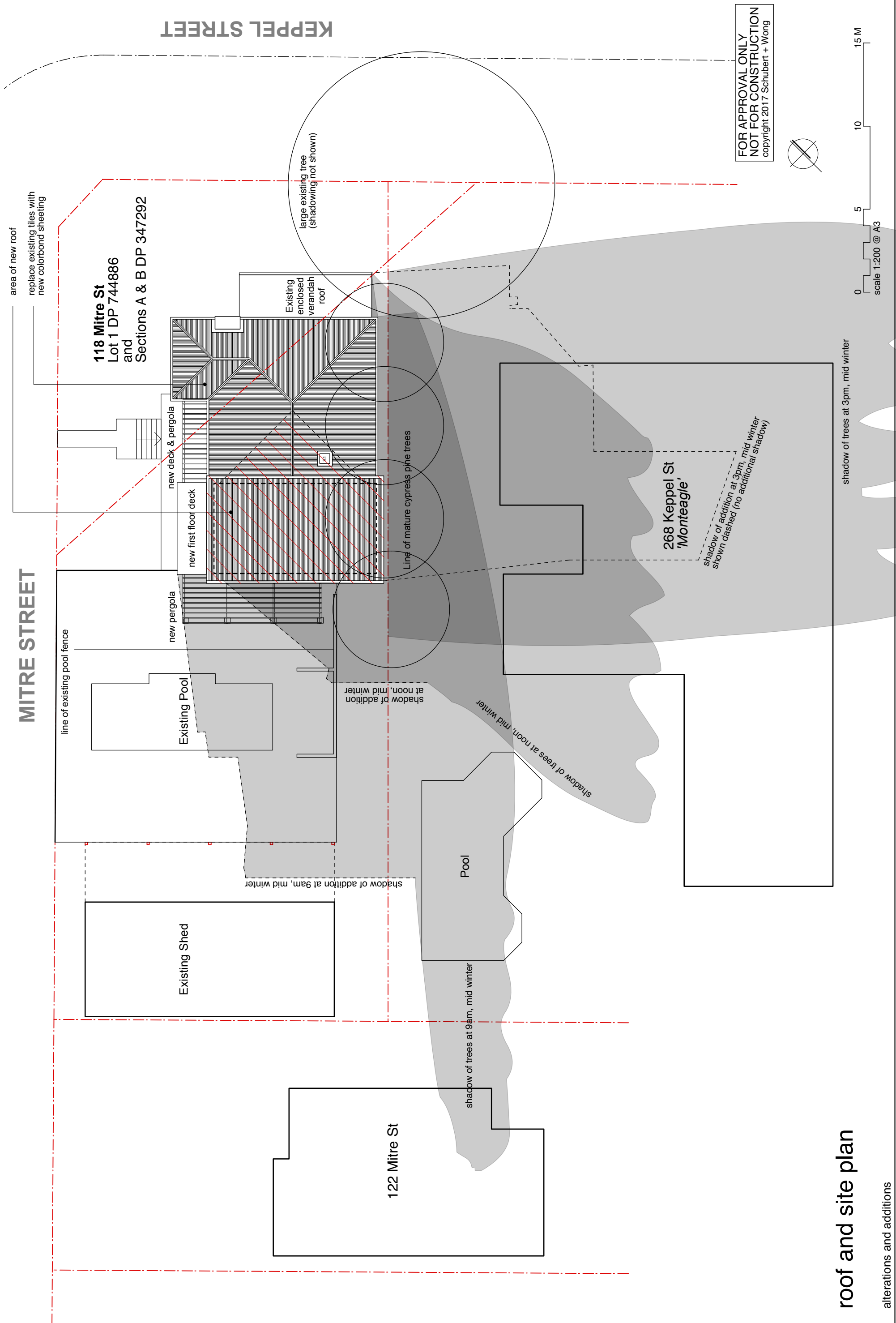
118 Mitre St, Bathurst

schubert + wong
 architects
 ABN 25 294 658 346 - Nominated architect Lian Wong, Registration No. 8532

62 Brittle Jack Rd, O'Connell
 mail@schubertwong.com.au
 0425 298 118

1702 - DA 00

23/8/17

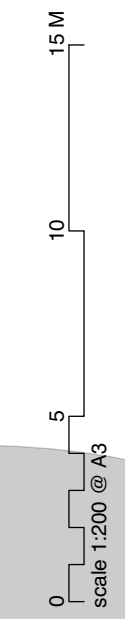


118 Mitre St
 Lot 1 DP 744886
 and
 Sections A & B DP 347292

MITRE STREET

KEPPEL STREET

FOR APPROVAL ONLY
 NOT FOR CONSTRUCTION
 copyright 2017 Schubert + Wong



shadow of trees at 9pm, mid winter

268 Keppel St
 'Monteagle'

shadow of addition at 3pm, mid winter
 shown dashed (no additional shadow)

shadow of addition at noon, mid winter

shadow of trees at noon, mid winter

shadow of addition at 9am, mid winter

shadow of trees at 9am, mid winter

roof and site plan

alterations and additions

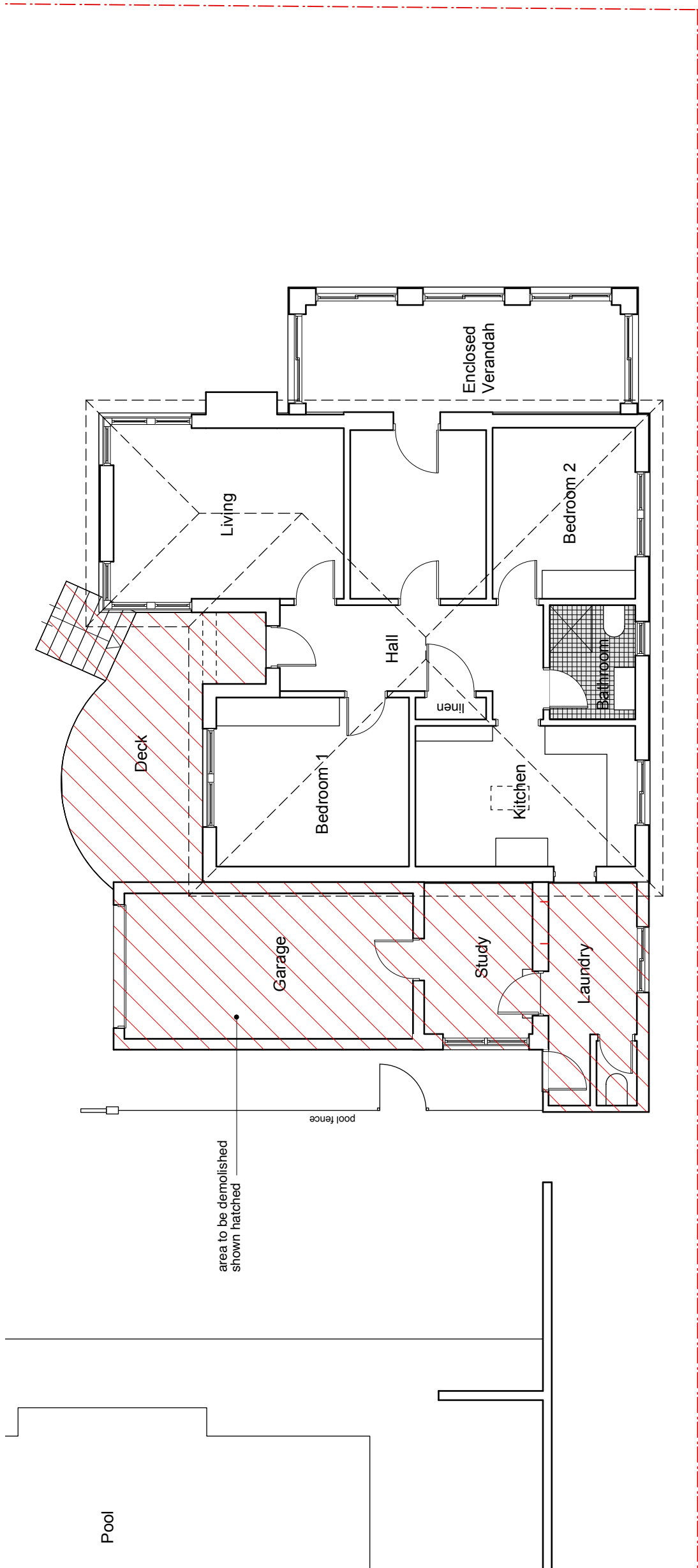
118 Mitre St, Bathurst

Schubert + Wong
 architects

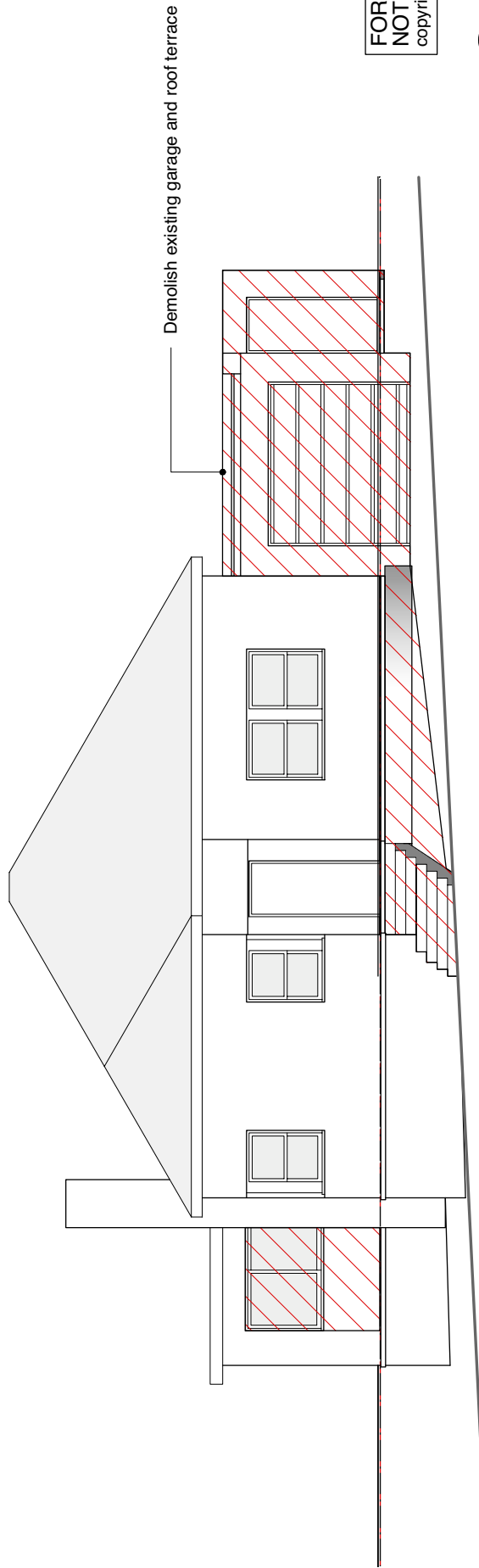
62 Brittle Jack Rd, O'Connell
 mail@schubertwong.com.au
 0425 298 118

1702 - DA 01

23/8/17

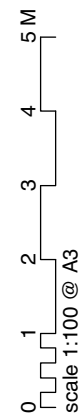


EXISTING FLOOR PLAN



EXISTING FRONT (MITRE ST) ELEVATION

FOR APPROVAL ONLY
NOT FOR CONSTRUCTION
copyright 2017 Schubert + Wong



existing and demolition plan

alterations and additions

118 Mitre St, Bathurst

schubert + wong
architects

62 Brittle Jack Rd, O'Connell
mail@schubertwong.com.au
0425 298 118

1702 - DA 02

23/8/17

MITRE STREET

KEPPEL STREET



ground floor plan

alterations and additions

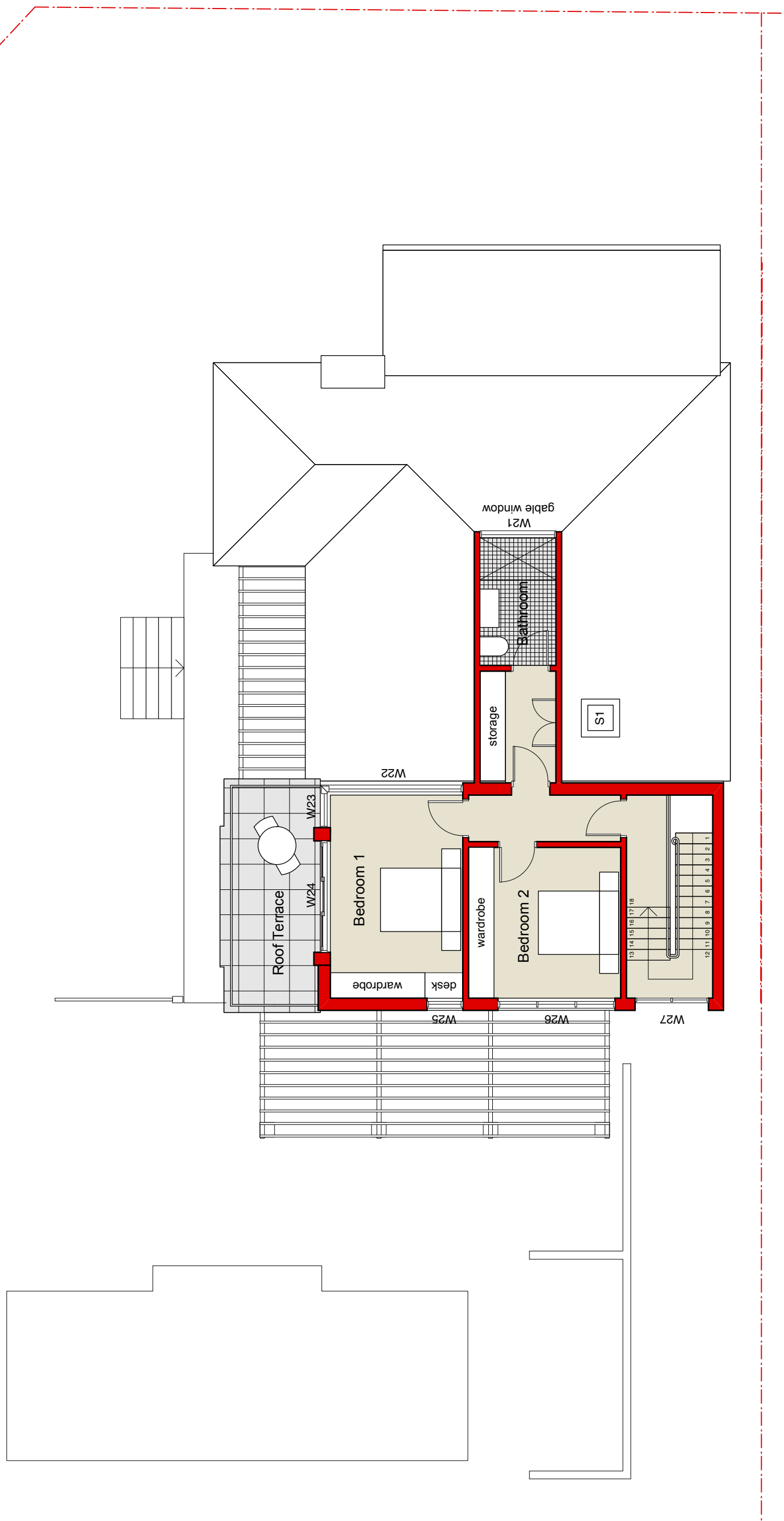
118 Mitre St, Bathurst

Schubert + Wong
architects

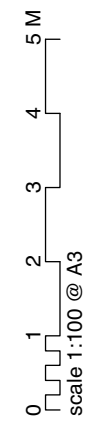
62 Brittle Jack Rd, O'Connell
mail@schubertwong.com.au
0425 298 118

1702 - DA 03

23/8/17



FOR APPROVAL ONLY
 NOT FOR CONSTRUCTION
 copyright 2017 Schubert + Wong



first floor plan

alterations and additions

118 Mitre St, Bathurst

1702 – DA 04

23/8/17

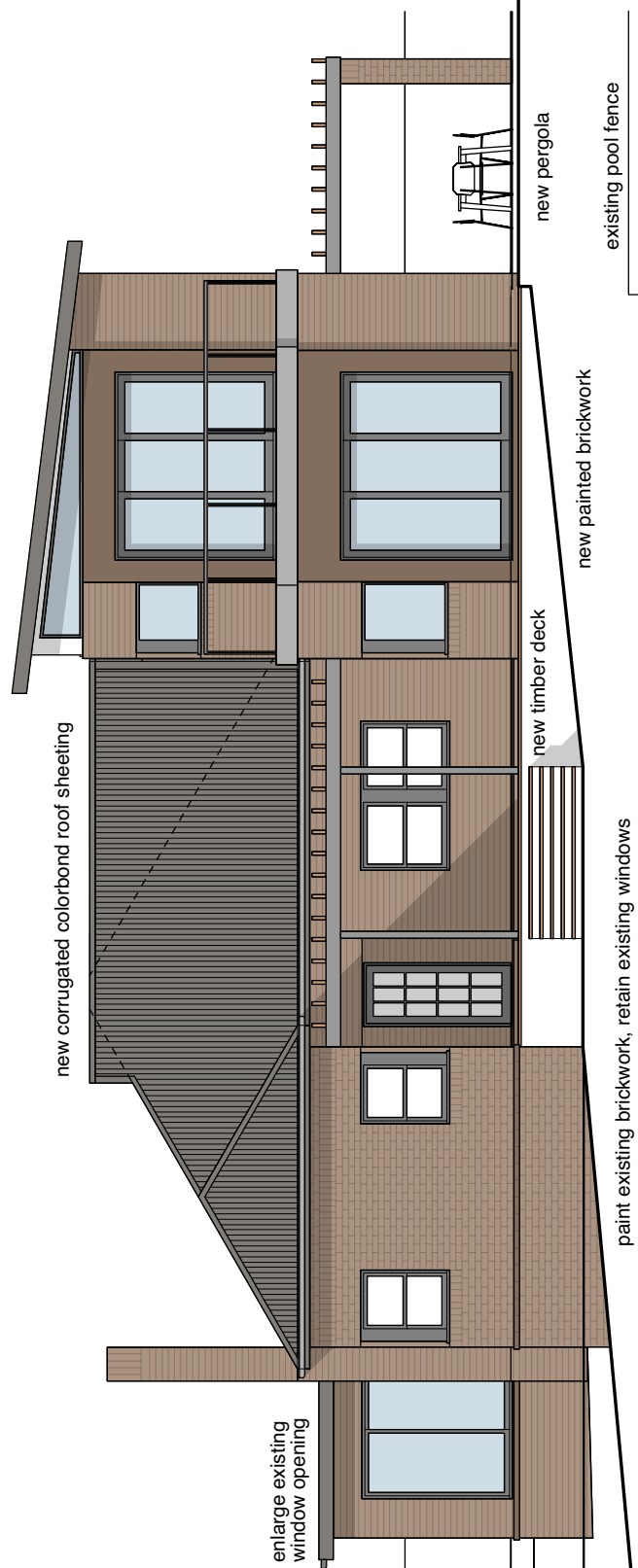
62 Brittle Jack Rd, O'Connell
 mail@schubertwong.com.au
 0425 298 118

schubert + wong
 architects
 ABN 25 294 658 346 - Nominated architect Lian Wong, Registration No. 8532

line of trees along fence approximately 4.5m higher than existing ridge line

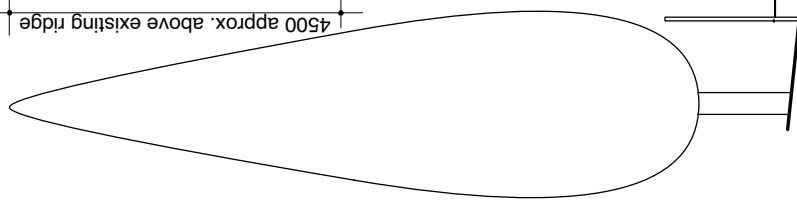


SOUTHWEST ELEVATION

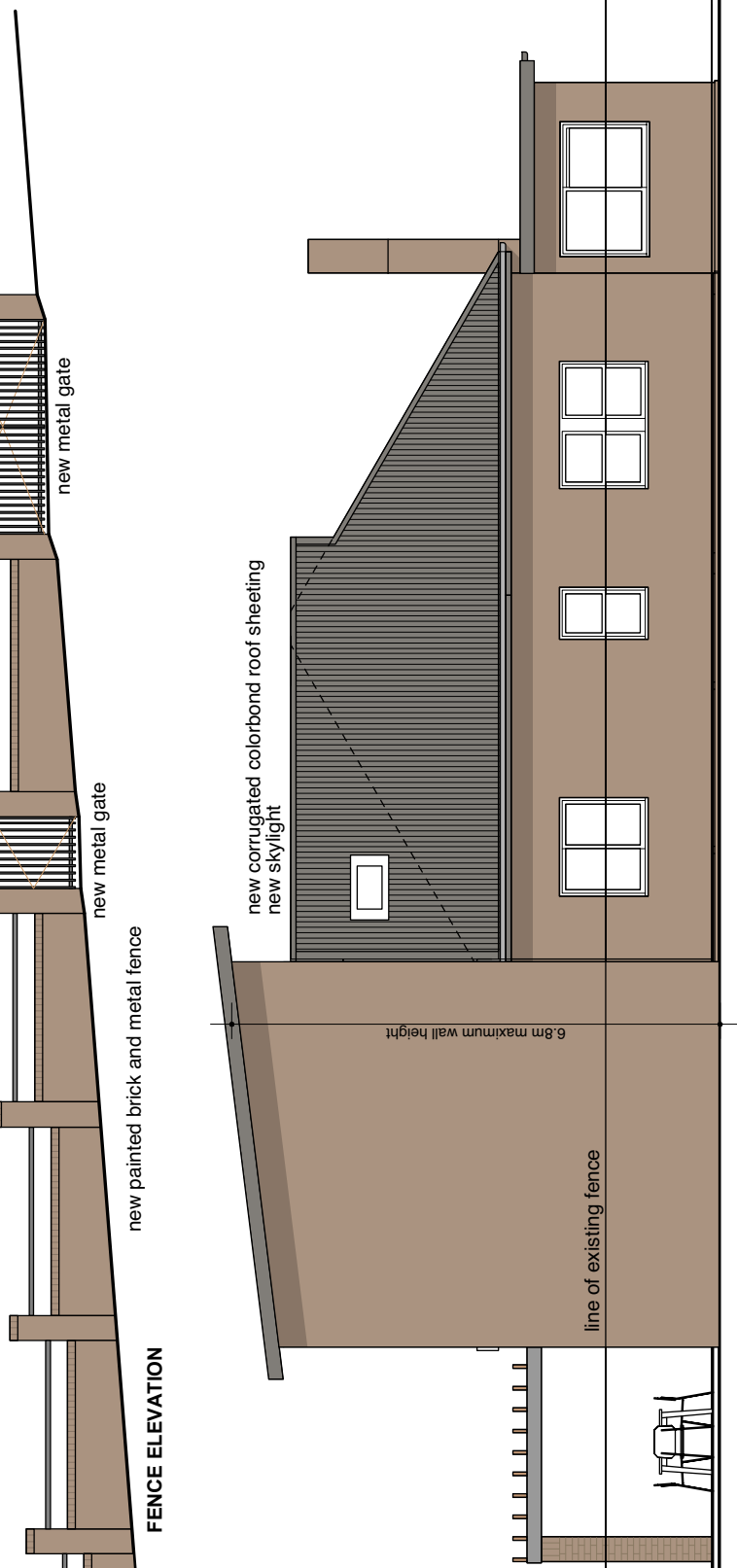


NORTHWEST (MITRE ST) ELEVATION

4500 approx. above existing ridge



NORTHEAST (KEPPEL ST) ELEVATION



SOUTHEAST ELEVATION

elevations

alterations and additions

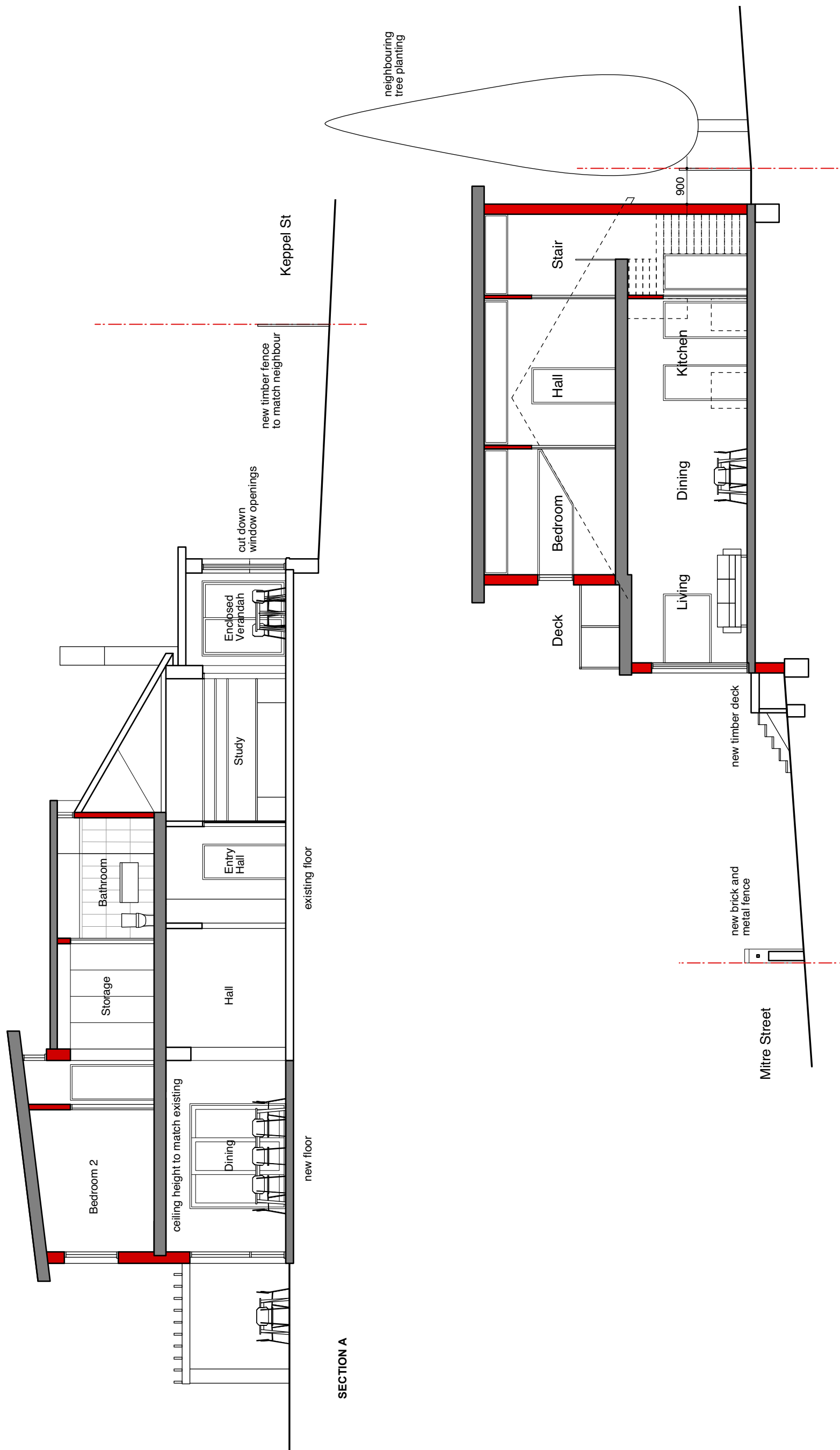
FOR APPROVAL ONLY
NOT FOR CONSTRUCTION
copyright 2017 Schubert + Wong

