

ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

8 April 2020

His Worship the Mayor & Councillors

**Notice of Ordinary Meeting of Bathurst Regional Council – Wednesday
15 April 2020**

I have to advise that an Ordinary Meeting of Bathurst Regional Council will be held in the Council Chambers on Wednesday 15 April 2020 commencing at 6:00 pm.



D J Sherley
GENERAL MANAGER

**MINUTES OF
ORDINARY MEETING OF BATHURST REGIONAL COUNCIL
TO BE HELD ON WEDNESDAY 15 APRIL 2020**

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1 RECORDING OF MEETINGS

2 MEETING COMMENCES

MINUTE

Meeting commenced at 6.00pm.

Present: Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse , Cr I North, Cr J Rudge

3 PRAYER AND ACKNOWLEDGEMENT OF COUNTRY

4 APOLOGIES

4.1 APOLOGIES

MINUTE

MOVED: Cr I North SECONDED: Cr J Fry

RESOLVED:

Nil

5 MINUTES

5.1 CONFIRMATION OF MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD 18 MARCH 2020

File No: 11.00005

RECOMMENDATION:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 18 March 2020 be adopted.

REPORT:

The Minutes of the Ordinary Meeting of Bathurst Regional Council held on 18 March 2020 are **attached**.

FINANCIAL IMPLICATIONS:

N/A

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. 180320 Ordinary Minutes [5.1.1 - 14 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-76

MOVED: Cr W Aubin SECONDED: Cr J Jennings

RESOLVED:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 18 March 2020 be adopted.

5.2 CONFIRMATION OF MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD 1 APRIL 2020

File No: 11.00005

RECOMMENDATION:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 1 April 2020 be adopted.

REPORT:

The Minutes of the Ordinary Meeting of Bathurst Regional Council held on 1 April 2020 are attached.

FINANCIAL IMPLICATIONS:

N/A

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Minutes - Ordinary Meeting of Council held 1 April 2020 [5.2.1 - 3 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-77

MOVED: Cr W Aubin SECONDED: Cr I North

RESOLVED:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 1 April 2020 be adopted.

6 DECLARATION OF INTEREST

Declaration of Interest

To assist the Councillors and committee members in their correct consideration of business before the meeting, please give consideration to Part 4 and Part 5 of the Council Code of Conduct, in relation to Declaration of Interest at meetings.

MINUTE

RESOLUTION NUMBER: ORD2020-78

MOVED: Cr J Rudge SECONDED: Cr J Jennings

RESOLVED: That the Declaration of Interest be noted.

Nil

7 MAYORAL MINUTE

7.1 COVID-19 BUSINESS AND COMMUNITY - STIMULUS MEASURES

File No: 14.00764, 16.00179

RECOMMENDATION:

That Council:

1. Notes the actions taken to date, and
2. In accordance with Section 356 of the Local Government Act 1993, place on public notice for a period of at least 28 days, Council's proposal to pass a resolution at the May Ordinary Meeting granting the following financial assistance:
 - (a) The waiving of User Fees and Charges Outdoor dining fees (General Fund 0440) from 1 March 2020 to 31 December 2020;
 - (b) The waiving of Health Inspection Fees Food/General (General Fund 0431) from 1 March 2020 to 31 December 2020;
 - (c) The waiving of Health Inspection Fees Skin/Hairdressing (General Fund 1787)

from 1 March 2020 to 31 December 2020;

- (d) The waiving of Health Inspection Fees Bed and Breakfast (General Fund 1788) from 1 March 2020 to 31 December 2020;
- (e) The waiving of Health Inspection Fees Temporary/Mobile food outlets (General Fund 8319) from 1 March 2020 to 31 December 2020;
- (f) The waiving of Health Inspection Food Act Administration Fee - annual (General Fund 0435) for the period of 1 July 2020 to 31 December 2020;
- (g) The waiving of Parks and Gardens Active Spaces Community Groups User Fees for 2020 as follows:

Group/Club	Fees
Bathurst Rugby Club	\$7,507
Bathurst Panthers RLFC	\$10,334
Bathurst Netball Association	\$3,837
Bathurst Bushrangers ARFC	\$1,057
Bathurst Giants ARFC	\$1,057
Bathurst District Football	\$14,198
Bathurst Hockey Association	\$5,495
St Pats RLFC	\$10,334
TOTAL	\$53,819