1702 - DA 05 23/8/17

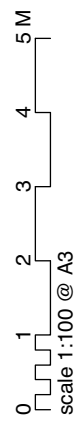
schubert + wong
architects
ABN 25 294 658 346 - Nominated architect Lian Wong, Registration No. 8532

118 Mitre St, Bathurst

alterations and additions



FOR APPROVAL ONLY
 NOT FOR CONSTRUCTION
 copyright 2017 Schubert + Wong



sections

alterations and additions

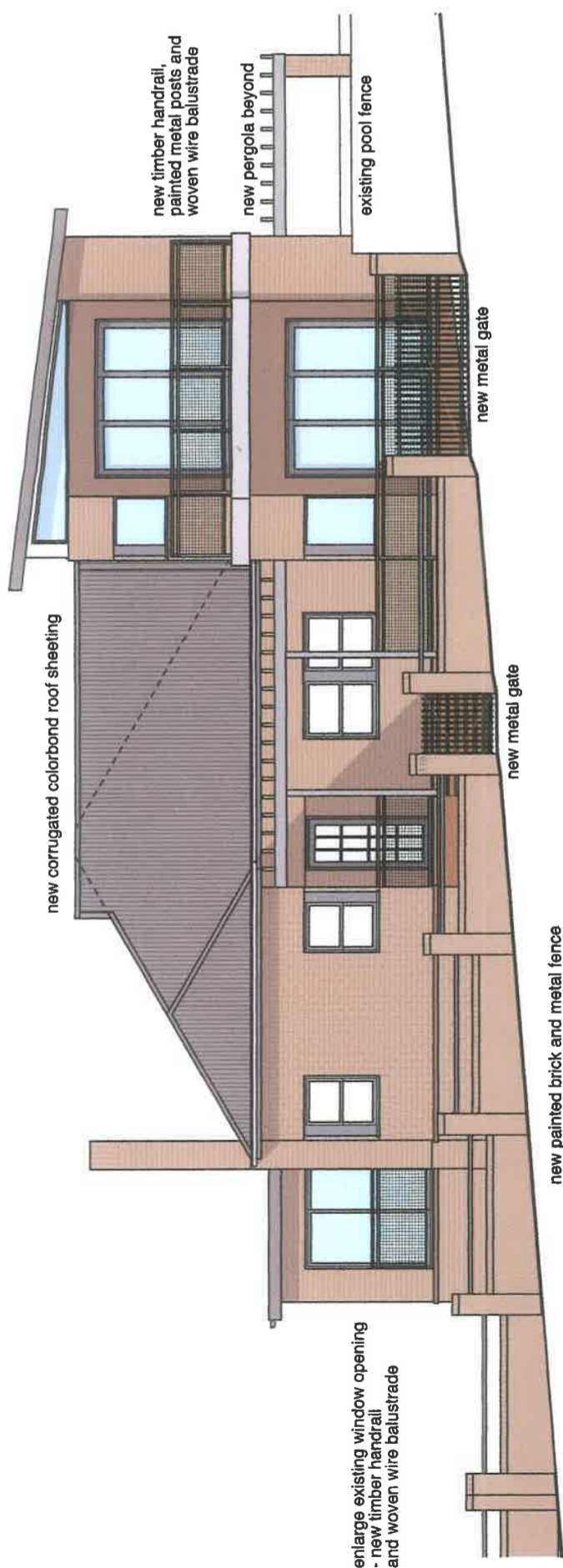
118 Mitre St, Bathurst

schubert + wong
 architects

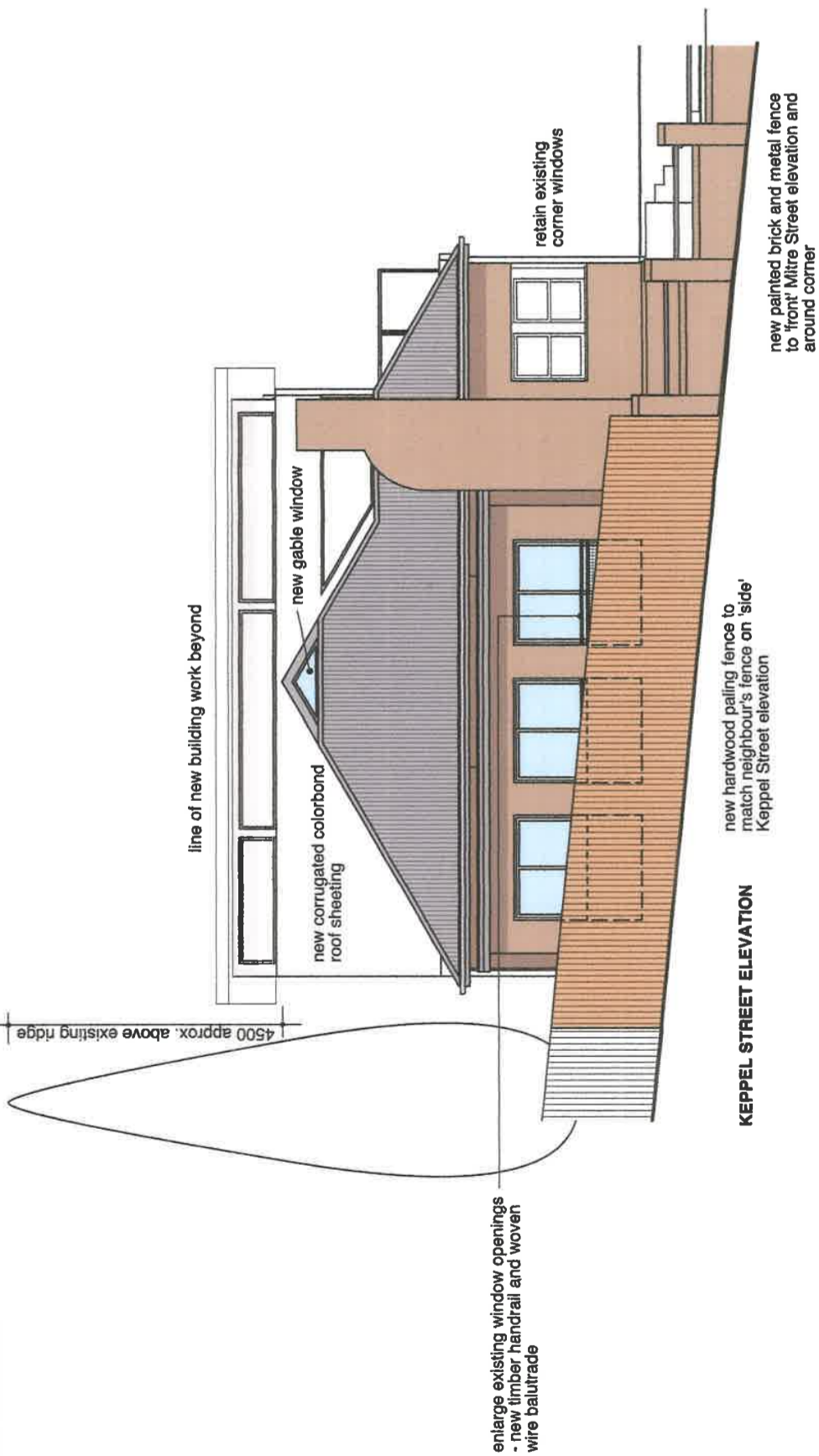
62 Brittle Jack Rd, O'Connell
 mail@schubertwong.com.au
 0425 298 118

1702 - DA 06

23/8/17



MITRE STREET ELEVATION



KEPPEL STREET ELEVATION

street elevations & materials

alterations and additions

FOR APPROVAL ONLY
NOT FOR CONSTRUCTION
copyright 2017 Schubert + Wong



proposed roof finish - corrugated colorbond
selected colour 'Woodland Grey'



proposed wall finish - painted brick to allow brick
joints and soldier course details to be seen
selected colour Dulux 'Gnu Tan'

schubert + wong

architects

62 BRITTLE JACK RD O'CONNELL NSW 2795
mail@schubertwong.com.au

27 November 2017

BATHURST REGIONAL COUNCIL

Daniel Dwyer
Environmental Planning and Building Services Department
Bathurst Regional Council
158 Russell St
PMB 17
Bathurst NSW 2795

- 5 JAN 2018

REF. 2017/314/015.....

Dear Mr Dwyer,

Development Application 2017/314
Premises: Lot 1 DP 744886 & Lot A DP 347292, 118 Mitre Street

Thank you for your time in meeting with our clients and us on October 11. Following your suggestion, we have summed up our response to each of Council's heritage concerns. We have also prepared an additional sheet of elevation drawings DA07 showing materials and finishes, as well as the relationship of the existing house to the currently proposed fences and required balustrades.

From Council's letter of September 21:

"The existing windows openings in the Keppel Street and Mitre Street elevations of the enclosed verandah are to be retained rather than being increased to much larger openings."

- The modified openings are behind a new 1800 high hardwood paling fence (to match the existing neighbour's fence) along the secondary Keppel Street side of the corner site. Only the existing top section of the openings will be visible, the lowered sills will not be visible from Keppel Street.
- We don't believe the current windows to be original. It is possibly an earlier verandah that has since been enclosed (sliding windows don't match others in the house, awkward arrangement facing chimney, recent internal wall lining and evidence of previous doors)
- The previously enclosed verandah is currently used as a poor (very narrow) third bedroom. We propose to reinstate what we believe to be its original use as an enclosed verandah and sitting room.
- The existing window sill height of 900mm is too high to allow someone seated/reclining on a couch to take full advantage of the aspect/view.
- The proposal to lower the sill to floor level has been considered to preserve the existing rhythm of opening widths, and makes no change to the existing lintels and roof line - minimising the overall impact to streetscape. ie as opposed to a 'wall of glass' approach.
- As the existing floor level is more than 1m above natural ground level, the lowered openings will require a balustrade. Following our meeting we are proposing a timber handrail to provide a horizontal element at a height similar to the existing window sill, to allow the new proportions to be visually in keeping with the existing windows.

RECEIVED

4 JAN 2018

Kris Schubert 0425 295 118 kris@schubertwong.com.au Lian Wong 0407 257 382 lian@schubertwong.com.au
www.schubertwong.com.au ABN 25 294 658 346 Nominated Architect Lian Wong, Registration No. 8532

BATHURST REGIONAL COUNCIL

DEPBS

“The tiled roof on the existing dwelling be retained (and the tiles replaced with new ones if necessary). It is however considered appropriate to use Colorbond for the two storey addition.”

- The owners are concerned that the house not appear as an ad hoc development with multiple building finishes used unnecessarily.
- The current roofing is uninsulated, unsarked, in poor condition and approaching the end of its lifespan. A Colorbond roof is the preferred option for replacement due to aesthetic and cost/longevity issues, as well as reasons of weatherproofness and thermal comfort.
- A lighter roof structure is preferable to minimise the development of existing cracking in the brickwork.
- There are both tiled and sheet metal roofs in the surrounding conservation area streetscape.
- There are a number of nearby houses where the proposed combination of materials has been used successfully.

“The Windows in the Mitre Street elevation of the proposed two storey addition include horizontal cross bars or similar to reflect the proportions of the original windows in the existing dwelling.”

- The proposed corner windows to Mitre Street have matching sill and head heights to the original windows.
- The new glazed door openings are of a new proportion and within the contrasting centre bay of the new two storey addition, intentionally visually separate from the existing house. We do not believe it is appropriate for the horizontal cross bars to be reflected in these openings.
- The proposed decking in front of the new living room is not of a height where a balustrade would be required, but following our meeting we propose to include a balustrade in this location, with a horizontally expressed timber handrail, to provide a horizontal element at a height similar to the window sills of the existing house.

“The brickwork on the existing dwelling not be painted. It is however considered appropriate to paint or render the two storey addition in a warm tone that will complement the brickwork.”

- Painting the brickwork is a strong preference of the owners for aesthetic reasons.
- The owners are concerned that the house not appear as an ad hoc development with multiple building finishes used unnecessarily.
- There are a number of nearby houses in Mitre Street where the proposed combination of materials and finishes has been used successfully.
- Painting was proposed as being a preferable option to rendering. The existing house includes simple but distinctive brick detailing, including a string course at floor level and soldier course above the window heads. Painting will allow this detail, along with the texture of the existing brick and joints to still be visible.

Our goal and that of our clients is to make sure that the house functions well for modern family living, presents well in the street, and allows an existing building to be retained and used within the Bathurst Conservation Area. Please do not hesitate to contact our office if any further information or clarification is required.

Sincerely,

Kris Schubert and Lian Wong



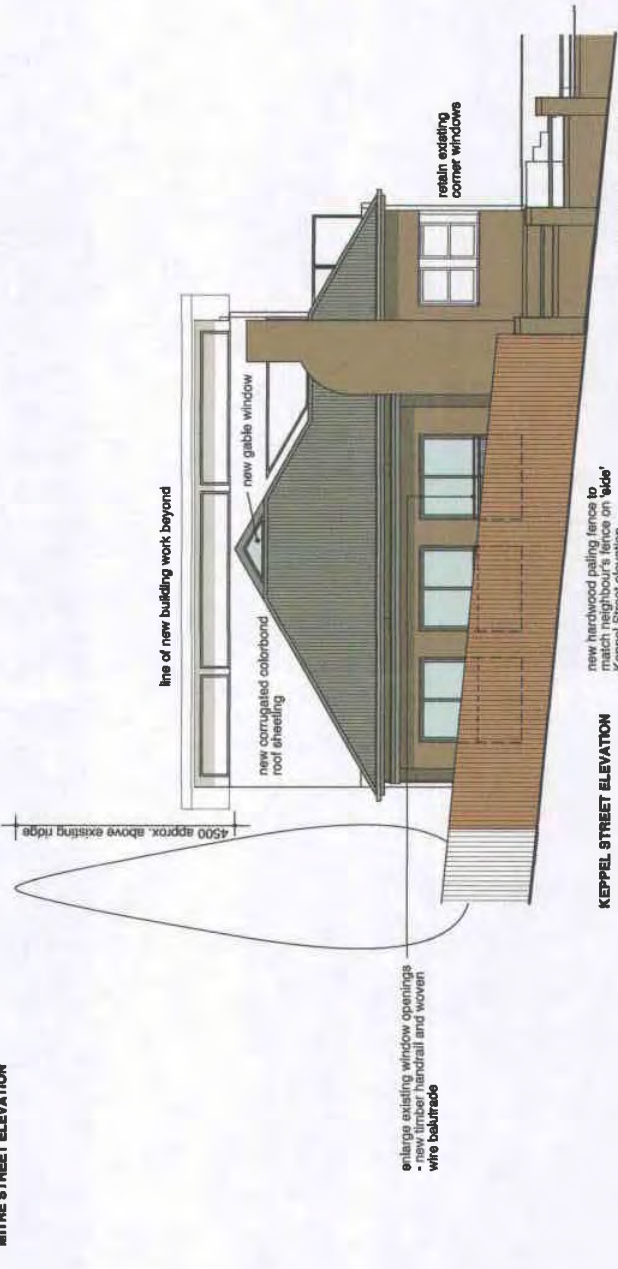
MITRE STREET ELEVATION



proposed roof finish - corrugated colorbond selected colour 'Woodland Grey'



proposed wall finish - painted brick to allow brick joints and soldier course details to be seen selected colour Dulux 'Gnu Tan'



KEPPEL STREET ELEVATION

street elevations & materials

alterations and additions

118 Mitre St, Bathurst

FOR APPROVAL ONLY
NOT FOR CONSTRUCTION
copyright 2017 Schubert + Wong

Schubert + Wong
architects
ABN 25 244 460 344 - Registered architect Liam Wong / Registration No. 41811
62 Brittle Jack Rd, O'Connell
mail@schubertwong.com.au
0425 288 118

1702 - DA 07

13/10/17



Bathurst Regional Council
 PMB 17
 158 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 6111
 Fax: 02 6331 7211
 Email: council@bathurst.nsw.gov.au

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.
 © The State of New South Wales (Land and Property Information).
 © Bathurst Regional Council.



Drawn By: DwyerD
Date: 5/09/2017
Projection: GDA94 / MGA zone 55
Map Scale: 1:1517 @ A4

DA 2017-239

Email: pawconstructions@hotmail.com

Paul Watters
PO Box 2001
Bathurst NSW 2795
Ph: 0418 257 237
ACN: 148 211 938
ABN: 85 148 211 938
Lic: 233751C



2 August 2017

Craig Sharah

QUOTATION for a concrete tilt up retaining walls at 131 / 141 Keppel st Bathurst

Thank you for allowing me the opportunity to provide you with the following quotation for your consideration.

- **Retain 113Lm of stormwater channel to 1.6m high including 5m returns**
 - Install 113Lm of 125mm thick concrete tilt up retaining wall panels at 1.5m centres to 1.6m high alongside existing stormwater channel at 131 /141 Keppel st
 - Pour 180.8m² of 125mm thick panels off site to engineers details
 - Excavate piers to engineers details
 - Setup steel 150uc 30 columns at 1.5m spacing's and pour beside existing channel
 - Transport and install concrete panels
 - Install 100mm agline behind walls cover with 20mm stone for drainage and backfill remainder.

Total \$102,121.00 inc GST

Exclusions

Additional fill to complete backfilling of wall (use only material on site)

Please do not hesitate to contact me should you wish to discuss this quote further.

Yours Sincerely,

**DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT -
ATTACHMENTS**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

**BATHURST REGIONAL COUNCIL
INVESTMENT PERFORMANCE**

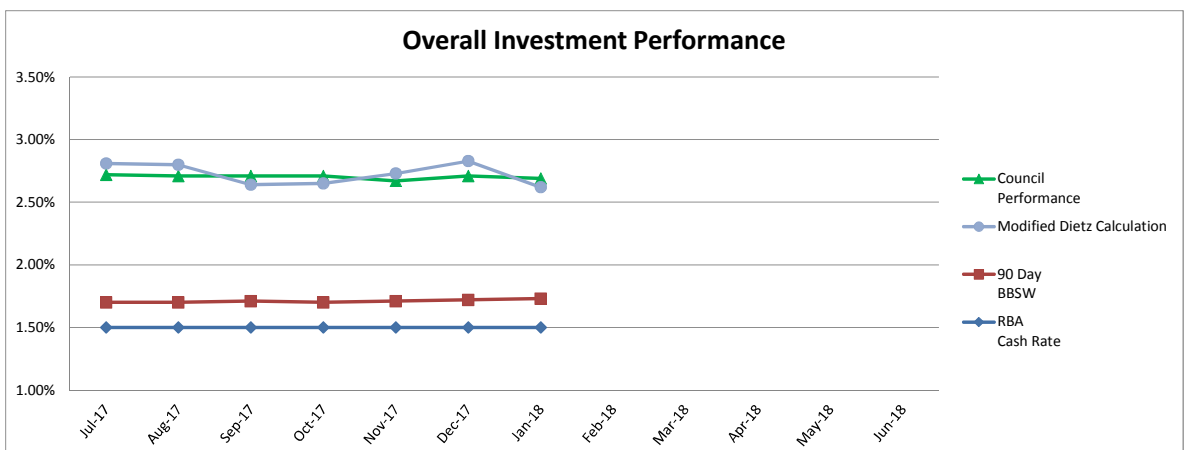
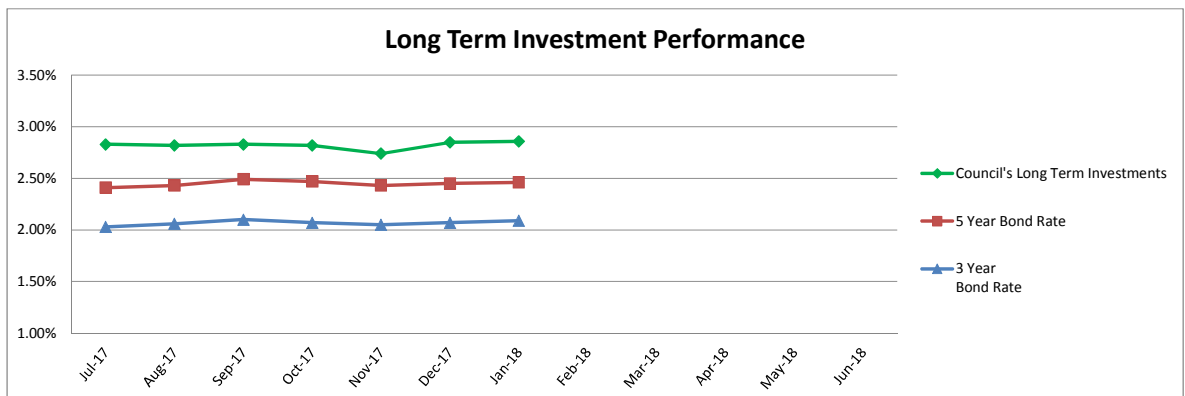
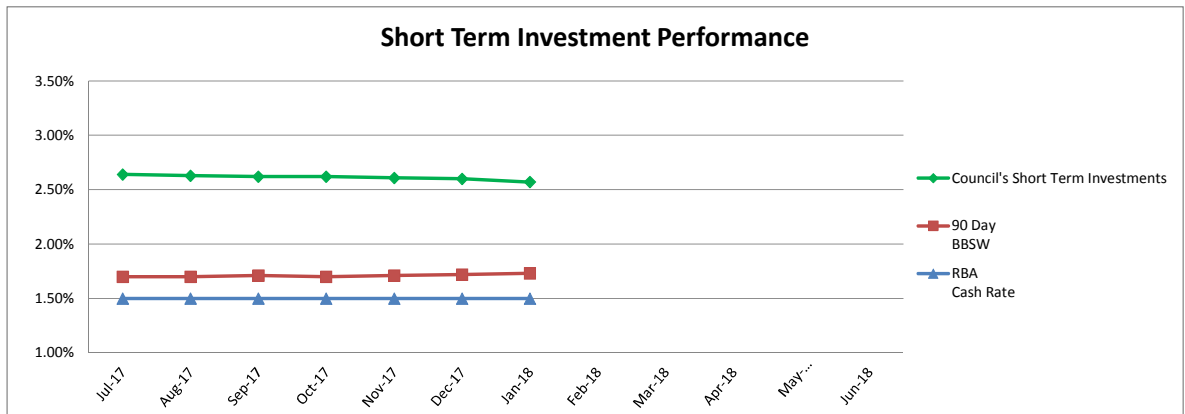
Investment Policy Benchmarks

Benchmark 1 - The performance of the portfolio shall be against the industry standard 90 Day Bank Bill Index or the official RBA Cash Rate

Council's current year to date performance compared to the two benchmarks is shown below. Council has outperformed both benchmarks.

Reserve Bank of Australia - Cash Rate	1.50%
AFMA - 90 Day Bank Bill Swap Rate (BBSW) Avg Mid	1.73%
Three Year Swap Rate - Commonwealth	2.09%
Five Year Swap Rate - Commonwealth	2.46%
Modified Dietz Calculation	2.62%

	Short Term			Long Term			Overall Performance	
	RBA Cash Rate	90 Day BBSW	Council's Short Term Investments	3 Year Bond Rate	5 Year Bond Rate	Council's Long Term Investments	Modified Dietz Calculation	Council Performance
Jul-17	1.50%	1.70%	2.64%	2.03%	2.41%	2.83%	2.81%	2.72%
Aug-17	1.50%	1.70%	2.63%	2.06%	2.43%	2.82%	2.80%	2.71%
Sep-17	1.50%	1.71%	2.62%	2.10%	2.49%	2.83%	2.64%	2.71%
Oct-17	1.50%	1.70%	2.62%	2.07%	2.47%	2.82%	2.65%	2.71%
Nov-17	1.50%	1.71%	2.61%	2.05%	2.43%	2.74%	2.73%	2.67%
Dec-17	1.50%	1.72%	2.60%	2.07%	2.45%	2.85%	2.83%	2.71%
Jan-18	1.50%	1.73%	2.57%	2.09%	2.46%	2.86%	2.62%	2.69%
Feb-18								
Mar-18								
Apr-18								
May-18								
Jun-18								



BATHURST REGIONAL COUNCIL

INVESTMENT PERFORMANCE

Benchmark 2 - Credit and Maturity Benchmarks

2a - Overall Portfolio Credit Framework

To control the credit quality on the entire portfolio, the following credit framework limits the percentage of the portfolio exposed to any particular credit rating. Council has successfully met this criteria.

Short Term	Ratings	Maximum Holding %	Actual Holding %	
	A1+	100	27%	Complies
	A1	80	0%	Complies
	A2	60	59%	Complies
	A3	40	10%	Complies
	ADI	20	4%	Complies
			100%	
Long Term	Ratings	Maximum Holding %	Actual Holding %	
	AAA	100	0%	Complies
	AA+ AA AA-	80	35%	Complies
	A+ A A-	60	16%	Complies
	BBB+ BBB BBB-	40	43%	Does not comply
	ADI	20	6%	Complies
			100%	

Several institutions were downgraded recently

Several institutions were downgraded recently

2b - Institutional Credit Framework

To limit single entity exposure each individual institution will be limited by their credit rating. Council has successfully met this criteria.

Short Term	Ratings	Maximum Holding %	Actual Holding %	
CBA	A1+	45	2%	Complies
National Australia Bank Limited	A1+	45	10%	Complies
Bankwest	A1+	45	3%	Complies
Bank of Queensland Limited	A2	30	20%	Complies
Maritime, Mining & Power Credit Union	A2	30	5%	Complies
People's Choice Credit Union	A2	30	7%	Complies
IMB	A2	30	2%	Complies
G & C Mutual Bank Limited	A3	20	2%	Complies
Auswide Bank	A3	20	4%	Complies
Railways Credit Union Limited	ADI	15	2%	Complies
Long Term	Ratings	Maximum Holding %	Actual Holding %	
Commonwealth Bank	AA-	35	8%	Complies
Westpac	AA-	35	8%	Complies
Suncorp Metway	A+	30	1%	Complies
Rabobank	A+	30	1%	Complies
AMP	A	30	3%	Complies
Macquarie Bank Limited	A	30	1%	Complies
Bendigo & Adelaide Bank	BBB+	20	2%	Complies
Bank of Queensland	BBB+	20	5%	Complies
Police Bank Ltd	BBB	20	2%	Complies
Newcastle Permanent	BBB	20	3%	Complies
Members Equity Bank	BBB	20	1%	Complies
Greater Building Society	BBB	20	4%	Complies
Credit Union Australia	BBB	20	1%	Complies
Maritime Mining & Power Credit Union	ADI	15	3%	Complies
			100%	

2c - Maturity Profile

The investment portfolio is to be invested within the following maturity constraints. Council has successfully met this criteria.

	Short Term	FRTD	TCD	FRN	Min %	Max %	Actual %	
Within one year	49,500,000	0	0	3,000,000	40	100	61%	Complies
One to three years	0	5,000,000	3,000,000	12,550,000	0	60	24%	Complies
Three to Five Years	0	6,000,000	0	5,000,000	0	30	13%	Complies
Over Five Years	0	2,200,000	0	0	0	15	2%	Complies
	49,500,000	13,200,000	3,000,000	20,550,000			100%	

Recommendation: That the report be noted.

Responsible Accounting Officer

.....
Aaron Jones
Director Corporate Services & Finance

..... 03/01/2018
Prepared By Lesley Guy

.....
Reviewed By Tony Burgoyne

BATHURST 2036 COMMUNITY STRATEGIC PLAN

Review as at 31st January 2018

Council's Vision:

A vibrant regional centre that enjoys a rural lifestyle, the Bathurst Region achieves health and well-being through strengthening economic opportunities, planning for sustainable growth, protecting and enhancing our assets, and encouraging a supportive and inclusive community. A Region full of community spirit and shared prosperity.

Directions:

The Directions to achieve this vision are the objectives of this Plan as outlined below.

Economic Prosperity

- To attract employment, generate investment, strengthen and attract new economic development opportunities.
- To encourage, promote and protect the region's primary resources.
- To protect a vibrant CBD and support and grow retail diversity.
- To market Bathurst as a great place to live, work, study, invest and play.
- To facilitate and foster partnerships, networks and infrastructure to support and attract knowledge, innovation and research.
- To support infrastructure development necessary to enhance Bathurst's lifestyle and industry development.
- To support integrated transport infrastructure development.

Environmental Sustainability

- To promote sustainable and energy efficient growth.
- To protect and enhance the region's landscapes, views, vistas, open spaces and the Macquarie River.
- To protect and enhance the region's biodiversity.
- To protect the region's unique heritage and history.
- To protect a unique identity.
- To protect and enhance water quality and riparian ecology.
- To minimise the City's environmental footprint.
- To encourage less car dependency.

- To secure a sustainable water supply and raise awareness on water issues.
- To encourage sustainable waste management practices, including opportunities for energy generation.

Liveable Communities




- To encourage living, vibrant and growing villages and rural settlements.
- To encourage sustainable housing choice and quality design that engenders a sense of place.
- To improve equity of access to all members of the community in public and private domains.
- To provide a range of cultural facilities, programs, activities and events and to support and enhance cultural and social activities across the community.
- To support the provision of community services and facilities to meet the needs of specific community sectors and the community as a whole.
- To improve community safety.
- To encourage a supportive and inclusive community.
- To provide and support the provision of accessible, affordable and well planned transport systems.
- To support the provision of high quality medical care that meets the needs of the Bathurst community.
- To encourage and support the provision of a range of opportunities for life long education across the Bathurst community.
- To encourage youth engagement, participation and achievement across all areas of the Bathurst community.

Sound Leadership

- To plan for the growth of the region and the protection of the region's environmental, economic, social and cultural assets.
- To guide the construction of new infrastructure, facilities and services and the management and upgrading of existing assets and service levels.
- To identify the needs of the community and encourage and support communication, interaction and support within the community.
- To maintain local public ownership of water and sewer assets.
- To ensure Council is supported by an adequate workforce and appropriate governance procedures.
- To be and develop good leaders.

The Performance Measures in this Plan have been rated by the responsible Directors as to their status of completion.

Below is a summary of the Status of all Performance Measures:



<p>In progress – tracking as expected</p>  <p>157 / 165 95 %</p>	<p>Needs Attention</p>  <p>8 / 165 5 %</p>	<p>Urgent Attention</p>  <p>0 / 165 0 %</p>
---	---	--

Engineering Services








The key to developing a sound foundation for growth and prosperity of the Bathurst Region is by ensuring infrastructure needs are keeping pace with demand. With a budget in excess of \$80m council's Engineering Services Department has the responsibility to ensure the current needs of the community are met and the capacity exists to cater for future growth. A clean and safe water supply, a quality local road network, and environmentally responsible waste management systems are all high priorities for engineering the future of the Bathurst Region.


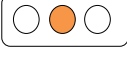



Asset Management

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
3, 6 13, 14 19 28	Improve pedestrian access within the urban area.	Completion of additional concrete footpaths/cycleways in accordance with the Bathurst Regional Community Access and Cycling Plan 2011. Monitor condition of footpaths.	600 lineal metres of footpath and or cycleway completed. Less than 50 public requests regarding trip defects on paved footpaths.	Manager Bathurst Works Manager Bathurst Works	200m Rankin St (Durham to Morrisett) 200m Stewart St (Durham to Morrisett) 200m Seymour St (Bentinck to Lambert) 27 complaints received to date	
6, 7 8 22, 24 29	Maintain and improve the existing road infrastructure consistently throughout the network.	Improvement of road infrastructure to upgrade sub-standard sections of the sealed network. Progressive renewal of gravel road surface throughout the network.	Reconstruction and resealing works as per major capital works and routine maintenance programs. Completion of Roads to Recovery Program. Unsealed Roads Gravel Resheeting program complete.	Manager Bathurst Works Manager Bathurst Works	Tarana Rd Shoulders – complete Hen & Chicken Lane Underway – 80% complete. Minor gravel and seal remaining 2km Freemantle Rd widen, stabilise and seal – 100% complete 800m Wambool Rd reconstruct and seal – 100% complete Dunkeld Rd reconstruction complete. Colleen Hagney Lane, Colo Rd, Curragh Rd, Grovedale Rd, Triangle Flat Rd, Freemantle Rd.	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
6, 7 9 19 28	Protection of urban areas on the Bathurst Floodplain	Undertake maintenance program in accordance with allocated budget.	Greater than 90% of the urban road network remains in condition index 1, 2 or 3.	Manager Bathurst Works	Latest ratings in May 2016. > 90% rated either 1, 2 or 3.	
	Protection of urban areas on the Bathurst Floodplain	Continue the planning for construction of flood mitigation works as outlined in the Bathurst Flood Management Plan.	Construction of Perthville Levee, Stage 1.	Manager Technical Services	Box Culverts installed and complete. Minor extraneous clean-up works to be completed - underway	

Recreation Services


CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4, 6, 8, 9, 10, 17, 20, 21, 28, 29	Plan for increasing population and ageing population in the provision of suitable recreational projects	Construct additional facilities as per budgets	Construction of additional 2 rugby league / union fields Hereford Street	Manager Recreation	Contract for construction of 2 x rugby league fields awarded to Central West Civil. Turf grass has been installed to the 2 fields. Due to contractual issues with timing and quality of works, Council has taken works out of contractors hands to complete the construction of the 2 sports fields to a usable condition by end of March 2018. Works involve topdressing to Field No1, completion of an irrigation system, earth works to field surrounds, goalpost installation and a complete remediation to field No. 2.	
4, 6, 8, 9, 10, 17, 20, 21, 28, 29	Update sporting venues, including associated infrastructure as per budgets adopted in Annual Operational Plan.	Carrington Park Grandstand redevelopment / extension	Manager Recreation	Tender awarded to Nick Harvey Constructions for the building of the Rugby League Clubhouse. Council was required to re-compact the building footprint site before building works commenced. Building works commenced in March 2017. Anticipate hand over of building by end of February 2018. Funding not provided for in 2017/18. Council to commence preparation of design brief document in preparation of 2018/19 financial year funding.		
		Reconstruction of 3 turf football fields – Proctor Park	Manager Recreation	Tender for reconstruction of 3 fields closed in July 2017. Contract awarded to Renworx Pty Ltd. On site works commenced beginning of October 2017 after completion of football season. Works progressing well however some rain delay periods have resulted. Anticipate fields to be finished end March 2018.		
		Restoration of Cricket Wicket Table George Pk No2	Manager Recreation	Original contract with L-Don Sporting Areas terminated at contractors request. Second round of quotation offer sent to select companies and contract awarded to Renworx Pty Ltd. On site works commenced in January 2018. Anticipated works to be completed by end of February 2018.		




CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
			Replacement 2 x synthetic tennis court surfaces – John Matthews Tennis Centre	Manager Recreation	Contract for court resurface works awarded to Tuff Turf. On site works commenced in December however unforeseen issues were identified to the concrete sub surface. Delay in completion has resulted whilst concrete sub surface is being repaired. Anticipate completion of works by end of February 2018.	
			Field drainage installation to field No1 Ashwood Park	Manager Recreation	Works completed	
	Continue environmental programs identified within the Bathurst Vegetation Management Plan	To ensure that appropriate Environmental Management Plans for the Bathurst Region are current, relevant and provide long term strategies for the Region	Restoration of 4 netball courts – John Matthews netball complex	Manager Recreation	Specification document completed and tenders called in August 2017. Contract awarded to L-Don Sporting Areas Pty Ltd. Anticipate works to be completed by end March 2018.	
		Meet the obligations to contain and control noxious weeds within Council controlled land	Review and update the Bathurst Vegetation Management Plan	Manager Recreation	Quotations for a consultancy to upgrade the VMP was called and closed 13 June 2017, contract awarded to Molino Stewart Pty Ltd. Ecological field assessments completed in Nov 2017. Consultant currently engaged with the Community Consultation phase of project. Community workshop and councillor working party meetings completed in December 2017. Anticipate completion of consultancy works in May 2018.	
			Develop 2017/18 spraying program by December 2017 & complete by April 2018.	Manager Recreation	Contract for noxious weeds program awarded to DA & AP Lane Weed Spraying. The 2017/18 weed control program expected to be completed by March 2018.	



GSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		Continue ongoing environmental and maintenance works as identified in the Bathurst Vegetation Management Plan (VMP) to the Macquarie River and other areas, upon availability of resources	Arrange for 16 Tree Planting and volunteer engagement activities.	Manager Recreation	7 x community tree planting events and 5 x school planting events have been held since the commencement of the financial year to date.	
			Revegetation of a section of the Macquarie River adjacent to Kefford Street	Manager Recreation	The contract to revegetate the Macquarie River has been awarded to New Era. Planting works completed November 2017. Summer maintenance works have commenced. Anticipate completion of whole project by May 2018.	
			Apply for grants to assist completion of VMP program.	Manager Recreation	Council applied to LLS for 3 grants to undertake vegetation rehabilitation projects across several parks. Council has been awarded a grant for \$27K from LLS to conduct woody weed control within the inner track reserve Mt Panorama. Contracts for woody and noxious weed control have been awarded, anticipate completion by May 2018 The other 2 grants submissions were unsuccessful.	
			Undertake maintenance of previously completed vegetation projects.	Manager Recreation	Ongoing. Maintenance contracts have been awarded to water and weed recently completed vegetation projects, including Apex Jubilee Park and various sites along the Macquarie River.	
4, 21,23 28,29,30	Continue construction of new playgrounds in expanding residential areas and upgrade existing playgrounds and passive recreation areas.	Plan for the construction of new playgrounds in expanding residential areas in conjunction with Annual Operational Plan	Installation of new playground at Jarrah Park	Manager Recreation	Playground installation completed in Sep 2017.	
4, 9, 17,21,22 29,30,		Continue to upgrade existing playgrounds as funding resources become available	Upgrade existing play equipment at Motor Racing Museum Playspace	Manager Recreation	Works completed	



CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4, 8,9,10,13 22 28,		Plan for and construct passive recreation areas as resources become available.	Upgrade to existing playground equipment, College Road Park Construction of Freeman Circuit Park in accordance with landscape design. Park completed by June 2018.	Manager Recreation	Works completed. Minor repainting works to be placed in Works Section Program, to be completed prior to end of financial year.	
4, 8,11,12, 17,20,22, 26 30,33	Maintain existing and future recreational areas.	Maintain existing levels of service to all parks, reserves, open space areas and other recreational facilities.	Maintenance activities undertaken to all recreation Assets in accordance with adopted maintenance service levels.	Manager Recreation	Consultancy for the design of Freeman Park awarded to dsb Landscape Architects. Final design completed and adopted by Council in December 2017. Full design drawings and Specification documents being prepared. Anticipated costs for works have come in higher than \$300,000 budget. Council is applying for a grant to assist in the construction costs of the Park. Funding to be re-submitted in the 2018/19 Management Plan deliberations to provide sufficient funds to construct the park. Anticipate tenders to be called in July 2018 for the construction of the Park. Ongoing as part of adopted maintenance service levels and funding provisions.	

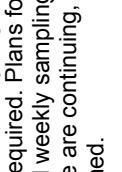
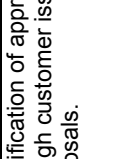
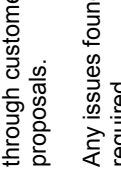
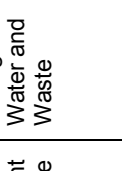
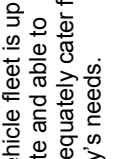
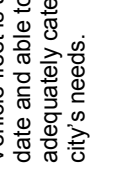
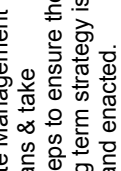
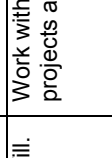

Water, Sewer and Waste





CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>6 8, 12, 15 22 28, 29, 31</p>	<p>Maintain and upgrade existing water and sewer infrastructure to meet the needs of all stakeholders into the future.</p>	<p>Operate, maintain, repair and upgrade Water Filtration Plant.</p>	<p>Meet the Australian Drinking Water Standards 99% of the time.</p>	<p>Manager Water and Waste</p>	<p>Water Filtration Plant daily operations are ongoing, with maintenance and repairs conducted as required. The chemical dosing infrastructure for the Manganese Removal Project is complete. The treatment processes are constantly monitored through a SCADA system and reviewed daily by staff.</p>	
		<p>Provide compliance reports to NSW Health as required</p>			<p>Samples taken, testing completed and reports provided. Results are compliant with Australian Drinking Water Guidelines (ADWG) Council's Drinking Water Management System (DWMS) and licence and are posted on Council's website.</p> <p>To date this financial year, 335 samples have been tested against the ADWG chemical requirements, and all samples passed (100% compliance). For microbiology 712 samples have been tested, with 36 minor exceptions (95% compliance).</p> <p>A 2016 Annual Report on the Drinking Water Management System has been submitted to NSW Health and an EPA Annual Return lodged as required.</p> <p>A complete review of the Drinking Water Management System risk management has been conducted with internal and external stakeholders.</p>	
		<p>Operate, maintain, repair and upgrade water distribution system.</p>			<p>Water distribution system operations are ongoing, with monitoring, maintenance and repairs conducted as required.</p> <p>Significant reservoir improvements have been completed, with further work planned, to continue to improve the integrity of the drinking water system around Bathurst.</p> <p>With 13 key reservoirs, a total of 153 issues were identified. 97 of these have been addressed (63%). A further 29 issues are underway but not yet complete (will bring work to 82% completed). 27 issues are yet to be commenced.</p>	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		Respond effectively to discoloured water complaints within four hours.			Complaints regarding discoloured water are actioned within the required timeframe. The number of discoloured water complaints for January 2018 was 10, which were received and actioned. This included calls relating to discoloured water from water main breaks. The financial year to date total calls for discoloured water is 57.	
6 12, 15 22 28, 29, 31		Review, update and adhere to Drinking Water Management System.	Australian Drinking Water Guidelines compliance.	Manager Water and Waste	A Drinking Water Management System (DWMS) document has been completed and is in effect. Details on addressing the actions to ensure continuous improvement are being documented. A weekly internal review takes place, along with an external check of our water quality results through the NSW Health laboratory. No breaches of the DWMS critical limits have occurred in 2017/18.	
		Kelso Water Infrastructure Project	Project is underway	Manager Water and Waste	Tenders have been called, assessed and reported to Council. Contractors (EODO) are well advanced, with work over 95% complete. Work on the reservoir pump station and rising and delivery mains are all part of the project. The reservoir base slab was poured on a single day. In December 2016, 34 wall panels were placed and in May 2017 the final two panels were installed. Post tensioning of the walls is complete. Commissioning has commenced for the new water mains. Further tests will continue through to April 2018. So far over 57,700 hours of contract work has taken place on the project and over 1400m ³ of concrete has been poured. The reservoir roof has now been completed, and work on the chlorine dosing building is complete.	
		Eglington Village expansion	Project advances	Manager Water and Waste	In order to cater for the doubling in size of Eglington, a number of new water and sewer trunk mains were required. So far, for East Eglington 70% of the required new trunk mains for water and sewer are in place. For West Eglington, 90% of the required new trunk mains for water and sewer are in place.	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>6 8, 15 22 28, 29, 31</p>		<p>Review and update plans as required.</p> <p>Continue implementation of Trade Waste Policy.</p> <p>Investigate, review and undertake further initiatives in the Best Practice Guidelines</p>	<p>Best Practice Guidelines compliance.</p>	<p>Manager Water and Waste</p>	<p>Project scoping was undertaken to identify what updating is required, and what approach should be taken to complete the work. Have selected the Drought Contingency and Water Supply Emergency Management Plan and the Demand Management Plan. A Consultant was appointed and work is complete. Reports have been presented to Council on the revised documents, which are on Council's website.</p> <p>Trade Waste Policy is current, has been approved by NSW Office of Water, and adopted by Council. As at 8 February there are 329 approvals in place, with 348 active businesses (95%).</p> <p>The existing level of compliance with the Best Practice Guidelines is 100% for both Water and Sewer. The review of further initiatives will be commenced, once DPI Water advises the outcomes of their proposed review of the guidelines.</p> <p>To date in February 2018 DPI Water is yet to release their issues paper, and monitoring of this continues.</p>	
<p>6 12, 15 22 28, 29, 31</p>		<p>Prepare plans and estimates for works highlighted in the computer models.</p>	<p>Review outcomes and opportunities from the water and sewer models and reports.</p>	<p>Manager Water and Waste</p>	<p>The water model has previously been reviewed some years ago, with several projects put into effect. The sewer model has been updated to include the expansion of Eglinton and Kelso.</p> <p>Work on comparing options to service the growth is well underway. Temporary (hired) flow gauging was installed during late 2016, to enable data to be collected for various weather events. Gauges have recently been removed, and a draft report has been commenced. The final report is due imminently.</p> <p>Water modelling improvements have been completed with gauges at 6 main reservoirs installed to allow for calibration during and after summer 2017/2018. A draft report will be prepared after the gauging is completed.</p>	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>6 12, 15 22, 28, 29, 31</p>		<p>Prepare reports and studies for Winburndale Dam and Chifley Dam.</p>	<p>NSW Dam Safety Committee requirements addressed.</p>	<p>Manager Water and Waste</p>	<p>Funds were available for the Winburndale Dam Safety Upgrade to call Expressions of Interest, and this is now complete. The EOI closed on 6 December 2016. A review and assessment has been conducted. Approval to move to the tender phase has been received. This is being progressed through Public Works. A Review of Environmental Factors (REF) has been updated and expanded to cover all work areas. A tender review panel is established and a tender evaluation plan is finalised.</p> <p>Subsequent to this, tenders have now been called during September 2017, and closed with 4 offers received. These are being assessed. Grant funding is also being sought through the NSW Safe and Secure Water Program.</p> <p>An initial EOI resulted in Council being requested to submit a detailed business case, and this has now been submitted.</p> <p>A tender report will be available at a future 2018 Council meeting.</p> <p>The Chifley Dam Secure Yield Study (base case) has been completed, with the Climate Change (future scenario) study also now complete. This report is being reviewed.</p> <p>The Chifley Dam Dambreak Study has been completed and forwarded to the NSW Dam Safety Committee.</p> <p>The Chifley Dam Safety Emergency Plan is complete and in effect.</p> <p>The annual surveillance report has been completed and recommendations are being actioned.</p>	
		<p>Work with CENTROC on Water Utilities Alliance goals</p>	<p>Collaboration conducted.</p>	<p>Manager Water and Waste</p>	<p>Work is continuing, through meetings and projects. Alliance Business Plan has been developed and adopted. Bi-monthly meetings attended, with other projects and correspondence dealt with as required.</p>	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		Operate, maintain, repair and upgrade Waste Water Treatment Works to comply with licence conditions.	Operation of Waste Water Treatment Works in accordance with licence.	Manager Water and Waste	Waste Water Treatment Works operations are ongoing, with maintenance and repairs conducted as required. Plans for minor upgrades are underway. Daily and weekly sampling and monitoring of the plants performance are continuing, with internal and external testing performed. An Annual Return is completed following the end of the licence year (1 April). Over 95% of samples tested met the licence requirements, with only 3 minor breaches of the licence conditions in 2016/17 licence year. Next report is due end of April 2018.	
		Continue program of sewer main CCTV and lining	Maintain sewer mains.	Manager Water and Waste	Identification of appropriate locations for CCTV is ongoing through customer issues, staff advice and development proposals. Any issues found are scheduled for repair or replacement as required.	
		Identify, plan and undertake construction works.	Renew water and sewer mains adjacent to road works or large developments.	Manager Water and Waste	Liaison with Technical Services staff to obtain advice on road projects and / or developments is continuing. The aim is to ensure services are relocated prior to RMS or BRC projects commencing, such as roundabouts.	
	Maintain and upgrade existing waste infrastructure to meet stakeholder requirements.	Replace waste collection vehicles on a 4 yearly cycle.	Vehicle fleet is up to date and able to adequately cater for city's needs.	Manager Water and Waste	The waste collection vehicle fleet is up to date.	
		Review Waste Management Centre fill plans & take necessary steps to ensure the optimum long term strategy is determined and enacted.	Monitor the existing air space and identify future land requirements.	Manager Water and Waste	This project recommenced in 2014/2015, after previously being completed in 2011/2012. An audit has been conducted by EPA staff. A review has been conducted by an independent consultant. The final report has been received and recommendations are being put into effect. Planning is underway to conduct a future aerial survey.	
	Reduce waste to landfill.	Work with NetWaste on waste projects and opportunities.	Collaboration conducted	Manager Water and Waste	Several ongoing projects are supported, with bi-monthly meetings attended. New projects or opportunities are assessed as they arise. All options available to Bathurst Regional Council through NetWaste are supported. Examples include recycling of waste tyres, mattresses, Household Chemical Cleanout, Waste 2 Art and collection and recycling of scrap metal.	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		<p>Food and Garden Waste Contractor to undertake collection and reprocessing as per Contract. Council to continue education and promotion of appropriate behaviours.</p> <p>Recycling Contractor to undertake collection and reprocessing as per Contract. Council to continue education and promotion of appropriate behaviours.</p> <p>Identify, assess and implement appropriate diversion opportunities.</p> <p>Work with Central West Care.</p>	<p>Promote recycling to maximise collection volumes.</p> <p>Promote recycling to maximise collection volumes.</p> <p>Opportunities considered.</p> <p>Monitor the operations of the Reuse and Recovery Centre.</p>	<p>Manager Water and Waste</p> <p>Manager Water and Waste</p> <p>Manager Water and Waste</p> <p>Manager Water and Waste</p> <p>Manager Water and Waste</p>	<p>The new recycling and organics collection tender was presented to Council in October 2014. The new service started in April 2016, with delivery of bins in March 2016. The contract is proceeding smoothly.</p> <p>The roll out of information and education has commenced and will continue throughout 2018.</p> <p>Close to 30,000 new recycling and food and garden waste bins have been delivered to Bathurst properties during March 2016.</p> <p>6,034 tonnes of food and garden waste have been sent for composting in the first 20 months (April 2016 to November 17). The new service has been well received.</p> <p>Recycling collection is continuing, with the contractor JR Richards providing the recycling collection service and transporting to the Orange MRF for sorting and further processing at Visy in Sydney. Over 4,344 tonnes has been sent in the first 20 months of the new contract (April 2016 to November 2017).</p> <p>Combined totals show a diversion from landfill of over 10,379 tonnes, or 10.3 million kilograms.</p> <p>Wastewise education works are continuing, and the recycling contract education strategies are also underway.</p> <p>Numerous diversions are already in place, and working well. Further opportunities will be identified and assessed and implemented if appropriate to do so. New organics collection introduced.</p> <p>Monitoring of the operations throughout the year is continuing as required.</p> <p>Discussions occur with staff from Central West Care to assist with ideas for improving diversion and re-use of items before they are brought to the WMC for landfill.</p>	   

Corporate Services & Finance



Looking after its staff and ensuring open and transparent government is the main priority at Bathurst Regional Council. Council employs around 370 staff in 20 locations and attracting and keeping good people is our priority. For the fourth year in succession, in the annual Employee Opinion Survey, Council rated above the Australian Local Government Industry Standard for employee satisfaction.