- (h) The waiving of Trade Waste inspection charges (Sewer Fund 0100) for the period 1 March 2020 to 31 December 2020.
 - (i) The waiving of Annual Membership Fees for the Tourism Partnership Program (General Fund 0314) for the 2020/2021 financial year.
 - (j) The increase to 10% preference for Bathurst Region suppliers as detailed in Council's Local Procurement policy, with the increase remaining up to 30 June 2021.
 - (k) The deferral of Section 7:11 (Environmental Planning & Assessment Act 1979) contributions until the completion of the development including the waiving of the Administration Fee, but prior to the issue of an Occupation Certificate in the case of building work, or twelve months from the issue of the notice of determination, whichever occurs first. Being for applications lodged between 1 July 2020 and 30 June 2021.
 - (l) A 50% reduction in Development Application fees be applied for the 2020/2021 financial year.
 - (m) A 50% reduction in Development Application Modification Fees (0414), Subdivision Application Fees (0415), Development Application Sub Division release fees (0416), Development Application Advertising Fees (0423), Section 68 Approvals Fees (0549), and Section 68 Approval to Operate Fees (0550), be applied for the 2020/2021 financial year.
3. Adopt the funding sources for the stimulus measures as proposed and contained in the report at Section 5 (Recovery Saving).

4. Call a Division.

BACKGROUND:

I have asked the General Manager to provide me with a comprehensive review of the impacts of COVID-19 on Council's operation. I am confident there are measures Council can take to ease the burden on local business to sustain the local economy during this crisis and help rebuild after it is over. I will look at organising a Working Party with Councillors in the future, to further develop Bathurst Regional Council's responses to the COVID-19 crisis.

REPORT:

The COVID-19 pandemic is creating significant issues for ratepayers, residents and businesses, as well as the Council. This is occurring in a climate post bushfires and the ongoing severe drought and extreme water restrictions. The impact of these occurrences are short term, but also medium to long term. Council has initially responded to the pandemic, by ensuring the ongoing provision (face to face where practicable) of services to the community, in particular, water, sewer, waste, finance (including creditors), health & building, planning, engineering and childcare, and where able to do so, provision of services by alternative methods such as library, art gallery and museum services.

The following report details some of the actions taken and proposed additional assistance by Council to help the community through these times. It is essential that any measures introduced are manageable and **do not put the Council into an unsustainable situation**. With respect to Council fees/charges, recommendations are contained within the report to provide some relief to businesses. For a number of these, 1 March 2020 is utilised as a starting date, as this generally aligns with the closedown of business by government orders/recommendations. Relevant legislation includes the; COVID-19 Legislation Amendment (Emergency Measures) Bill 2020 and the Public Health (COVID-19 Places of Social Gathering) Order 2020.

The format of the report is as follows:

1. Council Services
2. Economic Stimulus Options
 - 2.1 Payment of Council Rates – Cases of Hardship
 - 2.2 User Fees and Charges
 - 2.3 Procurement Policy – Local Business Weighting/Preference
 - 2.4 Section 7.11 (Formerly Section 94) Contributions
 - 2.5 Council Development Application and Complying Development Certificate Application Fees
3. Economic and Community Recovery Actions
 - 3.1 Economic Development Team
 - 3.2 Bathurst Visitors Information Centre
 - 3.3 Cultural and Community Services

4. Federal and State Government Stimulus Packages – Applicability to Councils
5. Impacts on Council Budgets Due to COVID-19 Pandemic
6. Rent/Lease Income
7. Financial Implications

1. **Council Services**

Council is working to maintain as many services as practicable, with a number of these being provided in altered formats. The library is an example of this where online services are being utilised and expanded.

The work locations of staff have been reviewed and as a risk management approach, offices have been established at the following sites to allow for separation of staff and to best ensure continuity of service provision. Note, the Civic Centre remains open to public access, other sites are staff only.