Human Resources & Risk Management

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
25 32, 33	Manage Council's Health and Safety and support ageing workforce initiatives.	Manage random drug and alcohol testing across Council's operations.	5% of permanent staff tested quarterly.	Manager Human Resources	Random Drug and Alcohol testing occurred in December with 20 staff members being tested. Sep quarter 5.09% of staff tested. Dec quarter 5.21% of staff tested.	
32, 33		Review and update Workforce Plan to reflect current workforce profile and priorities.	Collect workforce data quarterly and employee opinion surveys bi-annually to monitor trends.	Manager Human Resources	The new 2017 – 2021 Workforce Plan is currently being drafted.	
26 5	Provision of a range of education and training opportunities for Council's workforce.	Develop partnerships with key education providers to assist with resourcing the educational and training needs of the workforce	Staff training plans developed annually. Government funding accessed where eligible. Staff Education Assistance Scheme utilised.	Manager Human Resources	Draft Training Plan finalised and will be circulated early 2018 for final approval. Staff from OLG and Training Services NSW met with HR staff to discuss training funding specifically for local government staff. This funding is designed to develop existing staff's skills, increasing apprentice and trainee numbers and developing work ready skills.	
26 5	Develop opportunities for apprentices, trainees and work experience within all areas of Council's workforce.	Actively promote trainee / apprenticeship and work experience opportunities to the youth of the region.	Deliver and/or distribute information a minimum of 4 occasions per year.	Manager Human Resources	Ongoing meetings with Skillset, including a morning tea with Skillset staff and Council's apprentices, to further enhance the relationship between the two organisations. Recruitment completed for two of Council's apprenticeships to start in 2018. Through Skillset, first year apprentices in Green keeping and Heavy Vehicle Mechanic have	

	<p>been appointed. A new traineeship has been established and is being recruited through Skillset for a Water Industry Operations qualification to commence early 2018. Currently reviewing opportunities for the creation of a further water trainee. Review of current trainee and apprentice positions on the organisational structure to determine recruitment opportunities for 2018.</p>					
--	---	--	--	--	--	--




Property Development

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operating Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
1, 6 28	Manage the development of new residential land releases to ensure appropriate level of supply available.	Complete development of residential land in accordance with Council plans.	Provision of land stock for residential needs.	Property Manager Eng. Dept Eng. Dept Planning Dept	Council is currently developing residential land stock at Sunny Bright estate and Windradyne 1100 estate, being a total of 455 lots. Design for Laffing Waters Estate is also underway for 1,100 lots. <u>Windradyne 1100</u> - Design, layout & construction by mid-2018 for 180 residential lot development. <u>Sunny Bright</u> - Design, layout & construction by mid-2018 for 275 residential lot development. <u>Laffing Waters</u> - Master Plan for overall 158 ha site. Tendered in 2017/2018. Construction by 2020.	
1, 6 28	Manage the development of new commercial and industrial land releases as required to meet the needs of new businesses.	Development in Bathurst Trade Centre and Kelso Industrial Park as required.	Provision of available land to meet demands. Council has a stock of undeveloped land for trade & industrial use.	Property Manager	<u>Kelso Industrial land</u> – YTD 2017/2018 sale of 4 lots. 10 lots still available. <u>Bathurst Trade - Watt Drive</u> - 17 lot development now due mid - 2018. Pre sales have 17 lots sold. Will need to look at next stage of planning.	






Financial Services



CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
28, 29, 33	Ensure Council's long term financial sustainability.	Review need for special variation in rate income.	Long Term Financial Plan complete and adopted by Council.	Manager Financial Services	Long Term Financial Plan completed for 2017/18. Due to possible amalgamation and associated legal actions Council was unable to consider applying for a special variation for 2017/18 Operating/Delivery Plan.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
28, 29, 33		Improve Council's cash flows.	Rates and Charges Outstanding Ratio less than 10%.	Manager Financial Services	As per 2016/17 Financial Statements achieved 5.68% (2015/16 5.85%). (2014/15 6.63%). (2013/14 8.19%).	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
28, 29, 33		Ensure Council's level of debt is manageable.	Debt service ratio less than 10%.	Manager Financial Services	As per 2016/17 Financial Statements achieved 4.12% (2015/16 3.95%). (2014/15 4.10%). (2013/14 3.33%).	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
28, 29, 33		Maximise invested funds within prudential guidelines.	Outperform monthly 90 day bank bill swap rate.	Manager Financial Services	At 31 January 2018: <ul style="list-style-type: none"> Current year average earnings – 2.69% 90 day Bank Bill Swap Rate – 1.73% (2016/17 average 1.77%) 	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Governance

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
23, 32, 33	Provide Councillors, staff and the community with timely and accurate information to facilitate open and accountable government.	Provide Council Business Papers on a timely basis. Provide access to Council documents on website.	Three days before each meeting Review of documents on website	Manager Corporate Governance Manager Corporate Governance	Business Papers provided one week prior to meetings. Documents are available on website and updated regularly.	
30, 32, 33	Ensure Council policies reflect community needs and organisational requirements.	Complete Annual Report to the community. Monitor Policy Manual.	Completion by statutory deadline (30 November) Individual Policies reviewed for relevance and compliance with statutory requirements	Manager Corporate Governance Manager Corporate Governance	Compilation of 2016/17 Annual Report has been completed. Annual Report submitted 28 November 2017. Manual monitored regularly and updated as required. Last update issued 22 November 2017.	
32	Implementation of the Government Information Public Access Act (GIPA Act)	Provision of Contract Register on Council's website. Respond to requests for information under GIPA Act in timely manner.	Register updated monthly. Information requests (formal and informal) responded to in accordance with statutory guidelines.	Manager Corporate Governance Manager Corporate Governance	Register is updated after each Council meeting. 12 applications received. 11 applications completed.	

Information Services


CSP 2036 Objectives Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4, 5, 6 17, 19, 20, 21, 23, 26, 27 28, 30	Improve long-term viability and availability of electronic data for both the current and long term.	Data Storage Upgrade UPS Backup Power Supply	Ability to store additional GIS data Less down time	MIS MIS	Complete. New CIS server installed with additional space and increased processing capacity. Planning for replacement unit.	
4, 5, 6 17, 19, 20, 21, 23, 26, 27 28, 30	Improve Communication between staff and residents independent of their physical location	Upgrade links to smaller sites Spare Laptops Improved ability to log requests Improved network data sharing	Reduced complaints from users Improved Training Reduced telephone calls Less requests to IT for assistance	MIS MIS MIS MIS	Ongoing. 7 spare Laptops in place and being utilised. HR has 10 dedicated training Laptops. Training ongoing. Ongoing. Ongoing.	   


CSP 2036 Objectives Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4, 5, 6 17, 19, 20, 21, 23, 26, 27 28, 30	Provide secure mobile device access to network	Ongoing WiFi Improvement	More sites accessible	MIS	Ongoing.	
4, 5, 6 17, 19, 20, 21, 23, 26, 27 28, 30	Provide network/internet access via WiFi to all locations between Council locations	Ongoing WiFi installations	Better WiFi access	MIS	Ongoing.	



Cultural & Community Services


Bathurst Regional Council supports a vibrant culture and community. Lifestyle in the Bathurst Region is enriched by providing a diverse range of cultural facilities and programs and by promoting cultural diversity. Community well-being is promoted through social planning, community development and ensuring access to community services.

CULTURAL SERVICES Collections, Displays and Cultural Facility Management




CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>6.3 11.9 20.1</p>	<p>To provide professional management, advice and quality facilities to ensure Council's collections are effectively managed</p>	<p>Continue to progress the proposal for an archival and collection facility for the Bathurst Region.</p>	<p>Continue liaison with identified partners.</p> <p>Visit other relevant locations where successful facilities have been built in regional areas to understand lessons learned.</p> <p>Seek funding sources and partners.</p>	<p>Collections Manager</p>	<p>The following liaison have been made during 2017/2018 financial year:</p> <ul style="list-style-type: none"> Letters of support from partners and stakeholders. Meeting held with Alex Bowen, Director Statewide Strategy and Planning. January - meeting held to commence engagement with Indigenous groups. <p>The following visits have occurred during the 2017/2018 financial year:</p> <ul style="list-style-type: none"> Planning and visit to Museum Discovery Centre, Castle Hill Collection Manage visit to Grimwade Centre, Melbourne University – looking at conservation workshop needs for new facility. No activities occurred during January. <p>The following funding has been sourced in the 2017/2018 financial year:</p> <ul style="list-style-type: none"> Application to the NSW Regional Fund submitted on 1 September 2017 for the construction of a Central Tablelands Collection Facility. Notification received in December that application has progressed to next stage. Advice received in January that Expression of Interest successful with final application due in April 2018. 	

		Removal and installation of exhibitions	Assist in preparation, installation and removal of exhibitions.	Collections Manager	<p>The following exhibition and display activities occurred during the 2017/2018 financial year:</p> <p>BRAG:</p> <ul style="list-style-type: none"> • Removal <i>Softcore</i> and <i>Hill End</i> artists exhibitions. • Installation and removal <i>The Unflinching Gaze</i> exhibition. • Installation and removal <i>BRAGS Art Fair</i>. • Removal <i>Mangy Marin</i> exhibition return to Orange. • Installation and removal <i>James Capper, Tracey Moffat</i> and <i>BRAG collection Shows</i>. • January - Installation <i>Harrie Fasher</i> and <i>Derek Kreckler</i> exhibitions. <p>NMRM:</p> <ul style="list-style-type: none"> • Preparation, supply and move 25 vehicles and material at NMRM. • Updating vehicle signage. • Install decorative material at Rydges for Legends dinner. • No activities occurred during January. <p>AFMM:</p> <ul style="list-style-type: none"> • Take down and storage of <i>Lego Wahluu</i>. • Install and takedown of <i>Meteorites</i> exhibition. • Preparation for Library Pop Up in exhibition space. • January - Installation of Mammoth Mini exhibition. <p>Library:</p> <ul style="list-style-type: none"> • Removal of BRAG artworks and heritage items from Library for building works. • Source and install war memorial images for CEW Bean display. • No activities occurred during January. 	
--	--	---	---	---------------------	--	---

		<p>Responding to external requests for professional advice and assistance in development of Bathurst Railway Museum</p>	<p>Advice and assistance provided in a timely manner.</p>	<p>Collections Manager</p>	<p>The following advice and assistance was provided during the 2017/2018 financial year:</p> <ul style="list-style-type: none"> • Collaboration with Bathurst District Historical Society to source original records detailing attempt to develop a Bathurst Railway Museum in 1994 and determine potential railway history contacts and image sources. • Sourcing of information from local community groups and Council's designated railway historians for Freeman Ryan Design. • Ongoing consultation and subsequent provision of resources for Freeman Ryan Design and Integrated Design Group in the development of the Bathurst Rail Museum. • January – meeting with Noel Cowan regarding Souvenir Movie Program Collection. 	
<p>20.1, 20.4</p>	<p>Ensure the efficient and effective management of Council's cultural facilities</p>	<p>Further develop object conservation partnership with Grimwade Centre, University of Melbourne</p>	<p>Undertake and complete identified collections conservation projects</p>	<p>Collections Manager</p>	<p>The following identified collections conservation projects were undertaken during the 2017/2018 financial year:</p> <ul style="list-style-type: none"> • Meeting with Amy Heffernan to develop community conservation workshops, commencing late 2017. • Collections Manager visited Grimwade Centre, Melbourne University in October to deliver objects for student conservation activities and undertook inspection of facility, as well as established projects for student visit in November. • Grimwade Centre Post Graduate students hosted at Chifley Home where they worked on Textiles Collection treatment and storage and condition reporting on the house fabric. Initial planning for Heritage Conservation Workshop in 2018. • Initial planning for Heritage Conservation workshop in 2018 involving Grimwade Centre Post Graduate students, Council staff from Cultural and Community Services and Environmental Planning and Building Services. • January - Hosting and meeting with Professor Robyn Sloggett AM in January 2018 regarding Heritage Conservation Workshop in 2018. 	



<p>20.2, 26.1, 27.9</p>		<p>Develop strategies to fund Bathurst Regional Council cultural facilities</p>	<p>Source and apply for external funding.</p> <p>Review operations for cost effectiveness.</p>	<p>All Cultural and Community Services Staff</p>	<p>The following funding has been sourced in the 2017/2018 financial year:</p> <ul style="list-style-type: none"> Application to the NSW Regional Fund submitted on 1 September 2017 for the construction of a Central Tablelands Collection Facility. Notification received in December that application has progressed to next stage. Advice received in January that Expression of Interest successful with final application due in April 2018. <p>Business Case undertaken 2016/2017, currently being reviewed for funding application Round 2. No activities occurred during January.</p>	
-------------------------	--	---	--	--	---	---


Bathurst Regional Art Gallery


CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>4.1 20.1, 20.6, 23.3, 26.1, 26.3, 26.4, 27.9</p>	<p>Provide a focus on the visual arts for the community by providing education and public programs, that challenge thinking and stimulate creativity, and to promote cultural enrichment through the development and care of the permanent collection, temporary exhibitions and research facilities.</p>	<p>Develop education and outreach programs at the gallery.</p>	<p>Staging of six (6) exhibitions with education and/or outreach programs. At least 150 attendees to each of the six (6) education and outreach programs. At least 4 schools, community groups and organisations accessing the <i>Art in a Suitcase</i> program.</p>	<p>Art Gallery Director</p>	<p>Total attendance for the three exhibitions: [Un]packed; James Capper: Mark Maker; & Tracey Moffatt & Gary Hillberg's Montages: the Full Cut 1999-2015 which ran from 8 December 2017 to 28 January 2018 was 2,533. Included in this figure for the month of January were 294 children/adults who attended the following workshops, public programs & special events: School Holiday Workshops – 16 to 19 January - (Still Life; Making Robots; Wire Portraits; & Drawing Machines): 63 children BRAGS' talk on 18 January by the Art Gallery Curator on Venice: 49 people BRAG's talk on 25 January by Professor Robyn Sloggett AM on Conservation: 44 People. International Museum Selfie Day on 17 January: 138 attended the Gallery. Two Art in a Suitcase programs have been delivered to date, in the 2017/2018 financial year. Program on track for completion by end of June 2018. No activity in January.</p>	
<p>20.1, 20.6, 23.3, 23.5, 26.1, 26.3, 26.4, 27.9</p>		<p>Develop community access and inclusion in the Gallery's exhibition program through the development of a series of community focused exhibition.</p>	<p>Staging of three (3) exhibitions At least 3,000 attendees.</p>	<p>Art Gallery Director</p>		
<p>20.1, 20.6, 23.3, 26.1, 26.3, 26.4</p>		<p>Provide opportunities for the professional development of locally based and locally connected artists through an exhibition.</p>	<p>Production of one (1) exhibition catalogues. At least 3,000 attendees.</p>	<p>Art Gallery Director</p>	<p>No activity in January.</p>	

CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
17.5, 17.6, 17.9 20.1, 20.6, 26.1, 26.3		Develop community understanding of the achievements of the Hill End Artists in Residency Program through exhibitions by artists who have participated. Provide community access to exhibitions of contemporary art that have a wide community appeal.	Staging of four (4) Hill End Artists in Residency exhibitions At least 3,000 attendees.	Art Gallery Director	No activity in January.	
20.1, 20.6, 23.3, 23.5		Develop community access to the permanent collection by the development of two (2) exhibitions.	Staging of four (4) community access exhibitions. At least 3,000 attendees.	Art Gallery Director	No activity in January.	
20.1, 20.6, 23.3, 26.1, 26.3		Develop touring exhibitions of significant local artists on an as needs basis and/or based on the permanent collection. Works from the permanent collection loaned to other galleries on an as needs basis	Staging of two (2) permanent collection exhibitions. At least 3,000 attendees.	Art Gallery Director	[un]packed: from the permanent collection opened on 6 December and ran to 28 January a total of 2,533 people attended the exhibition.	
20.1, 20.6, 23.3, 26.1, 26.3		Bathurst Regional Art Gallery general maintenance and facility upgrades.	Staging four (4) touring exhibitions Number of visitations. Number of works loaned to other galleries. Number of visitations.	Art Gallery Director	No activity in January.	
6.3 20.1, 22.1 29.1, 29.7, 29.8	Commitment to the ongoing maintenance of the Bathurst Regional Gallery facility.		The completion of identified general maintenance and facility upgrade requirements.	Art Gallery Director	Maintenance program on track.	

Bathurst Memorial Entertainment Centre

CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
1.11, 3.8, 4.1 20.1, 20.2, 20.4, 20.6, 23.1, 23.3, 23.5, 23.7, 23.8, 26.1, 26.2, 26.3, 26.4, 26.5, 26.7, 27.4, 27.7, 27.9 30.8, 33.1	Provide access to high quality performing arts activities and events for the community as audiences and/or active participants through BMEC Programs. Utilise these programs to: challenge thinking; stimulate creativity; develop skills; strengthen networks; encourage engagement with the performing arts by young people and encourage their retained engagement into adulthood and old age; encourage familiarity with and fluency in performing arts genres; and to generally encourage a clear sense of community cultural identity.	The presentation of a diverse and high quality <i>Annual Season</i> including connections to the development of local engagement and participation. Support of the <i>Local Stages Program</i> that assists and develops local artists across the performing arts.	Successful staging of programmed shows including attendance numbers, engagement activities and support for the development of local performing arts practice. Provision of Council support to the program to assist in the costs associated with the employment of the Local Stages Creative Producer, venue hire and technical labour. Development of local and regional programs which offer participatory opportunities for local and regional performing artists.	Manager BMEC Manager BMEC	No Annual Season events were presented in January although preparatory work was undertaken for the 2018 & 2019 Annual Seasons. Development of 'The Climbing Tree' was held in Sydney in partnership with ATYP from 23 – 25 January. A reading held on 25 January was well-received and was attended by 8 Industry guests. The Central West Short Play Festival Residency program was announced. Funding for this was received through the Country Artist Support Program (CASP). 14 applications have been received from writers across the Central West. 6-8 will be selected to participate. The first workshop weekend will occur on 3-4 February.	
	The provision of other programs including: <ul style="list-style-type: none"> • Program for Young People & Families and the Creative Learning Project • Inland Sea of Sound Festival • Catapult Festival • Aboriginal Performing Arts Program 	Type and number of programs, performances, workshops and associated activities including attendance numbers. Development of relationship with local Primary and High Schools and the Tertiary sector.	Three excellent works for young people have been offered to Primary schools and the general community for 2018.	15 young people aged 13-17 years attended a drama/music workshop 17-20 January. This workshop program was well-received by parents and young people. Further funding will be required to continue this program. This was part of the Local Emerging Artists Program supported by Bathurst RSL Club.		



CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
			<p>Development of relationship with the local, regional and national Aboriginal and Torres Strait Islander communities as it relates to local community identity and performing arts development.</p> <p>Sustained relationships with regional partners such as CSU, Mitchell Conservatorium, and others.</p> <p>Key state, national and international connections.</p>		<p>The local Aboriginal community performed a welcome at the Inland Sea of Sound which proved to be a highlight of the Festival. Many positive comments were received through a Your Say survey which included 111 participants.</p> <p>The relationship with CSU continues to be regular, in depth and sustained. Contact points exist across all BMEC programs.</p> <p>Planning continues with the Mitchell Conservatorium about a joint production for the 2018 Season.</p> <p>Preparations are underway for a presentation of the All About Women program from Sydney Opera House on 4 March and Sydney Writers Festival in May.</p> <p>The BMEC Manager attended the National Youth Circus Symposium in Parramatta on 17 & 18 January. This was a key opportunity to share information about the Catapult Festival to be held in Bathurst in April and to glean programming suggestions.</p>	
<p>6.3 20.1, 22.1 29.1, 29.7, 29.8</p>	<p>Utilise the BMEC 5/10/20 Year Masterplan as a basis to plan for building maintenance, upgrades and the integration of BMEC into the broader BRC Cultural Plan.</p>	<p>BMEC general maintenance and facility upgrades</p>	<p>The identification of general maintenance and facility upgrade requirements.</p> <p>The completion of identified general maintenance and facility upgrade requirements.</p>	<p>Manager BMEC</p>	<p>The following maintenance items were completed during January:</p> <ul style="list-style-type: none"> The annual dry cleaning of all carpeted areas of the venue has been completed during the Dec-Jan shut down period. All windows above head height were also cleaned during this period. The annual test & tagging of nearly 900 electrical items in the venue has been completed by venue technical staff. The annual maintenance, cleaning and calibration of the venues theatrical lighting equipment has been completed by venue technical staff. 	


CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
					<ul style="list-style-type: none"> All debris from gutters on the building's roof has been cleaned. Annual maintenance and safety inspection, of the theatre fly system has been undertaken by experienced BMEC riggers. Installation of ethercon show control data systems and cabling has begun in the Theatre. All interior panels on the City Hall mezzanine hand rail have been removed in preparation for ethercon data and power reticulation installation early February. 	
<p>6.3</p> <p>19.2, 19.6, 20.1, 20.3, 20.4, 21.1, 22.11</p> <p>28.2, 28.5, 29.1, 29.2, 29.6, 29.7</p>	<p>Utilise the BMEC 5/10/20 Year Masterplan as a basis to plan for building maintenance, upgrades and the integration of BMEC into the broader BRC Cultural Plan.</p>	<p>Commence reviewing of the long term options of BMEC.</p>	<p>Position paper developed.</p>	<p>Manager BMEC</p>	<p>The BMEC Manager and Operations Manager commenced work on a position paper in December. External assistance will be required to finalise the paper. Position paper to be completed by end of June 2018.</p>	

Bathurst Library						
CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
20.1, 23.7, 26.1, 26.6 27.5 30.5	Provision of a public library space and related services that meets the needs of the community.	Continuing to promote and operate the Bathurst Library as a free and accessible space that services the community.	Number of visitations: >15,000 per month > 180,000 per year Programs and events held: > 12 per month > 144 per year Promotional activities: > 20 per month > 240 per year Number of interest groups using the Library.	Manager Library Services	Note: Library closed for refurbishment on Monday 18 December and re-opened Monday 29 January. Pop-up library at the AFMM open during library closure. 733 visitations at pop-up libraries (YTD 77,715) 2,234 items borrowed from pop-up libraries (YTD 140,267) 0 programs and events held in January due to Library closure.(YTD 103 programs with 4,905 attendees) 66 media activities (YTD 328); 2 newspaper columns, 3 radio show, 38 Facebook posts, 23 Twitter posts Library closed. Refurbishment completed.	
11.5 26.1, 26.6	Improve access to Local History resources.	Implement refurbishment of the internal library public space. Provision of relevant Local Studies resources. Provide training to staff in relation to location and access to Local History resources.	Refurbishment complete. Audit of Local Studies resources undertaken. Number of staff and type of training undertaken. (numbers will vary depending on training availability)	Manager Library Services	Growing local studies vertical files. 1 staff attended 2 Ancestry.com webinars.	
17.3, 17.5, 17.6, 17.9 20.1, 26.1, 26.6	Provide outreach Library Service to the broader community.	Provision of a range of outreach services that target the rural villages, isolated individuals and educational facilities.	Number of visits to rural villages: 7 villages visited over a 6 week period Number of visits to isolated individuals: 10 visits per month 120 visits per year	Manager Library Services	Note: Villages and schools are visited during school terms only, with about 48 visits to villages and 40 visits to schools per year. No village visit in January (YTD 24 visits) Village targets on track.	



CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
			Number of visits to schools and other educational facilities: 6 schools visited over a 6 week period		14 visits to isolated individuals (YTD 62 visits) Visits on track. No schools visited (YTD 25 visits to schools) School visits on track.	


Australian Fossil and Mineral Museum

CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4.1, 5.1 20.1, 20.2, 20.4, 20.6, 23.1, 23.5, 26.1, 26.2, 26.4 30.8	Support the operation of the Australian Fossil and Mineral Museum.	The development of the AFMM Strategic Plan to guide the operations of the museum into the future.	Appoint external consultant. Undertake research and consultation with key stakeholders and community.	Manager Museums	To date the following has occurred in relation to the development of the AFMM Strategic Plan: <ul style="list-style-type: none"> The external consultant to be appointed early 2018. To date the following research and consultation with key stakeholders and community has been undertaken: <ul style="list-style-type: none"> AFMM Strategic Plan 2018-2028 tabled at The Somerville Collection Board meeting held Friday 3 November 2017. A Visitor Exit Survey was developed and conducted during October-November. To date the following actions have been undertaken to develop the final Strategic Plan: <ul style="list-style-type: none"> The AFMM Strategic Plan 2018-2028 Discussion paper has been written, printed and tabled at the Somerville Board meeting held on Friday 3 November. 	
	Undertake actions identified in the Retail Review	Undertake modifications to the physical retail space. Transfer POS system to standardise across museums. Develop and implement new	Manager Museums	To date the following has been undertaken in relation to modification to the physical retail space: <ul style="list-style-type: none"> Existing shop furniture has been altered or removed. New display table ordered and installed. Pigeon control carried out. Security check carried out by the Australian Museum. Work has continued on shop displays including bar codes for large mineral specimens. January – work continued on shop displays with new display furniture purchased and shop space rearranged. Investigation into the POS system is ongoing. Will be resolved by June 2018. To date the following has been undertaken in relation to the development and implementation		

CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
6.3 20.1, 22.1 29.1, 29.7, 29.8	Commitment to the ongoing maintenance of the facility.	AFMM general maintenance and facility upgrades.	reporting format across all museums.	Manager Museums	<p>of new reporting format across all museums:</p> <ul style="list-style-type: none"> • Visit by retail consultation 24 November to review work done to date and begin the development of reporting format. • Work on reporting format across all museums ongoing after meeting with Retail Consultant in November. • No action undertaken during January. <p>Maintenance and facility upgrade undertaken in January included:</p> <ul style="list-style-type: none"> • Repairs to the automatic door. • Gutter cleaning. • Pest control. • Specimen cleaning in the Fossil Gallery. <p>Identification and completion of general maintenance and facility upgrades have been carried out throughout the month, as required.</p>	



National Motor Racing Museum





CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>4.1</p> <p>20.1, 20.2, 23.3, 23.5, 26.1</p>	<p>Development of broader visitor market to the National Motor Racing Museum.</p>	<p>Investigate and undertake a range of promotional mechanisms for NMRM</p>	<p>Undertake a range of promotional mechanisms to promote the NMRM including but not limited to:</p> <ul style="list-style-type: none"> • Quarterly e-newsletter • Advertisement in race programs and industry publications • Joint advertising with other museums including Lithgow/Bathurst billboard and at least 3 other joint advertising in targeted tourism publications <p>Undertake annual snapshot survey of 100 visitors to gauge the effectiveness of the promotion undertaken</p>	<p>Manager Museums</p>	<p>The following promotional mechanisms were undertaken in January:</p> <ul style="list-style-type: none"> • Ongoing joint advertising with AFMM billboard on Great Western Highway Lithgow to Bathurst Regional Council. • Joint advertising in Discovery magazine. • Facebook promotion is on-going. • Joint advertising in the Bathurst Community Directory. • Joint advertising of Museums on RSL coasters. • Promotion of International Museums Selfie Day, via newsletters, social media and traditional media. • Promotion of Museum in 12 Hour Race Official Program. <p>Over 100 Exit surveys have been completed. Analysis underway, results available in coming weeks.</p> <p>Additional surveys completed, as part of International Museums Selfie Day event on Wednesday 17 January.</p>	
<p>4.1, 5.1, 11.9</p> <p>20.1, 26.4,</p>	<p>Promote use of museum by wider range of visitor groups.</p>	<p>Provide a range of public programs/activities and exhibits that encourage increased visitation to the museum</p>	<p>Undertake specific public programs at NMRM including Father's Day and International Museum Selfie Day to encourage local visitation and engagement</p> <p>Work with external partners to loan 8 significant objects to the museum annually to change the museums content and encourage visitation</p>	<p>Manager Museums</p>	<p>The following public promotions/activities occurred during January:</p> <p>International Museums Selfie Day was held on Wednesday 17 January 2017. 677 visitors attended the Museum. An increase from 319 in 2017.</p> <p>The following car movements took place in January:</p> <ul style="list-style-type: none"> • Return of <i>Hudson Terraplane</i> to John Hermann. • Inspection of possible <i>Baeden Marsden</i> bequest. • Transport and Installation of five (5) <i>Gregg Hansford</i> bikes from Gary Middleton. • Installation of <i>Perkins Commodore VT Supercar</i> (Mark Pappendell). 	