Location	Services
Civic Centre/Administration Building	All services
Mount Panorama (Pits)	Engineering/Finance/Motor Vehicle Workshop
Mount Panorama (Harris Park)	Human Resources and Communications
Lee Street (Old Evans Shire)	Planning/Health and Building/Regulatory Services/Events
Various Cultural sites	Library/Art Gallery/Museums/BMEC/BVIC/Cultural & Community Services

A number of staff are also working from home.

Particular emphasis has been focused firstly, on maintaining services such as; water, sewer, waste, finance (including creditors), health and building, planning, engineering and childcare, secondly, ongoing staff employment. It is important that staff are employed and continue to spend their income in the local economy to support businesses in keeping their doors open. This will prove to be a challenge into the future, with the Federal Government excluding Local Government from the JobKeeper assistance package. It is currently early days and it is anticipated that Federal and State programs to be announced in the future will provide some opportunities for local government.

The current status of Bathurst Regional Council facilities is as follows;

- Art Gallery - Closed from 23 March
- Library - Closed from 23 March
- Bathurst Memorial Entertainment Centre - Closed from 23 March
- Visitor Information Centre - Closed from 24 March
- Manning Aquatic Centre Bathurst - Closed from 23 March
- Chifley Home - Closed from 23 March
- Dog Pound - Remains open by appointment only
- Parks - Remain open, with appropriate social distancing
- Crematorium/Cemetery - Remains open, with appropriate social distancing and with restricted numbers of attendees

- Community Halls - Those managed by Council are closed
- Scallywags Child Care Centre - Remains open, with appropriate social distancing.
- Kelso Community Hub - NSW Health continuing to use for their clinics. Other BRC and third-party services suspended
- Family Day Care - Remains open, with appropriate social distancing. Administration is operating out of the Scallywags Centre.
- Bathurst Rail Museum - Closed from 23 March
- National Motor Racing Museum - Closed from 23 March
- Fossil and Mineral Museum - Closed from 23 March
- Aerodrome - Remains open, with appropriate social distancing. Regional Express airlines (REX) will significantly reduce operations from early April 2020
- Depot - Remains open, with appropriate social distancing
- Civic Centre - Remains open, with appropriate social distancing. Some staff being relocated to other Council facilities for risk mitigation
- Mount Panorama - Remains open, with appropriate social distancing. A proportion of BRC staff from other work areas have relocated to the Pit Complex for risk mitigation.
- Wastewater Treatment Works - Remains open, with appropriate social distancing
- Water Filtration Plant - Remains open, with appropriate social distancing
- Workshop - Remains open, with appropriate social distancing
- Waste Management Centre - Remains open, with appropriate social distancing. Monitoring current usage, residents have been asked to only use the Waste Management Centre for essential purposes. Kerbside waste, recycling, and food and waste services continue as per normal operations.
- Begonia House and Fernery - Closed from 31 March

2. Economic Stimulus Options

2.1 Payment of Council Rates – Cases of Hardship

Council rates and charges will continue to be levied by the Council; these are required to be levied under the Local Government Act (1993). Council will deal with cases of hardship **due to** the COVID-19 pandemic on an individual case by case basis. Council will work with ratepayers and businesses to establish repayment plans. Such plans may include consideration of the waiving, or deferring, of interest penalties for the short term. The current interest rate charged on overdue rates and charges is 7.5%. Councillors should note that where rates are already overdue, prior to the COVID-19 pandemic, existing charges including interest will continue to be levied and existing debt recovery action/proceedings will continue. It is anticipated that the COVID-19 pandemic will have an impact on cash flows. The level of this will become apparent when the next rate instalment is levied in May 2020.

Any substantial across the board rate subsidies would require Federal/State funds. Further, any cutting of the rate base would have significant impacts on the Council's ongoing viability if we are to maintain services at current service levels. Council will be expected to be a driver of the local economy, as we come out of this crisis.

2.2 User Fees and Charges

In respect of businesses, particularly those impacted by the COVID-19 pandemic such as hairdressers, food premises and skin penetration premises, it is proposed

that Council implement the following initiatives to assist these businesses in re-establishing their operations. The description of each item is as it is documented in Council's Revenue Policy.

2.2 (a) User Fees and Charges Outdoor Dining Fees - General Fund (0440 – DEP&BS Revenues)

With many of the small businesses being impacted by the COVID-19 pandemic including cafes and restaurants, it is **recommended** that Council waive these fees for the period 1 March 2020 to 31 December 2020. Monies paid to Council from 1 March 2020 will be refunded. Council's normal budget for this income is \$27,700 p.a. Accordingly, estimated budget loss is 2019/20 \$9,233 and 2020/21 \$13,850.

2.2 (b) Health Inspection Fees Food/General – General Fund (0431 – DEP&BS Revenues)

With many of the small businesses being impacted by the COVID-19 pandemic including cafes and restaurants, it is **recommended** that Council waive these fees for the period 1 March 2020 to 31 December 2020. Monies paid to Council from 1 March 2020 will be refunded. Council's normal budget for this income is \$55,000 p.a. Accordingly, estimated budget loss is 2019/20 \$18,333 and 2020/21 \$27,500.

2.2 (c) Health Inspection Fees Skin/Hairdressing Fees – General Fund (1787 – DEP&BS Revenues)

With many of the small businesses being impacted by the COVID-19 pandemic including hairdressing/skin businesses, it is **recommended** that Council waive these fees for the period 1 March 2020 to 31 December 2020. Monies paid to Council from 1 March 2020 will be refunded. Council's normal budget for this income is \$4,500 p.a. Accordingly, estimated budget loss is 2019/20 \$1,500 and 2020/21 \$2,250.

2.2 (d) Health Inspection Fees Bed and Breakfast – General Fund (1788 – DEP&BS Revenues)

With many of the small businesses being impacted by the COVID-19 pandemic including bed and breakfasts (tourism downturn), it is **recommended** that Council waive these fees for the period 1 March 2020 to 31 December 2020. Monies paid to Council from 1 March 2020 will be refunded. Council's normal budget for this income is \$2,500 p.a. Accordingly, estimated budget loss is 2019/20 \$833 and 2020/21 \$1,250.

2.2 (e) Health Inspection Fees Temporary/Mobile food outlets – General Fund (8319 – DEP&BS Revenues)

With many of the small businesses being impacted by the COVID-19 pandemic including temporary food outlets that are utilised for events and are impacted by the tourism downturn, it is **recommended** that Council waive these fees for the period 1 March 2020 to 31 December 2020. Monies paid to Council from 1 March 2020 will be refunded. Council's normal budget for this income is \$1,000 p.a. Accordingly, estimated budget loss is 2019/20 \$333 and 2020/21 \$500.

2.2 (f) Health Inspection Food Act Administration Fee (annual) – General Fund (0435 – DEP&BS Revenues)

With many of the small businesses being impacted by the COVID-19 pandemic including cafes and restaurants, it is **recommended** that Council waive these fees for the period 1 July 2020 to 31 December 2020. Council's normal budget for this income is \$43,000p.a. Accordingly, estimated budget loss is \$21,500 for 2020/21.

2.2 (g) Parks and Gardens Active Spaces Community Groups - User Fees – General Fund

Council has many parks & gardens (active spaces) for which various community groups contribute to operating costs. These volunteer groups are extremely important to the fabric of the community, and the conduct of sport and associated tournaments is a fundamental facet in the Bathurst tourism economy. Many of these groups will struggle to pay Council charges with the cessation of sport (generally) with the COVID-19 pandemic. It is **recommended** that these maintenance fees be waived for those sports who have not been able to commence their season due to the pandemic. At this time basic lease fees are recommended to stay in place but are subject to future review. Fees and charges for summer sports are retained as is, they will be an item for future consideration depending on the COVID-19 pandemic timeline, this includes sports such as Touch football, District Cricket and Triathlon.

Winter Competition - The below sports have not been able to commence their season use due to COVID-19 restrictions, for this reason a full waiver is **recommended**. Total value \$53,819. No waiver is proposed for summer season sports that have completed their 2019/20 season activities, a review of 2020/21 fees will be undertaken in the future having regard to Government shutdown protocols.