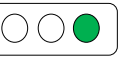

<p>6.3 20.1, 22.1 29.1, 29.7, 29.8</p>	<p>Commitment to the ongoing maintenance of the facility.</p>	<p>NMRM general maintenance and facility upgrades</p>	<p>The completion of the identified general maintenance and facility upgrades</p>	<p>Manager Museums</p>	<p>The following general maintenance and facility upgrades occurred during January:</p> <ul style="list-style-type: none"> • Work continued on the remodelling of the theatre room. 	
--	---	---	---	----------------------------	--	---




Chifley Home





CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
6.3 11.6, 11.9 20.1, 20.2, 20.6, 23.3, 23.5	Implement recommendations in Chifley Home & Education Centre Strategic Management Plan.	Strategic Management Plan reviewed, actions prioritised and costed.	The development of an action plan. Work completed in line with action plan and related timelines.	Manager Museums	During January, work has continued on reviewing and developing a new action plan. Action pending new action plan, see above.	
6.3 20.1, 22.2 29.1, 29.7, 29.8	Maintain heritage significance of Chifley Home.	Identify and Implement preventative conservation activities.	Undertake preservation and conservation planning in partnership with the Grimwade Centre for Cultural Materials Conservation, University of Melbourne.	Manager Museums	The following conservation activities have occurring during January: <ul style="list-style-type: none"> Initial planning for Heritage Conservation Workshop in 2018 involving Grimwade Centre Post Graduate students, Council staff from Cultural & Community Services and Environmental Planning & Building Services. 	
4.1, 5.1 11.5, 11.6 20.1, 20.2, 20.6	Continue public engagement activities to encourage new and returning visitors.	Provide a range of temporary exhibitions and public programs	To undertake specific public programs at Chifley Home including International Museum Selfie Day and Heritage Week activities to encourage local visitation and engagement	Manager Museums	The following public programs occurred during January: <ul style="list-style-type: none"> Planning for Heritage Week 2018 continued in January. International Museums Selfie Day held on 17 January 2018. 122 visitors attended the museum on the day, mostly from Bathurst area. The Great Strike of 1917 Exhibition continues in the Education Centre.	


COMMUNITY SERVICES						
CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
6.3 21.1, 23.6, 26.4, 26.5 28.2, 30.7, 32.2	Provision of a range of Children/s Services that include: 1. Long Day Care (Sallywags and Little Sallywags Child Care services) 2. Family Day Care 3. Vacation Care	Provide ongoing opportunities for professional development of Children's Services staff. Update policies and procedures to ensure alignment with: 1. Education and Care Services National Quality Standards. 2. Education and Care Services National Regulations and Law 3. The Early Years Learning Framework Continue to develop and review Service Quality Improvement Plans (QIP).	No of staff completing training. 50% of training opportunities attended, to be related to the National Quality Standards. 50% of policies reviewed. 4 National Quality areas to be reviewed.	Manager Community Services	No children's services staff have attended by children services staff in month of January. 25% of policies have currently been reviewed. 3 National Quality areas reviewed. Sallywags: Centre sleep and immunisation policy reviewed – quality area 2. Health and centres registers updated. Draft QIP has been developed in consultation with staff. Family Day Care: Centre registers updated as per regulations. Review of children's 'Sleep Policy'. Little Sallywags: Guiding and supporting children's behaviour-QA5 and Family participation-QA6 policies reviewed. Vacation Care: No policies update during January.	
		Provision of appropriate resources and learning environments that reflect the National Quality Standards.	75% of resources obtained to reflect the requirements of the National Quality Standards	Manager Community Services	100% of resources obtained reflect the National Quality Standards. Sallywags: Book cases and storage units purchased for class rooms to encourage independence and access to resources for children. Family Day Care: Art and craft materials purchased to be utilised for playgroup program. Little Sallywags: A crab habitat and two hermit crabs purchased to enhance the preschool program. Vacation Care: General resources were purchased during January program to allow experience to be offered reflective of the children's interests including tennis balls and additional sports equipment.	

CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		Promotion of Children's Services.	3 promotional mechanisms developed and implemented for each child care service.	Manager Community Services	<p>Sallywags: Centre documents relative to families and recruitment have been commercially printed to add to centre's marketing strategy</p> <p>Family Day Care: Service has actively promoted the recruitment of Educator, families and children through the service Facebook page.</p> <p>Little Sallywags: Children's hats have been purchased with centre logo's for promotional purposes</p> <p>Vacation Care: A news article was published in the Western Advocate, promoting Vacation Cares 'up-cycling' day. The article promoted the service and provides information regarding the program to the Bathurst community.</p>	
22.1, 22.2, 22.3 30.5, 30.6	Work in partnership with key stakeholders to develop administer and deliver community planning that reflects the strengths and needs of specific sectors and the community as a whole.	Undertake the actions identified in the Bathurst Community Safety Plan in partnership with the Bathurst Community Safety Committee.	4 meetings with administration support provided to the Bathurst Regional Community Safety Committee. 2 campaigns developed and implemented as per actions identified in the Bathurst Community Safety Plan 2015-2019.	Manager Community Services	<p>No meetings held in January. 2 meetings have been held year-to-date.</p> <p><i>Don't Invite Crime</i> campaign implemented up until December 2017.</p>	
		Implementation of the strategies and actions identified in the Disability Inclusion Action Plan (DIAP) that address each of the four focus areas of the plan 2017-2021.	Undertake annual review and evaluation of actions. Ensure continuing public awareness raising and promotion of DIAP. Identification of relevance and effectiveness of actions.	Manager Community Services	Circulated monthly to all Council Departments for reporting.	
21.1, 21.2, 21.3, 23.7, 23.8, 25.1, 26.3, 26.4, 26.5, 26.7 33.4, 33.5	The provision of the Kelso Community Centre as a safe community hub and venue for outreach service provision that meet the needs of the community.	Continue to provide ongoing review of service delivery for future direction of Kelso Community Hub.	Facilitate 2 meetings with Kelso Community Hub stakeholders. 3 Kelso Community Hub update reports to Council.	Manager Community Services	<p>No stakeholders meeting held in January. 1 stakeholders meeting held year to date.</p> <p>No Council reports in January. 2 Reports presented to Council year to date</p>	

CSP 2036 Strategy & Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		Encourage and facilitate the use of the Kelso Community Hub by outside service providers to meet the needs of the community.	10% increase on 2016/2017 utilisation by external services providing target services and programs.	Manager Community Services	26 individual uses of the Hub by one-off and repeat services, took place throughout January 2018. 258 individual uses of the Hub by one off and repeat services year to date Currently further services are negotiating utilisation of the Hub.	
		Develop and provide programs and activities that meet the identified needs of the community.	<ul style="list-style-type: none"> • 20 children per day accessing the breakfast program • 5% increase of young people accessing afterschool programs per session • 5% increase of young people accessing holiday activities. • 4 Community celebrations per year. 	Manager Community Services	<ul style="list-style-type: none"> • No Breakfast program in January due to school holidays. 1,409 young people accessed breakfast program year to date. • School holiday programs at the Hub serviced 67 young people throughout January. 689 young people attended school holiday programs year to date. • 1 community event held this month, with 5 different services being involved. 4 community events have been held at the Hub year to date. • The Hub serviced a total of around 300 people throughout the month of January. 4,714 people were services through the Hub year to date. 	
27.1, 27.3, 27.4, 27.5, 27.6, 27.7, 27.9, 30.2, 33.2, 33.3	Value and support opportunities for young people to participate in local government decision making.	Providing support for the Bathurst Regional Youth Council and their related activities, programs and events	Facilitation of 6 Bathurst Regional Youth Council meetings, including attendance numbers. Undertaking of 2 youth initiatives, activities, programs and events including attendance numbers.	Manager Community Services	There were no Youth Council Meetings held in January. 3 Youth Council meetings have been held year-to-date. There were no Youth Network Meetings held in January. 3 Youth Network Meetings have been held year-to-date.	


Tourism	CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>4.1, 4.3, 4.4, 4.6, 4.7, 4.8, 20.2</p>	<p>Effectively promote and market the Bathurst Region as a key destination</p>	<p>Promotion of the Bathurst Region via channels as outlined in the 18month-three year marketing plan (refer Destination Management Plan)</p>	<p>Type and number of placements promoting Bathurst Region including digital, social, print and public relations. Minimum of one ad placement each month across at least one media channel</p>	<p>BVIC Manager</p>	<p>Advertising and editorial undertaken in the following media in January:</p> <ul style="list-style-type: none"> Fishing Monthly Magazine – Chifley Cabins Blue Mountains iMag Caravanning Australia August Edition Weekly 'What's On' every Thursday afternoon, 2BS Gold. Summer "Did you know" ad series on B-Rock/2BS Updated all information for new Bathurst motels compendium "What's On" distributed electronically to 325 recipients, 183 postal recipients 71 posts promoting Bathurst events/tourism partners posted on Facebook. 7 images posted on Instagram. Bathurst region promo video – filming completed 		
		<p>Includes but not limited to working with other Council facilities and departments, other councils, other Bathurst businesses and regional organisations.</p>	<p>Cash investment by industry. One co-operative marketing campaign per annum has industry buy-in Council facilities promoted in visitor guide, online and in monthly eDMs State-wide distribution strategy of guides is developed & evidence of guides being sent is recorded.</p>	<p>BVIC Manager</p>	<p>\$2541 in tourism partnership fees paid in January. Consumer eDM database 9 new subscribers Planning meeting for 2018 Heritage Trades Trail, 9 January. Meeting with President & Vice president of Bathurst Business Chamber 30 January.</p>		
		<p>Promotion of the Bathurst Region to niche and specialist markets (eg education market – Japanese students) or as identified in the Destination Management Plan (DMP).</p>	<p>Number of groups hosted. In 2017, 4 Japanese groups were hosted. (129 host families / 327 students) 2018 target is 142/ 359.</p>	<p>BVIC Manager</p>	<p>Meeting with Benita – 2LT re future promotional opportunities Met with representatives regarding Autumn Colours program 2018 – 10 and 30 January Met with tour company representatives ahead of</p>		

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
			<p>Repeat bookings taken.</p> <p>Bookings are recorded and estimated economic benefit is calculated.</p>		<p>Toyo High visit in March .</p>	
4.1, 4.4, 4.6, 4.7 20.2	<p>Provide visitors and prospective visitors to the area with quality information and services.</p>	<p>Provide a diverse range of current and relevant publications and information that highlights and promotes the facilities, events and activities of the region.</p>	<p>Development of and distribution of combined and promotional collateral (visitor guide) consistent with destination brand</p> <p>Review of promotional collateral to ensure brand consistency</p>	BVIC Manager	<p>Designed and printed new flyer for Heritage Trades Trail 2018</p> <p>Redesigned ad for Bathurst 12 hour program</p> <p>Facebook Page Likes increased 5.1% to 5,529.</p> <p>Instagram followers increased 1.0% to 1,444.</p> <p>Updated Attractions and Accommodation Information sheets.</p> <p>January events calendar had 45 events.</p>	
		<p>Support local event organisers through the access and inclusion of annual online calendar of events.</p>	<p>Currency of information.</p> <p>Calendar is updated weekly.</p> <p>Number of events increases.</p> <p>Increase number of events listed by 10%</p>	BVIC Manager	<p>Weekly 'What's On' every Thursday afternoon, 2BS Gold.</p> <p>Promotion of events on Facebook in January included Library closure, Stardust circus, White party at Mayfield, Bathurst 12 Hour Summer school holiday activities, farmers markets and ongoing promotion of tourism partners.</p>	
		<p>Develop the number and quality of services and facilities provided through the visitor information centre.</p>	<p>Presentation of high quality services.</p> <p>Retail sales increase by 10% annually. In 2017, \$186,529 sales were recorded (YTD April). 2018 target is \$188,394.</p> <p>Monthly 'What's On' published online and print.</p> <p>Staff development program.</p> <p>All staff attend 3 professional development including relevant</p>	BVIC Manager	<p>4,345 visitors to BVIC in January.</p> <p>626 phone enquiries in January.</p> <p>9,884 VisitBathurst page views for January.</p> <p>\$6,840.37 retail revenue for January (3.4% increase on 2017 result).</p> <p>New customer satisfaction survey on iPad in Centre – 12 responses received.</p> <p>January 'What's On' contained 45 events, distributed to 278 subscribers online and 185 postal recipients.</p> <p>Meeting with Enviro team and consultants re BVIC solar storage project – 12 January.</p>	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
		Working with local operators in the provision of visitor services.	conferences annually.		Wrote and distributed RFQ for new Tours and Trails App. Wrote and distributed RFQ for new online booking management platform. 130 tourism partners for 2017/2018 as at 31 January (3 added in month of January) consisting of 18 Associate, 90 individual, 21 multiple and 1 Platinum. Includes 15 new partners this FY. 5 meetings between BVIC Manager and current/prospective partners in January. 1 famil conducted by BVIC staff in January.	

Destination Management

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4.1, 4.3, 4.4, 4.6, 4.7, 5.1 20.2	Utilise the Destination Management Plan as a basis for marketing, promotion and tourism development	Develop, adopt and implement a recognised destination brand.	Brand workshop. Adoption by Council. Brand launch. Brand activation.	Destination Development Manager	The following actions occurred during January: • Brand logo and tagline adopted by council 13 December. • Brand activation: Preparation of Public Relations brief.	
	Develop and implement 18 month-three year marketing plan.	Publish image library for industry to access.	Adoption by Council. Incorporated in refreshed consumer focused website.		The following items occurred during January. • 18 month – 3 year marketing plan is in draft format pending including priorities for target markets. • Matrix of activities and timelines created.	
4.1, 4.4, 4.6, 4.7 20.2	Establish a Tourism Reference Group, which consists of a cross section of the industry	Improved collaboration between industry groups and Council	Conduct monthly Tourism Reference Group meetings. Attendance at meetings averages 80% Positive feedback from stakeholders (Council, media, industry). Comments, print and online stories are registered. Greater industry buy-in to tactical marketing activities (current benchmark is 0)	Destination Development Manager	The following actions occurred during January: • RFQ for Destination photography distributed. Budget contributions received from BVIC, Ec Development, Planning. The following items occurred during January: • Tourism Reference Group meeting not scheduled for January. • 2018 Bathurst Heritage Trades Trail meeting held January 9 • Participation in Community Strategic Plan committee meetings 11 + 25 January • Heritage Activation Meeting with industry reps 24 January	
4.1, 4.3, 4.4, 4.6, 4.7, 4.8, 5.1 20.2	Connect with industry	Provide training and professional development for industry. Host ongoing tourism forums annually.	Delivery of workshops. 4 workshops annually Minimum 10 attendees + positive feedback in surveys	Destination Development Manager	A programme of training and professional development workshops have been completed, to end July 2017. BVIC scheduling future workshops 22 February member networking event.	



CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
4.1, 4.3, 4.4, 4.6, 4.7, 5.1 20.2	Set and measure benchmarks	Publish annual market intelligence report to strengthen knowledge and guide investment.	Number of surveys conducted 4 per year with Economic Development Officer and Bathurst Business Chamber.	Destination Development Manager	The following items occurred during January: <ul style="list-style-type: none"> • Second annual survey completed in July 2016 in collaboration with Manager Economic Development. • Data & findings have been viewed. • 2016 Bathurst Region Tourism Data collected & compared with 2014 data. Positive results include 19% increase in overnight visitors & 42% increase in total expenditure in the region. 	

Environmental, Planning & Building Services


Council has prepared and adopted interim Planning controls for the local government area and continues to prepare a new comprehensive Local Environmental Plan and Development Control Plan. These plans will be based on the adopted Bathurst Region Urban and Rural Strategies. Council is still awaiting the endorsement of the Rural Strategy by the NSW Government.

Strategic Planning

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>1,2,3 8,9,10,11,1 2,13 17,18,21,24 28</p>	<p>Prepare relevant planning proposals to ensure Council's planning controls remain relevant and up to date.</p>	<p>Prepare draft LEP and DCP amendments.</p>	<p>Planning proposals referred to NSW Department of Planning & Environment for gazettal</p>	<p>Manager Strategic Planning</p>	<p>LEP/DCP – Housekeeping – various matters, planning proposal being prepared. LEP/DCP – Open Space Housekeeping Amendment – rezone various parcels of land to open space. Adopted by Council. Awaiting gazettal. LEP – Moveable and Monumental heritage – planning proposal being prepared. LEP/DCP – Limekilns Road – Adjust R1, RE1 and RU1 zone boundaries – planning proposal being prepared. DCP – Reservation of land adjacent to Eglinton School – School expansion to open space. Council resolved not to amend the DCP. DCP – Implement recommendations of the Hill End Archaeological Management Plan. Adopted by Council. DCP – Gateway Enterprise Park and Adrienne Street Industrial area – Amend Map No. 8 to provide for connectivity between the Gateway Enterprise Park and Adrienne Street. Adopted by Council.</p>	
<p>1,3 8,9,10,12,1 3 18,21,24 28</p>	<p>Investigate relevant land use and planning issues of the Bathurst Region.</p>	<p>Prepare studies and plans.</p>	<p>Studies/plans considered and adopted by Council</p>	<p>Manager Strategic Planning</p>	<p>City of Bathurst Housing Strategy 2036 – Stage 1 Consultation completed. Draft Strategy prepared. Completed. Cultural heritage assessments of Mount Panorama Wahluu. Go Kart Track and anthropological draft reports received. Campground completed. 2nd circuit – investigations underway. Field work February/March 2018. Durham/Stewart Street Intersection Treatment Option Study – Investigate options to upgrade the intersection medium-long term. Consultants appointed. Study underway. Draft report received. Awaiting comments from RMS. Bathurst 2040 Open Space Strategy – Provision of open space within the Bathurst Urban Area – Consultants appointed. Study underway. Visioning consultation. Completed.</p>	









<p>6 28,29</p>	<p>Review and update Council's section 94 plans.</p>	<p>Revise existing or prepare new s94 Plans.</p>	<p>Draft plans considered and adopted by Council</p>	<p>Manager Strategic Planning</p>	<p>Stormwater Management Plans – Underway. Consultants appointed. Eglington Open Space & Drainage – include land adjoining Eglington School – Council resolved not to amend plan. Bathurst Region Open Space – Review land values and contribution rates. Valuation report received.</p>	
<p>11</p>	<p>Implement the Bathurst Regional Heritage Strategy 2014-2017.</p>	<p>Provide a Heritage Advisory Service. Provide heritage incentive funding programs to protect, maintain, enhance and promote the regions heritage assets. Prepare and implement projects for the interpretation and display of cultural heritage and history information.</p>	<p>Heritage Advisor available for on-site visits once a fortnight. Adequate funding is provided to approved projects and projects completed. New interpretative information made available.</p>	<p>Manager Strategic Planning Manager Strategic Planning Manager Strategic Planning</p>	<p>Statistics collated – July 2017 to date: 1. Total site visits – 65 2. Heritage/Urban Design advice – 21 3. Pre DA advice – 20 4. DA assessment advice – 24 Local Heritage Fund – 77 projects offered funding Interpretation Fund – 12 projects offered funding Main Street Fund – 19 projects offered funding Kings Parade Interpretation – completed. Launch 15 December 2017. Pillars of Bathurst 2018 – 2018 nominations finalised. Aboriginal Interpretation Strategy – awaiting finalisation of Mt Panorama investigation Bathurst Main Street Review – William, George, Howick & Keppel Streets completed. Residual CBD drafted. Awaiting photography and collation. Funding application for signage strategy lodged with NSW OEH.</p>	






Development Assessment

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>1,2, 3, 6, 7 8, 9, 10, 11, 12, 13, 14, 15, 16 17, 18, 19, 22 28,29</p>	<p>Ensure the assessment of developments and other applications, in accordance with planning instruments, development control plans and policies, occurs within appropriate timeframes.</p>	<p>Process all development applications within statutory time frames set out in the Environmental Planning and Assessment Act 1979.</p>	<p>Reduce number of Development applications exceeding 40 days.</p>	<p>Manager Development Assessment</p>	<p>Figures for January 2018 44 – No of applications (DA/CDC/MOD) received 43 – No of applications determined 16 – No of determinations (gross) over 40 days (37.21%) 35.65 – Average approval time 36.33 – Average approval total time</p>	







Environment							Status
CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date		
Animal Rangers							
21, 22, 23 30	Meet Council's Responsibilities under the Companion Animals Act (1998) by continuing to provide education and community opportunities with regards to responsible pet ownership.	Complete Responsible Pet Ownership education programs.	Community Pet Desexing program conducted twice annually Dog Expo completed by June 2018. Responsible pet ownership education campaign completed by June 2018.	Manager Environment / Senior Ranger Manager Environment / Senior Ranger Manager Environment / Senior Ranger	Program was completed 20 November 2017 to 1 December 2017 with 110 animals desexed. Next program is planned for May 2018. Planning underway, scheduled for April 2018. Weekly radio interviews conducted by Senior Ranger.		
22 30	Meet Council's Responsibilities under the Companion Animals Act (1998) and the Impounding Act (1993) by reducing the occurrence of stray companion animals and livestock; the holding of impounded animals including livestock; holding and disposal of abandoned vehicles; and, continuing to upgrade the Small Animal Pound to meet current and upcoming standards.	Maintain and enhance areas for off-leash recreation of dogs. Investigate animal related complaints, including after-hours matters and operate the animal pound. Maintenance of Small Animal Pound Facilities and improve security of impounding facilities. Maintenance of Stock Impounding Facilities.	Maintain the Kefford St Off-leash area to current standards. Number of complaints and enquiries responded to within adopted corporate standard (95%). Continue maintenance and progressive upgrade of security during 2017/2018 Maintain the stock impounding facilities and meet requirements of stock handling, transport and disposal.	Manager Environment / Rangers Manager Environment / Rangers Manager Environment / Senior Ranger Manager Environment / Senior Ranger	Contractor engaged to complete the works for the financial year. 93% for January 2018. July to January 2018 – 96% responded to within corporate standards. Modifications to existing building completed in July including new staff hand washing facilities. Development consent for transportable office granted, office delivered and installed. Plumbing and electrical works completed. Office now in use. Ongoing.		
Parking Control							
3 22 29, 30	Meet Council's responsibilities under Road Rules (2008) and the Fines Act (1996) and reduce the amount of contestable penalty notices being issued.	Continue to monitor and enforce parking regulations and educate the community in relation to Parking Control.	Adequate turnover in CBD parking.	Manager Environment/ Parking Rangers	Monitoring undertaken daily. Recruitment is underway for a vacant Parking Ranger position.		

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
Environmental Management						
6 8, 9, 10, 12 13, 16 18, 22, 27 28, 29, 30, 33	Meet Council's responsibilities under the Protection of the Environment Operations Act and Local Government Act in relation to environmental protection.	Respond to enquiries and complaints.	Respond to enquiries and complaints within adopted corporate standard (95%).	Manager Environmental Officers	93% January 2018. July to January 2018 – 95% responded to within corporate standards.	
5, 6 8, 9, 10, 12 13, 14, 15, 16 18, 22, 23, 27, 29 28, 29, 30, 33	Continue to improve the community's awareness and capacity with regards to environmental sustainability through the delivery of targeted education programs	Identify and conduct minor environmental projects. Conduct community environmental education programs.	Minor environmental projects completed by June 2018. Complete ongoing community education programs including 'Enviro Mentors' by June 2018.	Manager Environment Manager Environment / Environmental Officers	Ongoing. Ongoing. Enviromentors program completed over a two week period in August 2017 with presentations at 10 schools.	
		Conduct the annual Sustainable Living Expo.	Conduct the annual Sustainable Living Expo in March 2017.	Manager Environment/ Environmental Officer	Preliminary planning underway for 2018 event. Keynote speaker finalised. 2 awards received for 2017 event.	
		Conduct the annual Bathurst Region schools 'Sustainable Schools' program.	Complete the annual 'Sustainable Schools' by June 2018.	Manager Environment / Environmental Officer	2017 program is now complete and newsletter was distributed in early December 2017. 2018 program will commence in April 2018.	
		Communicate environmental messages via a range of on-line and traditional media sources.	Regular communications with residents during the 2017/2018 year.	Manager Environment/ Environmental Officer	Regular communication through the @Sustainable Bathurst page.	
		Coordinate a targeted education program for builders and Council Staff	Conduct a targeted education program by June 2018.	Manager Environment / Environmental Officer	Negotiations underway to utilise a very successful program developed by City of Wollongong.	
8, 9, 10, 12, 13, 16 30,	Meet Council's statutory reporting requirements under the Local Government Act (1993).	Conduct appropriate research and data collection to complete State of the Environment Reports.	Complete the Bathurst 2017 State of Environment Report	Manager Environment / Sustainability Strategy Officer	Data collection complete. Report is complete and was presented to Council at its ordinary meeting in November 2017. Report is now available on Council's website.	
			Complete the 2017 Regional State of Environment by 30 November 2017.	Manager Environment / Sustainability Strategy Officer	Report is complete and was presented to Council at its 13 December 2017 Ordinary Meeting. Report is now available on Council's website.	