Group/Club	Fees
Bathurst Rugby Club	\$7,507
Bathurst Panthers RLFC	\$10,334
Bathurst Netball Association	\$3,837
Bathurst Bushrangers ARFC	\$1,057
Bathurst Giants ARFC	\$1,057
Bathurst District Football	\$14,198
Bathurst Hockey Association	\$5,495
St Pats RLFC	\$10,334
TOTAL	\$53,819

2.2 (h) Trade Waste inspection charges – Sewer fund (0100 – DES Revenues)

Many of the small businesses impacted by the COVID-19 pandemic pay Council trade waste inspection charges. These charges are for ensuring that systems such as disposal facilities comply with relevant standards. In particular these include many cafes, restaurants and food production facilities. It is **recommended** that Council waive these fees for the period 1 March 2020 to 31 December 2020. Monies paid to Council from 1 March 2020 will be refunded. Council's normal budget for this income is \$38,006 p.a. Accordingly, estimated budget loss is 2019/20 \$12,668 and 2020/21 \$19,003.

2.2 (i) Tourism Partnership Program – General Fund (0314 – DCCS Revenues)

The tourism sector has been significantly impacted by the COVID-19 pandemic. Simple examples of this are the recent cancellations of the Toyo High and Seiritsu

High School visits from Japan. The estimated economic impact of these two groups not visiting Bathurst is \$148,000. Council's tourism operations play a significant role in the function of the local economy. The Council has many valued partners who proactively work with Council to facilitate the tourism economy. These partners pay a partnership program fee to the BVIC as part of the program delivery (at the commencement of each financial year). It is **recommended** that Council waive these fees for the period 1 July 2020 to 30 June 2021. Council's normal budget for this income is \$56,000 p.a., accordingly, estimated budget loss is 2019/20 \$Nil and 2020/21 \$56,000.

2.3 Procurement Policy – Local Business Weighting/Preference

Council currently has in place a local procurement policy weighting of 5% as follows, refer

https://www.bathurst.nsw.gov.au/images/stories/council/public_docs/BRC_Purchasing_Manual_Sept2017.pdf;

4.4. Preference to Local Suppliers Subject to Trade Practices and National Competition Policy requirements, where appropriate, a preference of 5% on product cost may be given to Bathurst Region based suppliers for satisfactory goods of identical properties to those offered by suppliers based outside the Bathurst Region. Where it is intended to use this clause, it must be clearly notified to all prospective suppliers prior to the closing date for receiving quotations or tenders.

It is **recommended** that the local procurement policy be amended to 10% preference, until 30 June 2021 having regard to the existing constraints in the purchasing policy and fit for purpose of the product/service being provided.

2.4 Section 7.11 (Formerly Section 94) Contributions

To assist the building industry with cash flows at this time, it is **recommended** that Section 7.11 contributions be deferred for payment, including the waiving of the Administration Fee (\$400) for deferred payment of contributions, until the completion of the development to which Section 7.11 contributions apply (that is, prior to the issue of an occupation certificate in the case of building work), or twelve months from the issue of the notice of determination whichever is the sooner. Note, the value of contribution to be charged will be that applicable at the time of payment, as per Council's adopted Revenue Policy applicable at that time. This will apply to applications lodged between 1 July 2020 and 30 June 2021. In the case of subdivisions, Council already defers the payment of contributions until the subdivision certificate is to be released by which time the subdivision works are completed. Note, that the contribution is normally attached to the development of the land and not the construction of the buildings subsequently located on the land.

2.5 Council Development Application and Complying Development Certificate Application Fees

At this stage the building and construction industry remains an essential industry and there is a clear determination by both State and Commonwealth Governments to maintain operations for as long as possible.

The fees and charges which Council collects fall within 3 categories being;

1. Development Application fees,

2. Contestable Services, and
3. Government fees collected on behalf other agencies.

Development Application fees

Fees associated with Development Applications comprise a mixture of regulated and unregulated fees. Typically regulated fees are prescribed by Regulation with a Council able to charge up to the maximum fee level. Fees that fall within this category include Development Application fees, which contribute to the staff time and cost to assess the application, and Plumbing Inspection fees. There is scope to offer a concession on these fees, noting that Regulations which set the maximum fee have not been amended since 2000, although this would require an amendment to Council’s Revenue Policy.