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
9, 10, 12, 13, 14, 15 22 30	Meet Council's obligations under the Local Government Act (1993) and community expectations to manage, develop, restore, enhance and conserve the environment.	Implement the Urban Waterways Management Plan. Support the Central West Environment and Waterways Alliance Project. Improve the management of Bathurst Region road reserves by preparing a Roadside Vegetation Management Plan and updating Council's Roadside Vegetation Management Guidelines. Implement the Pest Bird Management Plan. Implement the Biodiversity Management Plan.	Implement priority project/s identified in the Urban Waterways Management Plan by June 2018. Support the Central West Environment and Waterways Alliance Project Support Officer in 2017/2018. Roadside Vegetation Management Plan completed by June 2017. Council's Roadside Vegetation Management Guidelines updated by June 2018 Implement priority project/s identified in the Pest Bird Management Plan by June 2018. Implement priority project/s identified in the Biodiversity Management Plan by June 2018. Implement Revolving Energy Fund projects in 2017/2018. Council Energy Consumption per resident reduced Conduct energy audits at priority Council facilities and implement identified energy efficiency measures in 2017/2018.	Manager Environment/ Sustainability Strategy Officer Manager Environment Manager Environment/ Sustainability Strategy Officer Manager Environment/ Environmental Officer Manager Environment/ Sustainability Strategy Officer Manager Environment/ Sustainability Strategy Officer Manager Environment/ Sustainability Strategy Officer	Investigative works for a project in Sawpit Creek completed in August 2017. Report received in December 2017. Financial support granted for 2017/18, meetings attended by staff. Final draft has been reviewed by staff and presented to Council at its 13 December 2017 Ordinary Meeting. Resolved to place the RVMP on public exhibition. Public Exhibition has now closed. 4 submissions received (2 late) Ongoing CBD pigeon control program occurring. Trials commenced at Waste Management Centre facilities and commercial premises. Biodiversity Community document has been graphically designed, awaiting images to be finalised. No specific projects in last quarter. Implementation of overall plan ongoing. Ongoing. Consultant engaged to design a solar array and battery storage facility at the BVIC. Consultant has installed monitoring equipment at the site which will provide detailed data on the usage patterns at BVIC. Report received in December 2017 which has provided a variety of options for the project. Design works commenced in January 2018 for preferred option. Ongoing. New ceiling and roof have been installed at Bathurst Airport terminal, which will result in a considerable reduction in energy consumption. Lighting upgrades have occurred in Post Office building and Council Chambers.	      
8, 13	Continue to evaluate, report and reduce energy demand and greenhouse gas emissions in Council operated facilities.	Support the continuation of Energy Audits of Council facilities and implement simple and cost effective energy efficiency measures		Manager Environment/ Sustainability Strategy Officer		

Environmental Health Management						
22, 25, 26 30, 31	Meet Council's obligations as part of the Food Regulation Partnership, the Food Standards and the Public Health (Swimming Pools and Spa Pools) Regulation (2000).	Continue to improve Council and community knowledge with regards to food health, public bathing areas and domestic wastewater disposal.	Develop and distribute Environmental Health Fact Sheets. Attend Environmental Health Seminars.	Manager Environment / Environmental Health Officer	Ongoing. Food newsletter sent in October 2017.	
		Respond to enquiries and complaints.	Conduct monitoring of all Bathurst Region public swimming pools and spa pools by June 2018.	Manager Environment / Environmental Health Officer	Ongoing. Will be scheduled in February 2018.	
		Respond to enquiries and complaints.	Respond to enquiries and complaints within adopted corporate standard (95%).	Manager Environment/ Environmental Officers	July to January 2018 – 100%.	
		Ensure Council's ability to meet the obligations as required under NSW Legislation.	Implement an Environmental Health Secondment program by June 2018.	Manager Environment.	Not currently funded.	
		Continue to conduct a program of inspections of Food premises, B&B's, Home-based food premises, domestic waste water disposal units, and skin penetration premises to ensure compliance with regulations and educate the community about relevant regulations.	Conduct a program of inspections of food premises etc during 2017/2018.	Manager Environment/ Environmental Health Officer	Ongoing. Inspections conducted daily. One EHO position was vacant for 7 months, with a new EHO to commencing in January 2018.	

Economic Development

CSP 2036 Objective Reference	Delivery Program Actions 2017-2021	Operational Plan Tasks 2017/2018	Performance Measure	Responsible Officer	Action Year to Date	Status
1, 2, 3, 4, 5, 6, 7 28, 29, 30, 8, 11, 13, 16	Implementation of the Economic Development Strategy 2017-2020 and associated programs and actions.	Ensure appropriate training is identified, developed where necessary and information disseminated to relevant industry sectors.	Continued development of Business Management Workshops. Promote training through Bathurst Business Hub website, Business eNewsletters etc.	Manager Economic Development	July – January business eNewsletters sent.	
		Facilitate contact between industry, developers, government, new business, relocators, training bodies and community groups where appropriate	Continued support and partnerships with the Business Chamber, AusIndustry, BEC, CSU, RDA and NSW Department of Industry.	Manager Economic Development	Partnership with the Business Chamber, BEC and CSU for BizMonth campaign. BizMonth sponsored by Commonwealth Bank, Verto and Rydges Mt Panorama. Jobs Expo sponsored by TAFE NSW and CSU.	
		Actively foster and support small, micro and home based business	Work with employment agencies and business groups to grow Ejobs and the Jobs Expo. Grow BizWeek & Bathurst Buy Local Campaign.	Manager Economic Development	446 jobs uploaded year to date. Jobs Expo held 9 August with 2,000 attendees. 3,617 Buy Local Gift Cards purchased - \$226,657 loaded. BizMonth held in September.	
		Host regular Mayoral functions	Host Business Lunches, Welcome Wagons, Business Chamber and other Mayoral business events.	Manager Economic Development	Ongoing. Bizmonth Business Lunch held 15 September 2017 – 200 attendees. Business Chamber Christmas party hosted at BVIC, 12 December 2017. Welcome Wagon held 8 November 2017.	
		Promote new and innovative practices within industry sectors	Foster local business growth through the online promotion of relevant opportunities, growth of Councils business database and social media engagement.	Manager Economic Development	934 businesses on Council's database. Online promotion of Jobs Expo and BizMonth. 1,499 followers on the Business Hub Facebook page.	
		Facilitate the development of infrastructure to support & attract knowledge, innovation & research.	Facilitate the availability of high speed internet and mobile telecommunications	Manager Economic Development	Bathurst received 2 funded base stations in Round 1 and 1 funded base station in Round 2, mobile black spots program. CBD Wi-Fi grant application successful, Federal Smart Cities Fund. Formation of Council's Smart City Project Group	

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

The Quarterly Budget Review Statement (QBRS) is the mechanism whereby councillors and the community are informed of Council's financial position at the end of each quarter, allowing Council's progress and performance against the annual budget to be monitored.

Council's Responsible Accounting Officer is required to prepare and submit a Quarterly Budget Review Statement (QBRS) to the governing body of council in accordance with clause 203(1) of The Local Government (General) Regulation 2005.

The Local Government Code of Accounting Practice and Financial Reporting requires the QBRS to contain the following components:

	Page
1. Statement by Responsible Accounting Officer on Council's Financial Position	2
2. Recommended Budget Variations	3-4
3. Budget Review Income & Expenditure Statement (Consolidated)	5
4. Budget Review Capital Budget	6
5. Budget Review Cash and Investment Position	7
6. Budget Review Key Performance Indicators	8
7. Budget Review Contractors and Other Expenses	
Part A - Contractors List	9-10
Part B - Consultancies & Legal Expenses	11-12
8. Budget Review by Department in Funding Format	
Engineering Services Department	13
Corporate Services & Finance Department	14
Cultural & Community Services Department	15
Environmental, Planning & Building Services Department	16

In accordance with Council's charter at section 8 of the Act, Councillors need to have regard for long term and cumulative effects of their decisions, so it is therefore important to understand the impacts of any significant changes that are proposed, including anything that will impact Council's ability to achieve our objectives and goals.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

1. Statement by Responsible Accounting Officer on Council's Financial Position

The following statement is made in accordance with Clause 203(2) of the Local Government (General) Regulations 2005.

It is my opinion that the Quarterly Budget Review Statement for Bathurst Regional Council for the quarter ended 31/12/2017 indicates that Council's projected financial position at 30/06/2018 will be satisfactory at year end, having regard to the projected estimates of income and expenditure and the original budgeted income and expenditure.

Signed: _____
Aaron Jones
Responsible Accounting Officer

Date: ____ / ____ / ____

2. Recommended Budget Variations

Council has the opportunity to review and approve variances to the original budget for the year in the QBRS. Any changes to the budget must be approved by Council and councillors need to be aware by resolving to accept this QBRS they are approving the proposed changes.

The following budget variations are recommended:

Income	\$
Decrease Income - Recreation Adventure Playground Loan funds deferred to 2019 Budget	(2,500,000)
Decrease Income - General Purpose FAG - Grant received in June 2017	(2,126,938)
Increase Income - General Purpose FAG Transfer from Reserve - FAG received in June 2017	2,126,938
Decrease Income - Loan Funds - projects deferred to 2019 Budget	(600,000)
Decrease Income - FAG Grant received in June 2017	(466,391)
Increase Income - FAG Grant transferred from Reserve	466,391
Decrease Income - Water - Transfer from Reserves	(431,040)
Increase Income - Land Dev - Transfer from Reserves	363,530
Decrease Income - Flood Maintenance Reserve	(314,561)
Increase Income - Footpath Capital - Gabion Wall	314,561
Decrease Income - Urban FAG Grant received in June 2017	(279,834)
Increase Income - Urban FAG Grant transferred from Reserve	279,834
Decrease Income - Recreation Freeman Circuit from Sec 94 deferred to 2019 Budget	(270,000)
Increase Income - Recreation Capital - Machattie Park Cottage transfer from Loan	220,000
Decrease Income - Rural FAG Grant received in June 2017	(186,556)
Increase Income - Rural FAG Grant transferred from Reserve	186,556
Increase Income - Stormwater Drainage Income from Sec 94	207,000
Increase Income - Regional Roads Grant Capital	150,000
Increase Income - Events - Winter Festival	138,000
Increase Income - Bus Shelter Grant Capital	36,120
Increase Income - Recreation Capital - Street Trees from Sec 94	30,778
Increase Income - Recreation - Grant Battling Bushland Weeds	24,675
Increase Income - Aerodrome Sec 356 Subsidy	17,500
Increase Income - Mt Pan - Disposal of Asset	12,021
Increase Income - RFS - Grants Received	11,790
Decrease Income - Art Gallery - BRAGS memberships & activities	(7,000)
Increase Income - Economic Development - Jobs Expo	6,500
Increase Income - Art Gallery - Grant received	5,750
Decrease Income - Footpath & Cycleway Grant Capital	(5,000)
Increase Income - Various < \$5,000	4,558
Decrease Income - Various < \$5,000	(1,591)
	(2,586,409)

Expenditure	\$
Decrease Expenditure - Recreation Adventure Playground deferred to 2019 Budget	(2,500,000)
Decrease Expenditure - Water - Treatment Works Filters delayed to 2019 Budget	(795,040)
Decrease Expenditure - Scallywags Building deferred to 2019 Budget	(600,000)
Increase Expenditure - Land Development	363,530
Increase Expenditure - Solid Waste - Plant purchase	350,000
Decrease Expenditure - Solid Waste - Sealed Roads	(350,000)
Increase Expenditure - Footpath Capital - Gabion Wall	314,561
Decrease Expenditure - Flood Maintenance	(314,561)
Increase Expenditure - Regional Roads Capital Grant - Hobby Yards	300,000
Decrease Expenditure - Recreation Freeman Circuit deferred to 2019 Budget	(290,000)
Increase Expenditure - Recreation Capital - Machattie Park Cottage Building Upgrade	220,000
Increase Expenditure - Stormwater Drainage - Proctor Park	207,000
Increase Expenditure - Water - Winburndale Office wireless	200,000
Decrease Expenditure - Regional Roads Maintenance	(150,000)
Increase Expenditure - Events - Winter Festival	138,000
Increase Expenditure - Water - Water Mains capital	124,000
Increase Expenditure - Other Land & Buildings - Grounds maintenance	50,000
Decrease Expenditure - Other Land & Buildings - Buildings maintenance	(50,000)
Increase Expenditure - Water - Chifley Dam cameras	40,000
Increase Expenditure - Bus Shelter Grant Capital	36,120
Increase Expenditure - Animal Control - Buildings	31,225
Decrease Expenditure - Environment - Grant Expenditure	(31,225)
Increase Expenditure - Recreation Operating - Street Trees	30,778
Increase Expenditure - Recreation Operating - Battling Bushland Weeds	24,675
Increase Expenditure - Solid Waste - Waste Management documentation	22,400
Decrease Expenditure - Solid Waste - Transfer to Reserve	(2,400)

Increase Expenditure - Recreation Freeman Circuit	20,000
Increase Expenditure - Aerodrome Roar, Soar and Shine	17,500
Increase Expenditure - Mt Pan Building Capital	12,021
Increase Expenditure - RFS - Grants Received	11,790
Increase Expenditure - Museums Unit - transfer from NMRM, Railway & AFMM	10,300
Decrease Expenditure - NMRM, Railway & AFMM - transfer to Museums Unit	(10,300)
Decrease Expenditure - Art Gallery - BRAGS memberships & activities	(7,000)
Increase Expenditure - Economic Development - advertising expenses	6,500
Increase Expenditure - Art Gallery - Grant received	5,750
Decrease Expenditure - Footpath & Cycleway Grant - Ashworth Drive	(5,000)
Increase Expenditure - Various < \$5,000	14,963
Decrease Expenditure - Various < \$5,000	(11,996)
	<u>(2,586,409)</u>
Total	<u><u>0</u></u>

The above variations are referred to in the 'Budget Review Income & Expenditure Statement (Consolidated)', 'Budget Review Capital Budget' and 'Budget Review Cash and Investment Position' as recommended changes for Council. The anticipated effect of these variations is displayed in the projected year end results.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

3. Budget Review Income & Expenditure Statement (Consolidated)

	Original Budget 2017/2018	Approved Changes		Revised Budget	Recommended Changes for Council	Projected Year End Result	Actual YTD
		Carry Forwards	September Review				
\$'000							
Income from Continuing Operations							
Revenue:							
Rates & Annual Charges	43,598	-	-	43,598	-	43,598	21,511
User Charges & Fees	26,536	-	-	26,536	1	26,537	12,563
Interest & Investments Revenue	3,499	-	-	3,499	-	3,499	1,687
Other Revenue	4,452	-	30	4,482	155	4,637	1,861
Grants & Contributions provided for Operating Purposes	10,937	916	1,157	13,010	(3,029)	9,982	5,544
Grants & Contributions provided for Capital Purposes	26,248	14,987	756	41,991	145	42,136	3,843
Other Income:							
Net gains from the disposal of assets	32,605	-	-	32,605	12	32,617	1,221
Total Income from Continuing Operations	147,874	15,904	1,943	-	165,720	(2,716)	163,005
Expenses from Continuing Operations							
Employee Benefits & On-Costs	29,927	12	132	30,072	(94)	29,978	15,086
Borrowing Costs	1,300	-	-	1,300	-	1,300	634
Materials & Contractors	32,153	2,867	70	35,089	(329)	34,760	13,815
Depreciation & Amortisation	23,713	-	-	23,713	-	23,713	11,867
Other Expenses	10,725	109	470	11,304	(15)	11,288	4,705
Total Expenses from Continuing Operations	97,818	2,988	672	-	101,478	(439)	101,039
Net Operating Result from Continuing Operations	50,055	12,916	1,271	-	64,242	(2,277)	61,965
Net Operating Result Before Grants & Contributions Provided for Capital Purposes	23,808	(2,071)	515	-	22,251	(2,422)	19,830

Notes:

Original budget +/- approved budget changes in previous quarters = Revised Budget

Revised Budget +/- recommended changes this quarter = Projected Year End Result

Interest on unexpended loans is not calculated until the end of financial year, as it is assumed that all loan funds will be used in the period in which they are taken out.

Salaries and wages capital oncost is not calculated until the end of financial year.

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/12/2017 and should be read in conjunction with the other sections in the QBRS. Recommended changes in this section are listed in section 2. Recommended Budget Variations.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

4. Budget Review Capital Budget

\$'000	Original Budget 2017/2018	Approved Changes			Revised Budget	Recommended Changes for Council	Projected Year End Result	Actual YTD
		Carry Forwards	September Review	December Review				
Capital Expenditure								
Plant & Equipment	3,122	187	-	-	3,310	350	3,660	874
Office Equipment	618	80	-	-	698	240	938	76
Furniture & Fittings	24	16	-	-	40	-	40	32
Land	150	-	920	-	1,070	60	1,130	774
Land Under Roads	-	-	-	-	-	-	-	-
Land Improvements	1,119	394	(34)	-	1,479	1,967	3,446	684
Buildings	7,811	1,443	874	-	10,128	(2,587)	7,541	1,767
Structures	5,556	828	124	-	6,508	(2,732)	3,776	512
Roads, Bridges, Footpaths	24,483	18,434	15,168	-	58,085	(29)	58,055	4,277
Bulk Earthworks	85	-	-	-	85	500	585	489
Stormwater	4,980	962	(25)	-	5,917	111	6,028	1,915
Water Supply	3,969	11,665	-	-	15,634	(671)	14,963	2,590
Sewerage Network	2,668	3,545	-	-	6,213	-	6,213	401
Other Assets	303	-	-	-	303	-	303	100
Investment Property	1,000	1,000	-	-	2,000	-	2,000	254
Real Estate	16,237	-	(14,985)	-	1,252	364	1,616	106
Total Capital Expenditure	72,125	38,554	2,041	-	112,720	(2,428)	110,293	14,848
Funded by								
Loans	11,625	-	-	-	11,625	(3,100)	8,525	-
Asset Sales	976	-	-	-	976	12	988	678
Reserves - Internal	11,945	5,341	34	-	17,319	(795)	16,524	4,998
Reserves - External	200	8,404	265	-	8,869	522	9,390	421
Reserves - Loans	5,023	1,804	50	-	6,877	220	7,097	1,138
Grants & Contributions	23,233	15,287	1,310	-	39,830	(275)	39,555	1,588
Recurrent revenue	19,124	7,718	383	-	27,225	989	28,213	6,026
Other	-	-	-	-	-	-	-	-
Total	72,125	38,554	2,041	-	112,720	(2,428)	110,293	14,848

Note:

Loans are not drawn down until close to the end of the financial year, in anticipation that interest rates will fall.

Salaries and wages capital oncost is not calculated until the end of financial year.

Original budget +/- approved budget changes in previous quarters = Revised Budget
 Revised Budget +/- recommended changes this quarter = Projected Year End Result

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/12/2017 and should be read in conjunction with the other sections in the QBRs. Recommended changes in this section are listed in section 2 of the QBRs Recommended Budget Variations.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

5. Budget Review Cash and Investments Position

\$'000	Original Budget 2017/2018	Approved Changes			Revised Budget	Recommended Changes for Council	Projected Year End Result	Actual YTD
		Carry Forwards	September Review	December Review				
External Restrictions - Included in Liabilities								
Specific Purpose Unexpended Loans - General Fund (1)	1,157		(50)		1,107	(220)	887	2,765
Specific Purpose Unexpended Loans - Water Fund (1)	3,884				3,884		3,884	4,832
External Restrictions - Included in Liabilities	5,041	-	(50)	-	4,991	(220)	4,771	7,596
External Restrictions								
<i>General Fund</i>								
Developer Contributions - General (2)	15,924	(45)	(415)		15,464	32	15,496	16,645
Specific Purpose Unexpended Grants (3)	1,963		-		1,963		1,963	1,219
<i>Water Fund</i>								
Developer Contributions - Water (2)	5,561		-		5,561		5,561	6,790
Specific Purpose Unexpended Grants - Water (3)	7		-		7		7	7
Water Supplies - Reserves (4)	6,882		(200)		6,682	431	7,113	9,004
<i>Sewer Funds</i>								
Developer Contributions - Sewer (2)	13,572		-		13,572		13,572	14,259
Specific Purpose Unexpended Grants - Sewer (3)	-		-		-		-	-
Sewerage Services - Reserves (4)	12,169		(220)		11,949		11,949	14,132
<i>Domestic Waste Management</i>								
Specific Purpose Unexpended Grants - Waste (3)	3		-		3		3	3
Domestic Waste Management - Reserves (4)	2,109		-		2,109		2,109	1,968
External Restrictions	58,190	(45)	(835)	-	57,310	463	57,773	64,027
Total Externally Restricted	63,231	(45)	(885)	-	62,301	243	62,544	71,623
Internal Restrictions - Waste Services								
Waste Services - Reserves	16,548		-		16,548		16,548	18,306
Waste Services - Internal Restrictions	3,358		-		3,358		3,358	3,558
Internal Restrictions - Waste Services	19,906	-	-	-	19,906	-	19,906	21,864
Internal Restrictions - Ordinary Services								
Corporate Services & Finance	362		-		362		362	2,826
Cultural & Community Services	306		-		306		306	1,180
Engineering Services	496		-		496		496	4,789
Environmental, Planning & Building Services	67		-		67		67	279
Internal Restrictions - Ordinary Services	1,230	-	-	-	1,230	-	1,230	9,074
Total Internally Restricted	21,136	-	-	-	21,136	-	21,136	30,938
Total Restricted	84,367	(45)	(885)	-	83,437	243	83,680	102,561
Total Cash and Investments	85,907	(45)	(885)	-	84,977	243	85,220	102,613
Available Cash	1,540	-	-	-	1,540	-	1,540	52

Investments

All funds have been invested in accordance with Council's investment policies, the Minister's Order dated 12th January 2011, the Local Government Act 1993, and associated regulations.

Cash

This Cash at Bank amount has been reconciled to Council's physical Bank Statements. The date of completion of this bank reconciliation is 31/12/2017.

"Cash" includes cash and funds held in Cash on Call accounts.

Reconciliation of Cash & Investments

The below reconciliation displays how the above mentioned funds are held and invested:

Cash	17,863
Short Term -Term Deposits	48,000
Long Term -Term Deposits	13,200
Tradeable Certificates of Deposits	3,000
Floating Rate Notes	20,550
Total Cash and Investments	102,613

Notes:

The **Available Cash** position excludes restricted funds. External restrictions are funds that must be spent for a specific purpose and cannot be used by council for general operations. Internal restrictions are funds that council has determined will be used for a specific future purpose.

- (1) Loans money must be applied for the purpose for which the loans were raised.
- (2) Development contributions which are not yet expended for the provision of services and amenities in accordance with contribution plans.
- (3) Grants which are not yet expended for the purpose for which the grants were obtained.
- (4) Water, Sewer & Domestic Waste Management are externally restricted assets and must be applied for the purpose for which they were raised.

Original budget +/- approved budget changes in previous quarters = Revised Budget

Revised Budget +/- recommended changes this quarter = Projected Year End Result

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/12/2017 and should be read in conjunction with the other sections in the QBRs. Recommended changes in this section are listed in section 2 of the QBRs Recommended Budget Variations.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

6. Budget Review Key Performance Indicators

	September		December		March		June		Prior Years		
	Amounts	Indicator	Amounts	Indicator	Amounts	Indicator	Amounts	Indicator	2017	2016	2015
1. Building & Infrastructure Renewal Ratio											
Asset Renewal [Building & Infrastructure]	776	13.08%	3,808	32.09%					47.65%	47.65%	84.95%
Depreciation, Amortisation & Impairment (Building & Infrastructure Assets)	5,933		11,867								

This section is still under development, with more KPI ratio's to be added.

Notes:

Capitalisation of Interest on unexpended loans is not calculated until the end of financial year, as it is assumed that all loan funds will be used in the period in which they are taken out.

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/12/2017 and should be read in conjunction with the other sections in the QBRS. Recommended changes in this section are listed in section 2 of the QBRS Recommended Budget Variations.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

7. Budget Review Contractors and Other Expenses Part A - Contractors Listing

Date	Order Number	Company	Contract details	Amount \$	Total Amount \$	Explanation (If not Budgeted)
3/10/2017	107111	GB Bathurst Pty Ltd	Supply Ford Everest On Road Charges	50,096.28 513.00	50,609.28	
3/10/2017	107112	AutoQuip Australia	New Maha Mbf7250 Roller Brake	81,950.00	81,950.00	
3/10/2017	107186	Downer EDI Works Pty Ltd	Profile And Resurface Approach To Eglinton Bridge Resurface Ac In Front Of Sludge Shed Waste Water	132,543.22 79,480.01	212,023.23	
4/10/2017	107216	Downer EDI Works Pty Ltd	Stabilise Heavy Patches On Lachlan Road Stabilise Heavy Patches On Triangle Flat Rd	40,079.47 38,041.64	78,121.11	
9/10/2017	107388	Group GSA Pty Ltd	Consultancy For Perthville Village Square	87,670.00	87,670.00	
13/10/2017	107611	Suez Recycling & Recovery Pty Ltd	Monthly Collection Rural Transfer Station Sofala	15,000.00	60,000.00	
			Monthly Collection Rural Transfer Station Rockley	15,000.00		
			Monthly Collection Rural Transfer Station Sunny	15,000.00		
			Monthly Collection Rural Transfer Station Trunkey	15,000.00		
17/10/2017	107709	Yeegah Events Trust (Challenge Bathurst)	Contribution To 2017 Challenge Bathurst	165,000.00	165,000.00	
18/10/2017	107766	Land & Property Information - DFSI	2017/2018 Valuation List Fees	129,500.00	129,500.00	
18/10/2017	107769	Abax Systems Pty Ltd	Library Refurbishment - Shelving	165,000.00	165,000.00	
20/10/2017	107914	Colas NSW Pty Ltd	Seal Heavy Patched On Triangle Flat Road	65,432.95	73,597.94	
			Seal Patches On Triangle Flat Rd	8,164.99		
20/10/2017	107915	Colas NSW Pty Ltd	Seal Patches On Lachlan Road	59,675.98	121,056.39	
			Seal Heavy Patches On Burraga Road	61,380.41		
31/10/2017	108332	Interflow Pty Ltd	Reine Package 1 Only - 3,4 And 5 Grades Fmcg16102	375,818.50	375,818.50	
2/11/2017	108424	Bustin Free Earthworks	1200mm diameter pipe and pits for Eglinton Trunk drainage	125,842.00	125,842.00	
2/11/2017	108469	WesTrac Equipment Pty Ltd	Cat12M Grader Tender 36.006650	435,173.20	435,173.20	
6/11/2017	108539	Colas NSW Pty Ltd	Seal Freemantle Road 18.7 To 20.5 Km	77,598.57	77,598.57	
6/11/2017	108610	Suez Recycling & Recovery Pty Ltd	Monthly Collection Rural Transfer Station October Sofala	15,000.00	60,000.00	
			Monthly Collection Rural Transfer Station Rockley	15,000.00		
			Monthly Collection Rural Transfer Station Sunny Co	15,000.00		
			Monthly Collection Rural Transfer Station Trunkey	15,000.00		
7/11/2017	108690	Abax Systems Pty Ltd	Balance For Library Refurbishment - Shelving/Furniture	258,750.00	258,750.00	
8/11/2017	108725	StateCover Mutual Limited	Workers Comp Second Instalment 30/6/17-30/6/18	215,919.09	215,919.09	
10/11/2017	108868	Mott Macdonald Australia Pty Ltd	Bathurst Water Supply Pressure Monitoring Jan - March	129,040.00	129,040.00	
20/11/2017	109142	GLN Planning Pty Ltd	Bathurst Urban Stormwater Management Section 94 Plan	110,611.00	110,611.00	
20/11/2017	109181	John Davis Motors Unit Trust	Supply Volvo S60My18 Polestar	69,990.00	69,990.00	
24/11/2017	109472	Extent Heritage P/L	Preparation Of Second Circuit ACHAR	95,948.60	95,948.60	
5/12/2017	109889	Colas NSW Pty Ltd	Seal Tarana Road From 17.43 To 19.3 Km	96,198.07	96,198.07	
6/12/2017	109936	Viadux Pty Ltd	Pipes And Fitting For Trunk Main Extension - Marsden Heights	70,540.79	70,540.79	
6/12/2017	109951	Renworx Pty Ltd	Sand Silt Drainage Works Field 1 Ashwood Park Rugby Union C	109,185.80	109,185.80	
12/12/2017	110134	Renworx Pty Ltd	Remediation Works Field No. 2 Hereford Street Rugby League	60,654.00	60,654.00	
14/12/2017	110309	Suez Recycling & Recovery Pty Ltd	Monthly Collection Rural Transfer Station November Sofala	15,000.00	60,000.00	
			Monthly Collection Rural Transfer Station Rockley	15,000.00		
			Monthly Collection Rural Transfer Station Sunny Co	15,000.00		
			Monthly Collection Rural Transfer Station Trunkey	15,000.00		

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

7. Budget Review Contractors and Other Expenses Part A - Contractors Listing

Date	Order Number	Company	Contract details	Amount \$	Total Amount \$	Explanation (if not Budgeted)
18/12/2017	110391	Hydrometric Consulting Services Pty Ltd	Supply And Installation Of Two River Gauges For WWWTW	70,026.00	70,026.00	
18/12/2017	110467	Office of State Revenue	Nsw Rural Fire Service 3rd instalment Nsw State Emergency Services 3rd instalment Fire & Rescue NSW 3rd instalment	98,156.75 16,565.00 101,772.00	216,493.75	
19/12/2017	110588	CAMS Limited	Permit Fee - Bathurst 12 Hour	57,840.00	57,840.00	
21/12/2017	110702	Downer EDI Works Pty Ltd	Stabilise And Seal Lee St Between Toronto St And Hampden P; Stabilise And Seal Hope St Between Russell And Keppel Street Stabilise Road Pavement Gormans Hill Road Between Gas Plar	69,104.49 73,301.59 103,505.03	245,911.11	
					4,166,068	

Notes:

1. Minimum reporting level is 1% of estimated income from continuing operations or \$50,000, whichever is the lesser.
2. Contractors to be listed are those entered into during the quarter.
3. Contracts for employment are not required to be included.
4. Where a contract for a service etc was not included in the budget, an explanation is to be given.
5. Above amounts are GST inclusive (where applicable).