Other non-regulated fees are set by Council and form part of the Development Application process and include things like advertising fees, surveying costs associated with access levels and driveways and kerb and gutter fees. There is a direct nexus between these fees and Council’s costs to provide them and it is recommended they not be discounted at this stage.

In terms of how Development Application fees are calculated they are generally based on the estimated construction value of a project. The higher the construction value the higher the Development Application fees that would apply in the circumstance. It is **recommended** that a 50% reduction be applied to the development application fees for 2020/21.

Value of development	Current DA fee	50% reduction
\$100,000	\$470	\$235
\$250,000	\$920	\$460
\$500,000	\$1425	\$712.50
\$1,000,000	\$1925	\$962.50

Council has received \$130,767 this financial year to date (being the end of February 2020) (Council work order 00000413). Projecting this YTD figure through to the remaining 4 months brings the estimated DA income for 2019/20 of \$196,150. If a 50% discount in application fees is applied, it would therefore result in reduced Council revenue of the order of \$98,075 per annum based on an estimate of 2019/20 revenue.

There are also other types of applications relevant to development as listed below. It is **recommended** that a 50% reduction be also applied to these for 2020/21.

Fee Type	Estimated subsidy 2020/21
DA modification fees (00000414 – 2018/19 \$18280)	\$9,140
Subdivision applications (00000415 – 2018/19 \$83,902)	\$41,951
DA subdivision release fees (00000416	\$11,212

- 2018/19 \$22,425)	
DA Advertising fees (00000423 – 2018/19 \$7,899)	\$3,949
Section 68 approvals (00000549 - \$10,281)	\$5,141
Section 68 approval to operate (00000550 2018/19 - \$1,655)	\$828
Total	\$72,221

Note that this may result in a reduction in development applications in the lead up to June with applicants deliberately holding off making application to take advantage of the discount.

Contestable Services

Complying Development Certificates (00000418) and Construction Certificate (00000424) and Swimming Pool Compliance Certificates (00000748) may be dealt with by either Council or private certifiers. The decision as to who to appoint as certifier largely rests with the owners of the land.

Unlike Development Application fees, these contestable services fees are not regulated and it is open for Council to determine the fees it charges for these services. Any attempt to waive or significantly reduce these fees will be seen to be anti-competitive by the private certifiers who have lesser capacity to absorb fee reductions and it would be inappropriate to alter these fees.

Government fees collected on behalf of Government entities

As part of the application process Council collects a number of fees on behalf of Government Departments. Examples include Long Service Levy collected on behalf of the Long Service Levy Board, the Planning Reform Fund collected on behalf of the Department of Planning and referral and concurrence fees to other Government Departments. In respect of the Long Service Levy and Planning Reform Fund, Council acts as an agent for which it retains an administrative fee and the fees are passed on to the respective Government Departments.

It is beyond the scope of Council to provide any flexibility in terms of fees collected on behalf of other entities.

3. Economic and Community Recovery Actions

3.1 Economic Development Team

The Economic Development Team in conjunction with other sections of Council is continuing to build on services that they provide to the community. With the situation evolving daily, the Economic Development team is currently investing in the use of flexible marketing channels which can be updated at a moment's notice.

Current initiatives include:

- Revamp of the Bathurst Business Hub website to provide businesses with easier access to the latest State and Federal Government announcements, stimulus packages and resources. The website also has a section which provides advice and practical tips to help businesses survive COVID-19. The website is updated daily - www.bathurstbusinesshub.com.au
- A boosted Facebook post which links businesses to support information on the Bathurst Business Hub website. The post has also been shared by local media and the Business Chamber.
- Extensive update of the Ejobs platform to advertise the maximum number of available jobs in Bathurst, Lithgow and Oberon to people who have recently become unemployed. Council has advertised the Ejobs platform through various channels.
- Regular eNewsletters to Council's business database updating businesses on the most recent developments.
- A competition where ten \$200 Buy Local Gift Cards can be won by shopping at participating local shops.
- Promotion of a series of online webinars for business owners covering topics such as managing employees, leases, banking, accessing funding and new ways of operating.

Council is also developing a strategy to assist businesses once the COVID-19 pandemic has abated and the economy enters a period of recovery. An array of shop local marketing materials and campaigns will be prepared for roll out at the appropriate time. The recovery period will include, but is not limited to, an expanded Jobs Expo to assist with employment, expanded BizMonth program (month to be determined), extensive promotion of the Buy Local Gift Card (including competitions and associated messaging), and a revamped Business Leaders Lunch.

The recovery phase may also be an opportunity to promote the Bathurst region as a destination for businesses looking to relocate to regional areas and campaign materials, to support this objective, are under preparation.

3.2 Bathurst Visitors Information Centre

- Launch of new dedicated regional tourism industry access website to provide resources, tools and links for partnership businesses - <https://www.bathurstregiontourism.com.au/>
- Frequency of industry eNewsletters sent by BVIC increased to weekly.
- Development and initiation of a COVID-19 response Marketing Plan, which includes brand building to support future travel aspirations and a community push to support businesses where possible, particularly hospitality via promoting available takeaway options – live on social media/website/local radio/print media.
- Development (underway) of an upgraded consumer website with new online store through which businesses can sell product online and through which BVIC can sell experience vouchers for future redemption on behalf of businesses to maintain some cash flow.

- BVIC staff are calling all partner businesses on a schedule to check on wellbeing and provide updates and support.
- Development of virtual Bathurst region experiences (underway) including free production costs for participating businesses.
- Work (underway) on a tourism recovery strategy. All research and prior experiences suggest that the Bathurst region is ideally placed to be at the forefront of the resurgence when it happens, and is prepared for it.

3.3 Cultural and Community Services

Although the physical closure of most of Council's Cultural & Community Services facilities has occurred due to COVID-19, Council staff have implemented some alternative activities, some have been actioned and will continue to be reviewed and modified as appropriate. This has been very important to help keep a sense of community in the Bathurst region, but also these services get to some of the most vulnerable & isolated members of our society. The activities/campaigns include:

Children's Services – on-line contact with families and Educators as well as learning and craft packs provided by mail to children.

Bathurst Visitor Information Centre – planned live streamed performances for unusual and iconic regional locations/venues, virtual tours and events available on-line, community self-care and revitalization campaign; "Take a Moment", a part of a broader marketing initiative to both celebrate community resilience as well as to position the Bathurst region for future travellers.

Bathurst Library – all services are still available via on-line and eLibrary access with telephone and email enquiries received and responded to. Children programs delivered live and virtually at the usual time via Facebook. Mobile Library Service continues with Home Library Service – institutions offering double deliveries, extended loan period and drop off/pick up of material at door, individual offering double deliveries and drop off/pick up of material at door. Contacting each person to confirm delivery and ensure that the library remains connected to homebound members. Staff are following Government Health guidelines when interacting with homebound members.

Bathurst Regional Art Gallery – on-line programs, including OUR CITY: BRAG Town, a community participatory project as well as social media campaigns being undertaken.

Bathurst Memorial Entertainment Centre – Exploring online options for online programs including local play *Kangaroo*, Bathurst Writers' & Readers' Festival, play readings, streaming of National Theatre Live productions as well as online engagement with communities.

Bathurst Museums – working on audience engagement programs across all Museum sites to include behind the scenes presentations, virtual tours, school programs and social media content.

3.4 State Health and Emergency Services

Council has been keeping in regular contact and working with various groups including

Western NSW Local Health District representatives and the Local Emergency Management Committee which includes representatives of NSW Police, NSW State Emergency Services, Transport for NSW, Fire and Rescue NSW, NSW Health, Radio 2BS/B-Rock, Central Tablelands Local Land Service, Charles Sturt University and Bathurst Regional Council.

At this time, Council has advised that the Medical Centre at the Mount Panorama Pit Complex is available for use by medical services in respect of dealing with the COVID-19 Pandemic. Usage will depend on the circumstances of the government's response to the Pandemic.

4. Federal and State Government Stimulus Packages – Applicability to Councils

The Federal and State governments have announced a number of stimulus packages over recent weeks. It is to be noted that the JobKeeper program, which provides \$1,500 per fortnight per employee for businesses which retain employees does **not** apply to local government. Accordingly, there are no wage subsidy programs available to local government at this time.