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/12/2017 and should be read in conjunction with the other sections in the QBRS.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

7. Budget Review Contractors and Other Expenses Part B - Consultancy and Legal Expenses

Expense	Budgeted \$	Expenditure YTD \$
Consultancies	1,319,887	1,213,059
Engineering	467,861	632,936
Aboriginal Heritage Study Mt Panorama		297,955
Drinking Water Management System		142,810
Perthville Land Concept Study		79,063
Vegetation Management Plan for Parks		49,823
Centennial Park Feasibility Study		27,126
Freeman Circuit Playground		21,741
Winburndale Dam Studies		5,778
Other minor consultancies costs (Pool of cost under \$5,000)		8,640
Corporate Services and Finance	326,100	164,820
Inland Sea of Sound		35,550
HR Online Learning		32,383
HR Recruitment		27,475
Grant Applications		15,000
Asbestos Management Plan		14,450
HR Employee Assistance Program		14,250
Councillor Code of Conduct complaints		9,250
B2B		7,593
Bathurst Illumination		5,082
Other minor consultancies costs (Pool of cost under \$5,000)		3,788
Cultural & Community Services	88,505	26,695
Destination Management - Tourism Reference Group		19,202
Other minor consultancies costs (Pool of cost under \$5,000)		7,493
Development and Environmental Services	437,421	388,608
Stormwater Mgt Sec 94 Plans		102,231
Bathurst Open Space Study		91,667
Plan for upgrade Stewart/Durham St intersection		48,979
Environmental Roadside Vegetation Assessment		48,870
Heritage Advisory Grant		31,889
Bizweek		18,757
Brick Pits Wetlands Enhancement		14,330
State of Environment Reports		10,184
Environmental Energy Audits		9,387
Aboriginal Heritage Interpretation		7,350
Other minor consultancies costs (Pool of cost under \$5,000)		4,964

Explanation - Actual expenditure for the year is in line with Budget overall.

Aboriginal Heritage Studies for Mt Panorama have exceeded Budget with savings to be identified to off-set this.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

7. Budget Review Contractors and Other Expenses Part B - Consultancy and Legal Expenses

Expense	Budgeted \$	Expenditure YTD \$
External Legal Fees	274,200	229,607
Engineering	55,200	47,491
Property Acquisition for Roads		23,107
Sewer Services - Eglinton Village		15,101
Other minor legal costs (Pool of cost under \$5,000)		9,283
Corporate Services and Finance	177,000	151,138
Debt collection services		55,519
Standards Australia Copyright Fees		45,800
Corporate Services - General Legal Expenses		30,925
Other Land & Building lease preparation expenses		9,828
Legal costs - Sewer/Water rating		6,659
Other minor legal costs (Pool of cost under \$5,000)		2,407
Cultural & Community Services	4,800	3,853
Other minor legal costs (Pool of cost under \$5,000)		3,853
Development and Environmental Services	37,200	27,125
Legal costs - DA		21,285
Other minor legal costs (Pool of cost under \$5,000)		5,840

Explanation - Actual expenditure for the year is in line with Budget.

Notes:

Definition of consultant:

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision-making by management. Generally it is the advisory nature of the work that differentiates a consultant from other contractors.

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/12/2017 and should be read in conjunction with the other sections in the QBRS.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

8. Budget Review by Department in Funding Format

	2017/18 Original Budget	2017/18 Revised Budget	Dec YTD Actuals
Engineering			
Engineering Works			
Income	(14,922,684)	(21,139,017)	(8,220,835)
Expenditure	23,445,188	29,636,521	12,291,444
Engineering Works	8,522,504	8,497,504	4,070,609
Recreation			
Income	(6,862,684)	(6,595,050)	(1,616,849)
Expenditure	14,104,473	13,861,839	4,747,161
Recreation	7,241,789	7,266,789	3,130,313
Technical Services			
Income	(4,628,919)	(4,821,342)	(316,123)
Expenditure	6,781,872	6,974,295	2,043,459
Technical Services	2,152,953	2,152,953	1,727,336
Water			
Income	(20,465,993)	(32,706,953)	(11,967,860)
Expenditure	20,251,993	32,492,953	11,753,997
Water	(214,000)	(214,000)	(213,864)
Wastewater			
Income	(15,245,842)	(19,226,842)	(7,318,036)
Expenditure	15,037,742	19,018,742	7,111,889
Wastewater	(208,100)	(208,100)	(206,148)
Waste Management			
Income	(12,328,584)	(13,097,932)	(6,773,373)
Expenditure	12,328,584	13,097,932	6,773,373
Waste Management	0	0	0
Engineering Office			
Income	(3,078,944)	(3,078,944)	(1,333,230)
Expenditure	5,797,590	5,797,590	2,159,782
Engineering Office	2,718,646	2,718,646	826,552
Mount Panorama			
Income	(19,112,733)	(35,687,961)	(2,151,065)
Expenditure	20,338,681	36,913,909	3,902,399
Mount Panorama	1,225,948	1,225,948	1,751,334
Total Engineering	21,439,740	21,439,740	11,086,132

Notes:

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

8. Budget Review by Department in Funding Format

	2017/18 Original Budget	2017/18 Revised Budget	Dec YTD Actuals
Corporate Services and Finance			
Governance			
Income	(264,000)	(264,000)	(4,924)
Expenditure	1,195,861	1,195,861	487,746
Governance	931,861	931,861	482,821
Administration			
Income	(11,478,182)	(11,649,641)	(6,043,029)
Expenditure	16,972,140	17,237,785	8,618,542
Administration	5,493,958	5,588,144	2,575,513
Contribution to Other Organisations			
Income	(523,092)	(550,563)	(358,774)
Expenditure	1,588,692	1,616,163	917,967
Contribution to Other Organisations	1,065,600	1,065,600	559,193
Land & Buildings			
Income	(60,563,097)	(62,590,228)	(3,100,808)
Expenditure	53,361,323	55,388,454	3,082,966
Land & Buildings	(7,201,774)	(7,201,774)	(17,842)
Funding Operations			
Income	(42,833,700)	(42,961,345)	(15,972,343)
Expenditure	12,203,320	12,203,320	224,564
Funding Operations	(30,630,380)	(30,758,025)	(15,747,779)
Total Corporate Services and Finance	(30,340,735)	(30,374,194)	(12,148,093)

Notes:

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

8. Budget Review by Department in Funding Format

	2017/18 Original Budget	2017/18 Revised Budget	Dec YTD Actuals
Cultural & Community Services			
Community & Children Services			
Income	(3,695,018)	(3,239,538)	(1,473,887)
Expenditure	3,981,122	3,525,642	1,498,236
Community & Children Services	286,104	286,104	24,348
Cultural & Community Services Office			
Income	(66,936)	(187,367)	(21,694)
Expenditure	1,033,611	1,154,042	529,244
Cultural & Community Services Office	966,675	966,675	507,550
Library Services			
Income	(806,109)	(1,025,694)	(370,155)
Expenditure	2,126,213	2,345,798	1,160,878
Library Services	1,320,104	1,320,104	790,723
Tourism			
Income	(259,800)	(336,988)	(98,635)
Expenditure	1,000,892	1,078,080	380,120
Tourism	741,092	741,092	281,486
Art Galleries			
Income	(577,154)	(595,904)	(66,689)
Expenditure	1,478,342	1,497,092	680,137
Art Galleries	901,188	901,188	613,448
Entertainment Centres			
Income	(1,004,636)	(1,021,849)	(343,548)
Expenditure	1,848,467	1,865,680	851,463
Entertainment Centres	843,831	843,831	507,915
Museums			
Income	(1,967,127)	(2,020,598)	(539,824)
Expenditure	2,724,232	2,811,162	790,026
Museums	757,105	790,564	250,202
Destination Management			
Income	0	(41,411)	0
Expenditure	150,407	191,818	86,763
Destination Management	150,407	150,407	86,763
Total Cultural & Community Services	5,966,506	5,999,965	3,062,435

Notes:

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.

Bathurst Regional Council

Budget review for the quarter ended - 31 December 2017

8. Budget Review by Department in Funding Format

	2017/18 Original Budget	2017/18 Revised Budget	Dec YTD Actuals
Development and Environmental Services			
Environmental Services			
Income	(3,937,840)	(4,422,069)	(933,667)
Expenditure	4,518,680	5,017,909	1,062,894
Environmental Services	580,840	595,840	129,227
Planning Services			
Income	(531,464)	(574,966)	(120,064)
Expenditure	2,110,130	2,138,632	739,231
Planning Services	1,578,666	1,563,666	619,167
Building Services			
Income	(1,324,072)	(1,324,072)	(625,989)
Expenditure	1,633,650	1,633,650	790,205
Building Services	309,578	309,578	164,216
Economic Development			
Income	(21,000)	(57,615)	(30,103)
Expenditure	450,384	486,999	299,280
Economic Development	429,384	429,384	269,176
Total Development and Environmental Services	2,898,468	2,898,468	1,181,786
Grand Total	(36,021)	(36,021)	3,182,260

Notes:

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.

**2017-2018 Section 356 Donations
Report as at 31 January 2018**

Details	Reference	Date	Standard Annual Donations \$	Specific Donations \$	Sundry Donations \$	Mt Pan Fee Waived \$	BMEC Donations \$	TOTAL \$
Annual Budget Spent to date:			63,020.00	60,514.00	23,793.00	36,483.00	72,751.00	256,561.00
2BS Junior Sports Awards	Operation Plan	21/07/2017	-5,000.00					-5,000.00
Macquarie Philharmonia - Platinum Donation	Operation Plan	21/07/2017	-2,500.00					-2,500.00
Sofala & District AH&P Association	Operation Plan	21/07/2017	-350.00					-350.00
Sofala Progress Association	Operation Plan	21/07/2017	-2,000.00					-2,000.00
Bathurst Information and Neighbourhood Centre	Operation Plan	21/07/2017	-800.00					-800.00
Bathurst City & RSL Band Association Inc	Operation Plan	21/07/2017	-5,000.00					-5,000.00
Evans Arts Council	Operation Plan	21/07/2017	-2,770.00					-2,770.00
3rd Bathurst (All Saints Cathedral) Scout Group	Operation Plan	21/07/2017		-490.00				-490.00
Bathurst Refugee Support Group Inc	Operation Plan	21/07/2017		-3,000.00				-3,000.00
Bathurst Gardener's Club Inc.	Operation Plan	21/07/2017		-1,600.00				-1,600.00
Bathurst Early Childhood Intervention Service Inc.	Operation Plan	21/07/2017		-2,683.64				-2,683.64
National Serviceman's Association of Australia (NSAA)	Operation Plan	21/07/2017		-1,420.00				-1,420.00
The Allegri Singers	Operation Plan	21/07/2017		-2,000.00				-2,000.00
Quota International of Bathurst - QuoCKa reading	Operation Plan	21/07/2017		-1,000.00				-1,000.00
Miss Trail's House & Garden	Operation Plan	21/07/2017		-2,000.00				-2,000.00
Peel Residents Association Incorporated	Operation Plan	21/07/2017		-450.00				-450.00
Bathurst Seymour Centre Inc	Operation Plan	21/07/2017		-2,500.00				-2,500.00
Glenray Industries	Operation Plan	21/07/2017		-1,500.00				-1,500.00
Bathurst & District Poultry Society Inc	Operation Plan	21/07/2017		-3,000.00				-3,000.00
Holy Trinity Church - Parish of Kelso	Operation Plan	21/07/2017		-2,000.00				-2,000.00
Bathurst Arts Trail - Spring Spectacular	Operation Plan	21/07/2017		-1,000.00				-1,000.00
Hill End & Tambaroora Gathering Group	Operation Plan	21/07/2017		-400.00				-400.00
Bathurst Young Mob	Operation Plan	21/07/2017		-1,000.00				-1,000.00
Turon Art Group Sofala	Operation Plan	21/07/2017		-1,000.00				-1,000.00
Monkey Hill UHF Repeater	Operation Plan	21/07/2017	-800.00					-800.00
Bathurst Edgell Jog	Operation Plan	21/07/2017		-6,000.00				-6,000.00
Central Tablelands Woodcraft (CAOS)	DCS&F 19/07/17 Item 5	26/07/2017			-500.00			-500.00
WRAS Annual Subscription/donation	Operation Plan	31/07/2017	-2,255.00					-2,255.00
Denison College - Student Information Night	S356 Policy	1/08/2017					-555.82	-555.82
BMEC - CPSA July Meeting	Operation Plan	1/08/2017					-878.64	-878.64
School Maths Program	S356 Policy	1/08/2017					-237.55	-237.55
Challenge Community Services	DCS&F 19/07/17 Item 8	1/08/2017			-576.00			-576.00
City Colts Water Account	Operation Plan	23/08/2017	-1,357.04					-1,357.04
City Colts Rates	Operation Plan	23/08/2017	-2,605.44					-2,605.44
Bathurst Public School - Mid Year Concert	S356 Policy	31/08/2017					-1,779.18	-1,779.18
Mitchell Conservatorium Winter Showcase	Operation Plan	7/09/2017					-1,063.36	-1,063.36
BMEC - CPSA Aug Meeting	Operation Plan	7/09/2017					-1,082.05	-1,082.05
Home Modification Tip Fees	Operation Plan	5/10/2017	-76.27					-76.27
2018 District Probus Friendship Day	DCS&F 18/10/17 Item 6	26/10/2017			-1,000.00			-1,000.00
BMEC - Bathurst Eisteddfod	Operation Plan	26/10/2017					-30,000.00	-30,000.00
BMEC - Arts out West - Jimmy Little Gathering	S356 Policy	26/10/2017					-312.82	-312.82
BMEC - CPSA Aug Meeting	Operation Plan	26/10/2017					-606.36	-606.36
Home Modification Tip Fees	Operation Plan	7/11/2017	-188.00					-188.00
BMEC - CPSA Oct Meeting	Operation Plan	15/11/2017					-925.91	-925.91
BMEC - CPSA Nov Meeting	Operation Plan	15/11/2017					-935.00	-935.00
Mitchell Conservatorium - Band workshops	Operation Plan	15/11/2017					-288.36	-288.36
Meadow Flat Public School - presentation night	S356 Policy	15/11/2017			-60.00			-60.00
Bathurst West Public School - presentation night	S356 Policy	15/11/2017			-60.00			-60.00
Rockley Public School - presentation day	S356 Policy	15/11/2017			-60.00			-60.00
Accessible Living Options - International Day of People with Disability (IDPWD)	DCS&F 16/11/17 Item 8	29/11/2017			-1,485.00			-1,485.00
Bathurst City Mens Bowling Club - Carillon Fours	DCS&F 16/11/17 Item 7	29/11/2017			-1,000.00			-1,000.00
Panorama Long Track Committee - 2017 Australian Long Track Masters	DCS&F 18/10/17 Item 5f	30/11/2017			-3,000.00			-3,000.00
2017 Brock Commodore Owner's Association of Australia National Event	DCS&F 17/05/17 Item 5	30/11/2017				-1,749.00		-1,749.00
2017 Brock Commodore Owner's Association of Australia National Event	DCS&F 17/05/17 Item 5	30/11/2017				-902.73		-902.73
Home Modification Tip Fees	Operation Plan	7/12/2017	-22.00					-22.00
Mitchell Conservatorium - Band workshops	Operation Plan	7/12/2017					-432.55	-432.55
Eglinton Country Fair	DCS&F 13/12/17 Item 8	20/12/2017			-500.00			-500.00
Mitchell Conservatorium - LED screen for Carols by Candlelight	Operation Plan	20/12/2017					-3,300.00	-3,300.00
The Scots School - Blue, Black & Gold ball	S356 Policy	1/01/2018					-140.36	-140.36
BMEC - CPSA Dec Meeting	Operation Plan	1/01/2018					-1,061.82	-1,061.82
Bathurst Public School - presentation day	S356 Policy	1/01/2018					-193.64	-193.64
Carenne School - presentation day	S356 Policy	1/01/2018					-204.64	-204.64
The Scots School - presentation day	S356 Policy	1/01/2018					-433.45	-433.45
Bathurst Arts Council - Showcase Concert for the Youth Arts Awards	Operation Plan	1/01/2018					-1,090.91	-1,090.91
Home Modification Tip Fees	Operation Plan	17/01/2018	-63.64					-63.64
Amount Spent			-25,787.39	-33,043.64	-8,241.00	-2,651.73	-45,522.42	-115,246.18
Available Balance before commitments			37,232.61	27,470.36	15,552.00	33,831.27	27,228.58	141,314.82

**2017-2018 Section 356 Donations
Report as at 31 January 2018**

Details	Reference	Date	Standard Annual Donations \$	Specific Donations \$	Sundry Donations \$	Mt Pan Fee Waived \$	BMEC Donations \$	TOTAL \$
Committed:								
NAB B2B Cyclo Sportif	Operation Plan			-8,500.00				-8,500.00
Bathurst Remembers / AVAMS / Communications and Resources Project	Operation Plan			-5,000.00				-5,000.00
Bathurst AH&P Association	Operation Plan		-6,000.00					-6,000.00
City Colts Water Account	Operation Plan		-2,537.52					-2,537.52
CSU Foundation Trust (Gordon Bullock Scholarship)	Operation Plan		-3,000.00					-3,000.00
CSU Foundation Trust	Operation Plan		-5,000.00					-5,000.00
Sporting Assoc Grant	Operation Plan		-20,000.00					-20,000.00
Mitchell Conservatorium - BMEC Concerts	Operation Plan						-1,915.73	-1,915.73
BMEC - Bathurst Youth Council	Operation Plan						-2,000.00	-2,000.00
BMEC - CPSA Monthly Meetings	Operation Plan						-5,510.22	-5,510.22
Home Modification Tip Fees	Operation Plan		-650.09					-650.09
Bathurst Street & Custom Motorcycle Show	Operation Plan			-13,970.00				-13,970.00
Rotary Club of East Bathurst - RYDA	Operation Plan					-4,333.00		-4,333.00
BMEC - Bathurst District Historical Society wedding dress exhibition	Operation Plan						-11,551.00	-11,551.00
BMEC - Bathurst District Historical Society wedding dress exhibition	DCS&F 18/10/17 Item 5b						-2,541.75	-2,541.75
Austin Healey National Rally	DCS&F 15/03/17 Item 6				-1,500.00			-1,500.00
Rebellion on the Turon	DCS&F 19/07/17 Item 6				-500.00			-500.00
Lifeline CW - Soar Ride & Shine (in-kind support)	DCS&F 18/10/17 Item 5c				-10,000.00			-10,000.00
Lifeline CW - Soar Ride & Shine (traffic mgt)	DCS&F 18/10/17 Item 5c				-7,500.00			-7,500.00
GRIP Leadership	DCS&F 18/10/17 Item 5d						-331.60	-331.60
Amount Committed			-37,187.61	-27,470.00	-19,500.00	-4,333.00	-23,850.30	-112,340.91
Adjustment between Funds			-45.00	-0.36	3,948.00	-3,902.64		
Available Balance			0.00	0.00	0.00	25,595.63	3,378.28	28,973.91

Summary Remaining Budget	\$
Standard Annual Donations	0.00
Specified Donations	0.00
Sundry Donations	0.00
Mt Pan Fee Waived	25,595.63
BMEC Donations	3,378.28
Total Remaining	28,973.91

Summary	\$
Total Budget	256,561.00
Less: Amount Spent	-115,246.18
Less: Amount Committed	-112,340.91
Total Remaining	28,973.91



Hire of City Hall - Bathurst Memorial Entertainment Centre

Katherine Bodiczky

to:

council@bathurst.nsw.gov.au

18/12/2017 04:29 PM

Hide Details

From: Katherine Bodiczky <Katherine.Hodges@nswcc.org.au>

To: "council@bathurst.nsw.gov.au" <council@bathurst.nsw.gov.au>

1 Attachment



Stars of Bathurst venue request letter.docx

Good Afternoon,

My name is Katherine and I am a Community Relations Coordinator for Cancer Council NSW.

I am emailing you in regards to a charity event Cancer Council holds in Bathurst called Stars of Bathurst Dance For Cancer.

The event was held in June this year at Bathurst Memorial Entertainment Centre with an amazing turnout of 227 guests raising an incredible \$58,224 for cancer research, support, prevention and advocacy.

In order to make the event a success and keep the money raised in the community we rely on our generous sponsors.

For Stars of Bathurst Dance For Cancer 2018 we would like to grow the event and hope to see 300 people attend.

I am emailing you to ask for your consideration in sponsoring our event by providing free room hire for City Hall, along with waiving the ticket fee for selling our tickets.

Please find attached a sponsorship letter requesting your consideration for part or full sponsorship of the venue.

If you would like to discuss this with me further, please don't hesitate to contact me, as I would love to chat to you more in depth about the event.

I look forward to hearing from you.

Kind Regards,

Katherine Bodiczky | Community Relations Coordinator

Cancer Council Western NSW

a: Suite 4a, 122-124 Kite Street, Orange NSW 2800

p: (02) 6392 0800

e: Katherine.bodiczky@nswcc.org.au

w: www.cancercouncil.com.au

[WEB](#) | [FAN](#) | [TWEET](#) | [TUBE](#) | [INSTAGRAM](#)



Follow us [@cancercouncil_westernnsw](https://www.instagram.com/cancercouncil_westernnsw)

I acknowledge the Wiradjuri people, the traditional custodians of the lands on which I live and work, and pay my respects to the Elders both past and present.



(See attached file: Stars of Bathurst venue request letter.docx)



18 December 2018

David Sherley
 General Manager
 Bathurst Regional Council
 PMB 17
 Bathurst NSW 2795

Dear Board of Directors,

On behalf of Cancer Council NSW, I would like to invite you to be a part of our fantastic and fun community fundraising initiative – Stars Of Bathurst Dance For Cancer!

Cancer Council NSW is hoping for your support in the donation of hire for City Hall, Bathurst Memorial Entertainment Centre as well as waiving the ticket fee for selling the tickets for our event.

The Concept

Stars Of Bathurst: Dance For Cancer is a gala fundraising event for Cancer Council NSW. This is an exciting event for the local Bathurst Community where high profile locals and dancers entertain in the name of charity.

In June 2017, we saw 9 local stars perform to a crowd of 227 guests while raising a wonderful \$58,224 in vital funds for Cancer Council NSW. In 2018, we are aiming for an audience of 300 people to help raise funds for research, support services, education, advocacy and prevention programs.

We are inviting local organisations, such as yours, to lend their support to the success of the event; Help Cancer Council NSW and the community in their fight to defeat cancer.

Benefits in participating

- Promotion of your organisation in a fresh new way
- Recognition on the night for your generous support and involvement
- Creating awareness of your commitment within the local community and to the fight against cancer

The Cause

Cancer Council NSW is a non-government funded organisation and being 97% community funded, relies on fundraising, partnerships and generosity of the community to continue the fight against cancer. As such, we appreciate your consideration at being a part of this event; the free hire of City Hall and no fee for ticket sales would be critical to the success of the event.

We look forward to hearing from you, and if you would like more information about Stars Of Bathurst Dance For Cancer, please do not hesitate to contact me.

Kind Regards,

Katherine Bodiczky
 Community Relations Coordinator | Cancer Council NSW Orange Regional Office | p: 6392 0800
 e: katherine.hodges@nswcc.org.au
 Suite 4A, 122-124 Kite Street, PO Box 1977, Orange NSW 2800

**DIRECTOR CULTURAL & COMMUNITY SERVICES' REPORT -
ATTACHMENTS**

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

21 FEBRUARY 2018

**MINUTES OF THE TOURISM REFERENCE GROUP MEETING HELD
AT 5.30PM MONDAY 18 DECEMBER 2017**

PRESENT: Cr Graeme Hanger OAM (Chair), Hannah Madden, Christine Le Fevre, Gerarda Mader, Tony McBurney, Ray Pickard, Shawn Pyne, Fran White, Mark Renzaglia, Christopher Morgan, Alan Cattermole (Director Cultural & Community Services), Lucy White (Destination Development Manager).

IN ATTENDANCE: Dan Cove (Bathurst Visitor Information Centre Manager)

1. APOLOGIES

RESOLVED that the apologies from Fiona McWilliam be accepted.

MOVED: Christine Le Fevre **SECONDED:** Shawn Pine

2. PREVIOUS MINUTES

RESOLVED that the minutes from the previous meeting held on 29 November 2017 as a true record of the meeting, noting the spelling of Gerarda Mader.

MOVED: Ray Pickard **SECONDED:** Fran White

3. DECLARATIONS OF INTEREST

RESOLVED that there were no declarations of interest tabled at the meeting.

MOVED: Mark Renzaglia **SECONDED:** Ray Pickard

4. EVENTS STRATEGY

Hannah Welch, Manager Events was in attendance to seek input and feedback from the Tourism Reference Group to inform a new Events Strategy for council. Given the growth in the investment and resources in events since 2015, Council has identified a need to develop a strategy which will help to drive tourism and contribute to the liveability of Bathurst.

Members of the group provided feedback as requested and Hannah noted the comments and suggestions accordingly.

Hannah Welch left the meeting at 6.15pm

5. DESTINATION DEVELOPMENT MANAGER REPORT

The Destination Development Manager provided a verbal update on the outcome of the council decision at their meeting on 13 December 2017, following consideration of a report which addressed the process of the brand creation:

- (a) Note the community's planned future input in contributing to the creative elements within the context of the brand strategy
- (b) Receive quarterly destination brand strategy implementation progress reports, outlining the performance monitoring data as described in the report
- (c) Resolve on logo Option1 and tagline Option 2 as outlined in the report.

**MINUTES OF THE TOURISM REFERENCE GROUP MEETING HELD
AT 5.30PM MONDAY 18 DECEMBER 2017**



Lucy White thanked members of the TRG for their unwavering support throughout the past few months.

RESOLVED that the report provided by the Destination Development Manager be noted.

MOVED: Ray Pickard

SECONDED: Fran White

6. GENERAL BUSINESS

- (a) Campaign measurement – Gerarda Mader sought information on the type of metrics that would be applied to measuring the success of marketing campaigns and examples were given.
- (b) Heritage Network Fran White noted the need for improved product development in the region and offered the input and assistance from the the heritage network personnel.
- (c) Signage – Tony McBurney raised the issue of in general signage, which was discussed, and it was noted that the new Bathurst Signage Strategy has been on hold pending the finalisation of a new destination brand. Fran White noted that the issue of a need to address ‘temporary signage’ could be addressed in the DCP (Development Control Plan).
- (d) Acknowledgement of staff – Fran White acknowledged the professionalism of the staff Lucy White and Daniel Cove during the recent brand development phase.
- (e) 50th Anniversary Abercrombie House – Christopher Morgan noted that 2018 will mark the 50th anniversary of Abercrombie House, commemorating it as the first private home to be open to the public. There will be appropriate events and celebrations to acknowledge this milestone.
- (f) Interpretive signage Kings Parade - Cr Hanger mentioned the new signs in the bus stop and the precinct of Kings Parade and recommended all to experience these.
- (g) Public Art Policy Development – Alan Cattermole advised that council will be undertaking consultation to inform a new Public Art Policy during March – April 2018 and this project will be led by Sarah Gurich BRAG.
- (h) Monthly Band Nights – Alan Cattermole advised that BMEC will host Friday night live music gigs on a monthly basis from February 2018. There will be a focus on local talent, with food and bar service available. The events are pitched at the 22 – 35 year old market and the inaugural gig will feature local duo Smith and Jones.

**MINUTES OF THE TOURISM REFERENCE GROUP MEETING HELD
AT 5.30PM MONDAY 18 DECEMBER 2017**

- (i) Art State 2018 – Bathurst will host a 4 day arts festival in November and the event is expected to attract 300 – 400 delegates. Adam Deusien will curate the festival activities. Adam is a director and physical theatre maker who directed the inaugural Art State festival programme in Lismore NSW.

7. NEXT MEETING

The Tourism Reference Group **NOTED** the next meeting is on Monday 5 February 2018 at Bathurst Visitor Information Centre.

Please note that in 2018, all Tourism Reference Group meetings will be held at the Bathurst Visitor Information Centre unless otherwise advised.

There being no further business the meeting was closed at 6.40pm.

2018 BATHURST MUSEUM SELFIE DAY



Museum Selfie Day is an international event celebrated by hundreds of museums and art galleries across the world. This year Bathurst Regional Council's Museums' Unit co-ordinated the open day as an opportunity to showcase the Museums of Bathurst and offered free entry into the Australian Fossil & Mineral Museum, Chifley Home, the National Motor Racing Museum, the Bathurst & District Historical Society Museum along with the Bathurst Regional Art Gallery.

The event took place on Wednesday 17 January 2018 with a visitation of 1,800 people through the doors of the museums and gallery.

Feedback was overwhelmingly positive with comments such as

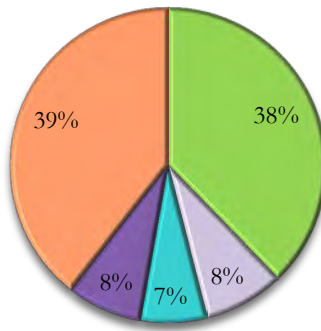
I can't believe I have never been here before. We will be back!
 Was a great day yesterday visiting all 5 selfie day museums in Bathurst
 What a fun morning!!!
 What a great day today visiting all of Bathurst's finest places!!.
 Thank you! The kids had a fantastic time

Thank you so much we had such a fun day and really enjoyed seeing the museums.
 We were visiting relatives. We have a house in Bathurst and are planning to come back to live in September which we are really looking forward to. We look forward to coming back to Bathurst and being part of such a great community.

The participants were asked to complete a brief survey on their experience. 319 people completed the survey with the results shown below.

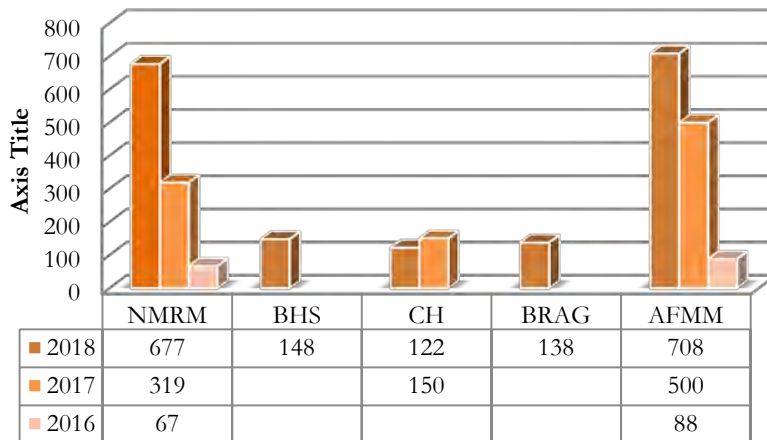
Selfie Day total visitation 2018

■ NMRM ■ BHS ■ CH ■ BRAG ■ AFMM



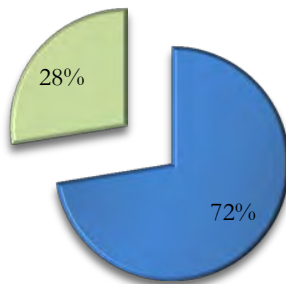
NMRM	679
BHS	146
CH	126
BRAG	140
AFMM	709
Total	1800

Visitation comparison 2016-2018



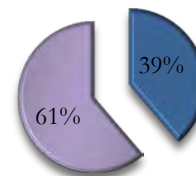
Postcode

■ 2795 ■ other

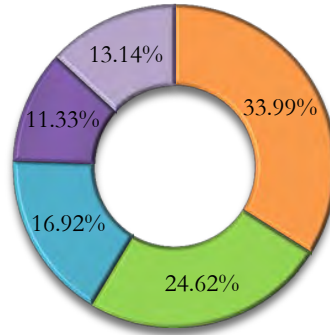


Percentage of visitors surveyed

■ male ■ female

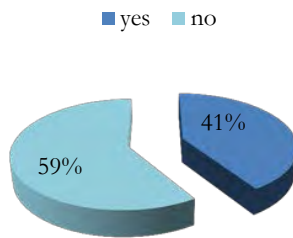


Do you intend to visit another museum today?

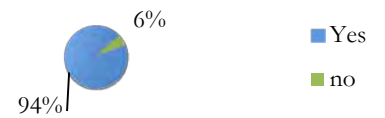


AFMM NMRM CH BRAG BHS

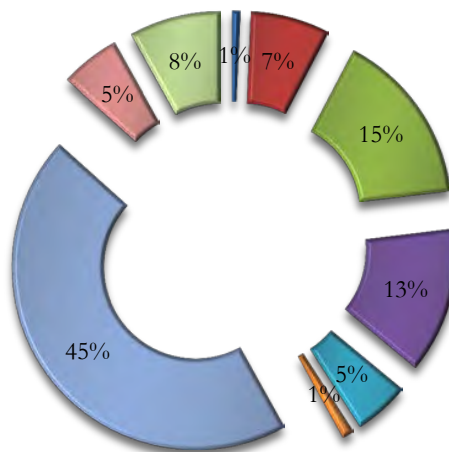
Have you been to this museum before?



Are you here for Selfie Day?



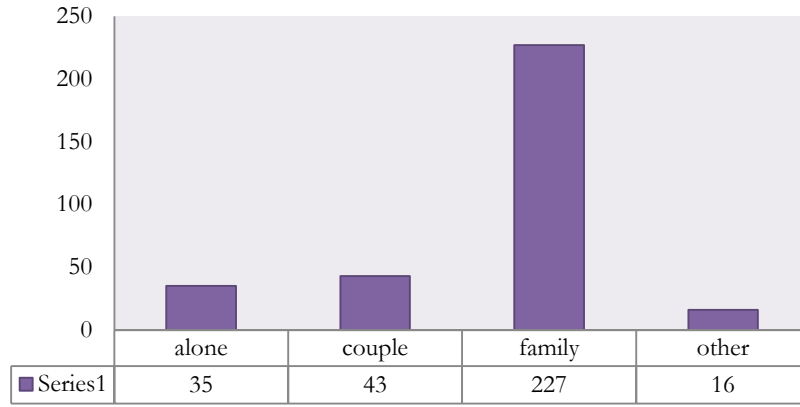
How did you hear about Selfie Day?



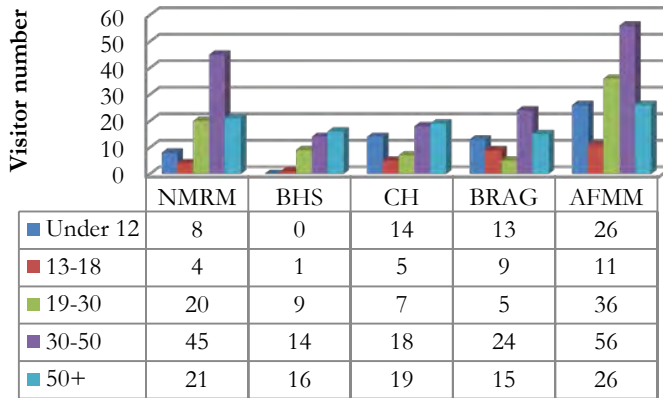
TV
WWW
Word of Mouth
Newspaper
Radio
BVIC
Facebook
Other Museum
Signage

63
87
112
75
225

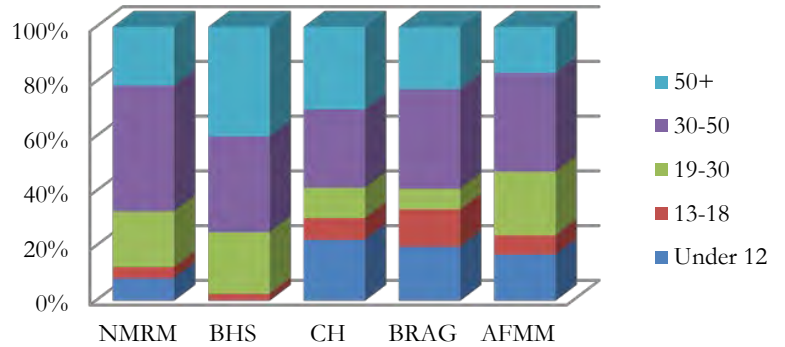
Who did you come to the museum with?



Visitor Age Groups



Visitor age as a percentage of visitation for each venue





David Sherley, General Manager
Bathurst Regional Council
david.sherley@bathurst.nsw.gov.au

31st January 2018

Dear Mr Sherley,

RE: The End Festival 2018, Partnership Opportunity

NSW National Parks and Wildlife Service (NPWS) presents Bathurst Regional Council (BRC) with the opportunity to again become a program partner of The End Festival 2018, an event to be staged for a third year at Hill End Historic Site from Friday 20 to Sunday 22 April 2018.

The inaugural festival ran in April 2016 and met its high-level objective of driving tourism with approximately 5000 people recorded in the village over the event period when usual visitation would have been far lower.

The 2017 event saw an expanded program with financial and in-kind support received by BRC. Visitation was increased up to 6000 people over the festival weekend.

The End Festival has evolved as a unique and charismatic regional event which appeals to those looking for a multi night arts/culture/entertainment based social experience in a location which has a genuine sense of place.

Bathurst Regional Council – Program Partnership Results from 2017

The investment of \$5000 from BRC to the program contributed to a site-specific art installation by Sally Kidall, sponsored prizes for the 'Digging for Gold' talent quest and fee payment for Bathurst based musician, Sophie Jones who curated the local music program. These features expanded the program content and the attraction of the event to visitors.

'Digging for Gold' entrants were mostly young musicians from the Bathurst area who took part in the opportunity to perform in front of a large audience. Lily Margilio won the first prize which was presented by Bathurst Mayor, Graeme Hanger.

Lily has been booked to perform the opening set on the Golden Age Stage for The End Festival in 2018. The investment from Bathurst Council has directly attributed to the development of young artists in the region.

2017 End Festival Results

A survey was conducted with 150 respondents, during and post event, to evaluate customer satisfaction and establish a profile of the visitors to the event.

The results give a clear indicator of the economic benefits that the two-night, two-day event brings for Hill End and for the wider Central West region.

Survey Results

Visitation:

- 37% of visitors from Sydney
- 22% 1st visit to Hill End.
- 57% indicated it was the main reason for their visit to the Central West.

Spend and stay in region:

Estimated 13,000 nights spent in Central West region.

- 17% spent 1 night in the area.
- 35% spent 2 nights in the area.
- 17% spent 3 nights in the area.
- 20% spent 5 nights or more.
- Spend in region could have generated up to \$2.5 million (based on National Visitor Survey method)

The End Festival 2018 – Program Partner Opportunity

In 2018, NPWS will grow the program and audience for the event, and seeks Bathurst Regional Council's assistance, as a program partner to again help achieve this.

The event aims to attract 6000 people from the surrounding and metro areas to Hill End over the festival weekend.

This will benefit Hill End as well as the Bathurst region through the increased visitation, generating economic returns and stimulating repeat visitation through media coverage and word-of-mouth.

This will also assist BRC in developing actions as outlined in the Bathurst Regional Destination Management Plan 2015 of increased visitation and longer length of stay in the region. Most notably to action 7.5.3 - To support the villages to develop as a 'product', with Hill End noted as one of the precincts that has the most potential for developing into an appealing place for visitors.

NPWS, in supporting the development and growth of the event, will also achieve the state priority of 'Increasing cultural participation'. This state priority links to a number of BRC priorities including 'To protect the region's unique heritage and history', 'To encourage living, vibrant and growing villages and rural settlements' and 'To provide a range of cultural facilities and to support and enhance cultural and social activities across the community'.

Therefore, we believe this partnership will benefit both NPWS and BRC, assisting us to succeed in state and organisational priorities.

Partnership Role

NPWS propose that a financial contribution of up to **\$10,000** from BRC to increase the program content and marketing reach would form the basis of the partnership.

The additional funds that BRC would contribute will pay for additional programming and marketing reach to extend what can be achieved with the current NPWS allocated budget.

The more content that is included, the more marketable the event is and the more visitors it will attract to the region.

This contribution will fund the following program content from individuals or groups from the Bathurst LGA.

- Installation or sites specific artwork from local artists.
- Sponsoring prizes in the 'Digging for Gold' talent quest.
- Fee payment to local musicians performing on the outdoor stage.

BRC would pay the selected artist or business directly.

Marketing support would include using council owned media and community networks to promote the event as well as paid advertising. This may be:

- Promoted Facebook posts
- Advertising in local print and television networks.

Benefits to BRC Partnership with NPWS

The benefits to BRC in entering into a partnership with NPWS to support The End Festival 2018 for funding includes the following.

- Bathurst Regional Council would be listed as the program partner on printed collateral and online channels with logo recognition.
- \$10,000 NPWS marketing budget dedicated to the event: digital campaign (paid Facebook campaign) and offline advertising (print, radio TV etc.)
- Exposure for BRC's support of Hill End on our social media channels: Facebook page has 127,749 followers. (Jan 2018)
- Exposure for BRC's support of Hill End through our EDMs – Naturescapes (consumer EDM 45K)
- Exposure for BRC's support of Hill End on the marketing collateral – flyers and programs
- Opportunity for a speech at event and invitation for a guided tour of the festival to Mayor and Councillors.

These opportunities can be negotiated between council and NPWS marketing staff depending on what BRC views as the most beneficial outcome.

If you have any queries or comments about the document, please feel free to contact me via email at lauren.hiller@environment.nsw.gov.au or via phone, 02 9585 6600.

Attached to this letter is a presentation that details results from The End Festival 2017 and a program overview for The End in 2018.

In order to progress the program content for 2018, we require your decision on your commitment to this partnership by 22 February 2018.

I look forward to hearing back from you and working with Council to transform this iconic historic village into a thriving cultural destination that supports the Bathurst Region visitor economy.

Yours sincerely,



Lauren Hiller,

Team Leader, Events

Visitor Experience Branch, Park Programs

Office of Environment and Heritage, NSW National Parks and Wildlife Service.

4 2017 THE END FESTIVAL, HILL END (22-23 APRIL 2017) (23.00026)

Recommendation: That the information be noted.

Report: The second annual 'The End Festival' was presented by National Parks & Wildlife Service (NPWS) in the historic village of Hill End on 22 – 23 April following the inaugural festival in April 2016. Financial support of \$5,000 was provided by Bathurst Regional Council (Director Corporate Services & Finance Report #8 to Council 16 November 2016) as the official Program Partner. Council also provided in-kind marketing support. The event was delivered by the Visitor Experience Branch and Park Management – Northern Inland.

The objective of the event, and the rationale for making a financial contribution to the festival, was to expose Hill End to a wider, more targeted tourism market.

This objective is aligned to Strategic Objective 7.5 in the Destination Management Plan:

Leading success: Council will enable growth by leveraging its assets

7.5.3 Place Planning and Promotion:

The precincts that have the most potential for developing into appealing to places for visitors include:

- *Villages (in particular Rockley, Sofala and Hill End)*

The festival met the objective of increasing visitation to Hill End, with approximately 6,000 people recorded in the village during the event period. This was an increase of 15% on the 2016 event. All accommodation was at capacity and pre-booked some months prior to the event. The level of occupancy of the National Parks & Wildlife Service (NPWS) campgrounds was at capacity with 1,000 campers, almost double the number during the 2016 event.

The \$5,000 contribution was split across three key elements of the festival:

1. Sydney Hotel – an art installation 'A Fortunate Life' by Sally Kidall. Sally participated in the Artist in Residence Program at Hill End in February 2017 and conceived the work during this residency.
2. The Golden Age Stage – fees for local performing artists to compete on the outdoor stage over the two day festival.
3. Sponsorship of prizes for the 'Digging for Gold' competition associated with the Golden Age Stage.

Surveys were conducted on-site and post event through email and social media and these are outlined below:

Visitation

- 6,000 visitors attended the event over 2 days
- 37% of visitors from Sydney and surrounds
- 22% reported that this was their first visit to Hill End

Spend and stay in the region

Estimated 13,000 nights spent in Central West region.

- 17% spent 1 night in the area
- 35% spent 2 nights in the area
- 17% spent 3 nights in the area

- 20% spent 5 nights or more
- Spend in region calculated (NPWS) to \$2.5million (National Visitor Survey method)

Destination

- Found out about a new destination: 65%
- Appreciate history and heritage: 86%
- Open eyes to art and culture of the area: 81%

Marketing

- 12 media articles - lifestyle and local media
- \$100,923 editorial equivalent value
- Social media 224,973 reach
- Free listings, syndication, partnerships
- Information on The End event was distributed to various partners, placed on free listings and provided to the artists participating in the event. As a result, The End was mentioned or listed in eventfinda, aroundyou, syndicated to Australian Tourism Data Warehouse (ATDW), Visit NSW, Australia Tourism Guide, included on Council's and Mudgee Region Tourism websites and shared on a range of social media platforms.

Approximately 65 event posters and 500 festival programs were distributed regionally. All print collateral displayed council's logo and acknowledgement as Program Partner and were distributed through.

- Visitor and Information Centres in Lithgow, Bathurst and Mudgee.
- Katoomba Cultural Centre
- Cafes and shops in Leura, Rylstone, Katoomba, Blackheath, Lithgow and Bathurst
- Various places in Kandos (during the 4 days Cementa17 Arts Festival)
- Bathurst Regional Council, Mudgee Tourism

A copy of the festival program can be found at [attachment 1](#).

Financial Implications: Funding for this item is contained within existing budgets.

Bathurst 2036 Community Strategic Plan - Objectives and Strategies

- Objective 4: To market Bathurst as a great place to live, work, study, invest and play. Strategy 4.1, 4.6, 4.8
- Objective 11: To protect the region's unique heritage and history. To protect a unique identity. Strategy 11.6

The End

Hill End's festival of arts,
culture and heritage

21–23 April 2017



Program

Visit nationalparks.nsw.gov.au/the-end

Program partner:



The Royal Hall

Friday, 21 April

7pm | The Beginning of 'The End',
\$35 per person + Booking Fee



Book tickets through moshtix

Saturday, 22 April

7:30pm | Man of Constant Sorrow
\$20 + Booking Fee

9pm | Cabaret Sasquatch
\$20 + Booking Fee



Book tickets through moshtix

The Golden Age Garden

Sat 22, 11am–10pm

Sun 23, 10am–4pm

Craft beer and wine from the Bathurst, Mudgee and Orange areas and delicious regional food ranging from wood-fired pizza to grazing plates and crepes.



The Golden Age Stage

Saturday, 22 April

11.30am	If Two By Sea
12.30pm	Phil and Trudy Edgley
1.30pm	Smith & Jones
2.30pm	The Green Mohair Suits
3.30pm	Digging For Gold – Talent quest variety show
4.30pm	All Our Exes Live In Texas
5.30pm	The Morrisons
6.30pm	The Sweet Jelly Rolls
8.00pm	Andy Nelson



Sunday, 23 April

11am	Phil Blatch
12pm	Safety of Life At Sea
1pm	Sunny and the Dark Corners
2pm	Lime and Steel



Art

Sydney Hotel - A Fortunate Life Art installation by Sally Kidall

This work investigates the psychology of gold fever while reflecting our modern day society's addiction to over consumption and the impacts on our natural resources.

Sally conceived this work participating in the Hill End Artists in Residence Program in February 2017.

Sponsored by:



Hosies

Alby & Esther's pop-up coffee house + wine bar

Serving coffee, cocktails, sweet treats, local wines, beer, hearty meals & our famous jaffles.

The End Games

Old and young can take part in vintage games hosted by The Deep Sea Astronauts.

Expect tug o' war battles and gold nugget hunts.

Rare Trades

Artisans working in traditional practices with natural materials will be demonstrating age old techniques and selling their original works. See scythe farming techniques, the making of straw marquetry furniture, and displays of leather work, weaving, spinning and wood carving.

Take part in wooden spoon carving workshops by the Spoon Smith Jeff Donne.

Spoon workshops:

Saturday 22, at 11am and 3pm

Sunday 23, at 10am

Visit www.spoonsmith.com.au/ for bookings and payments.

The End Village Market

Regional produce from Central NSW will be on offer including bread and cheeses, nuts, honey, jams and cakes.

Art

Corner Store - *A Storm At Sea* Art installation by Kim Deacon

Hill End based musician, performer and artist Kim Deacon presents an installation based on the shipboard diary of Mary Maclean, a Scottish immigrant who settled in Hill End in the 1870s.

A Storm at Sea will recreate the steerage accommodation of Mary Maclean through film, narrative and a soundscape featuring the wind harp.

Sacred Heart Catholic Church

Gold Record: Images from the B.O. Holtermann Collection

In 1953 a remarkable collection of 3,500 wet plate negatives was discovered in a garage in suburban Sydney. Known as the Holtermann Collection, these images give a rare insight into life on the goldfields of Hill End in the 1870s.

A Bathurst Regional Art Gallery exhibition

Great Western Store

Tin Types, an introduction to wet plate photography

Known as 'wet plate collodion', this is the technique used by Beaufoy Merlin in the creation of the Holtermann Collection of Gold Rush portraits from the 1870s.

Take part in these free, hour long demonstrations with Hill End artist, Bill Mosely.

Demonstrations:

Saturday 22, at 11am and 3pm

Sunday 23, at 10am and 2pm

Contact info@hillendpress.com.au for more information.

Performance

A one-off musical performance in the Sacred Heart Catholic Church

'Hill End Second Interlude' by Kim Deacon and Robyn Stokoe Godfrey. Featuring voice, harp, and cello.

Sunday 23,
11:30am start

Published by
NSW National Parks and Wildlife Service
Level 14, 59–61 Goulburn Street
Sydney NSW 2000

PO Box A290
Sydney South NSW 1232

Phone: 13000 PARKS (13000 72757)
Fax: 9585 6831

parks.info@environment.nsw.gov.au
www.nationalparks.nsw.gov.au
www.facebook.com/NSW/NationalParks

Featured photography provided by entertainers.

March 2017
OEH 2017/0145

MINUTE

- 35 Item 4 2017 THE END FESTIVAL, HILL END (22-23 APRIL 2017) (23.00026)
MOVED: Cr M Morse SECONDED: Cr W Aubin

RESOLVED: That the information be noted.

Yours faithfully



Alan Cattermole
DIRECTOR
CULTURAL & COMMUNITY SERVICES