The Federal Government has also announced a childcare package to assist people in accessing this service. The State Government has announced they will implement a program to assist councils as the Federal Government has not included local government in its program. Council is yet to receive details of the program.

At this stage, no NSW Government or Australian Government support has been factored into this report, it is anticipated that future infrastructure programs will include local government. Ongoing discussions are occurring between local government peak bodies and the State and Federal Governments.

Council at this time is attempting to maintain its workforce for a number of reasons including;

1. Provision of essential services such as water, sewer, finance, health & building, planning and engineering,
2. Retention of skillsets in the community,
3. Economic purchasing stimulus that the workforce provides to the local economy whilst employed,
4. Continuing service provision to the community of services such as remote site library borrowings.

This will more difficult to do as time goes by with minimal assistance being provided. Council endeavours to work under and implement the COVID-19 responses as pronounced by both the State and Federal Governments.

5. Impacts on Council Budgets Due to Covid-19 Pandemic

An initial review of direct impacts on Council's budget for 2019/20 has been undertaken (**please note this is preliminary data only**) and is detailed in the table below. The second column of the below table below "Recovery Saving" are areas where management has identified reductions that can be implemented in 2019/20 to try and offset the, "Direct COVID Costs", being incurred. Work will be ongoing as

impacts become more apparent and Council responds to Federal and State directives and initiatives.

List of Costs / Savings arising from COVID-19 for period 2019/20					
Reference	Description	Direct COVID Saving / (Cost)	Recovery Saving		
ENG					
2822	Bathurst 6hr - Net Loss of Income	-135,000			Event cancelled.
	Aerodrome - REX - Loss of Head Tax	-66,000			
	Additional Plant / Vehicle Rentals (3months)	-105,000			Due to need to comply with social distancing requirements for outdoor staff.
	Additional Cleaning Materials (toilet paper / sanitiser etc)	-4,000			
	Outdoor Staff Special Leave (2.5 days - March 2020), offset against existing operational accounts.	-29,100	29,100		Whilst social distancing controls/actions implemented.
ENG Total		-339,100	29,100	-310,000	
CSF					
W789	Events - Proclamation Day	7,161			Event cancelled.
W8652	Events - Cancellation Savings - Establishment / Set-Up Costs etc	248,420			
W1245	Community Survey		20,000		Cancelled with Elections deferral
W8696	Sister City	8,000			
W8703	Living Legends	5,000			Event cancelled.
	Staff Training Across the Org		132,000		Due to social distancing, stopping face to face training.
Cell: A4034	IT - General Maintenance (NEW CBD Wifi Mtce)		16,000		
	IT Costs - Post Office Building Site Activation	-35,000			
	IT & Other Set Up Costs - Mt Panorama Site Activation incl Security	-12,000	10,000		
	IT & Other Set Up Costs - Lee Street Site Activation	-10,000	10,000		Offset by reduced other IT projects
	Increase Cleaning Costs (incl Air Con Mtce) - Civic / Mt Pan / Lee St - 3mths	-126,000			To meet expected health standards whilst utilising Council facilities.
W8647	Finance - New Community Loans - Debtor		40,000		
	IT Terminal Services – Extra licences	-500			To facilitate Working from Home
CFS Total		85,081	228,000	313,081	
CCS					
	BMEC - Hire / Profit	-85,000			Facility Closed
	BMEC - Season Shows	81,000			Facility Closed
	BMEC - Staff (Casuals)	17,000			Facility Closed
	BMEC - Electricity & Gas	15,000			Facility Closed
	Museums - Loss of Tickets & Retail	-120,000			Facility Closed
	Library - Book Sales to Community of Second Hand Books	-10,000			Program cancelled
	Gallery - Retail	-10,000			Facility Closed

	Gallery - Stock Purchases deferral		17,000		Facility Closed
	BVIC - Retail	-20,000			Facility Closed
	BVIC - Japanese Students	-20,000			Facility Closed
	BVIC - Online Booking	-15,000			Facility Closed
	BVIC - Ticket Sales	-20,000			Facility Closed
	BVIC - Heritage Trades Trail / Autumn Colours	20,000			Event cancelled
	BVIC - Staff (W/End Casuals)	20,000	30,000		Facility Closed
	BVIC - Stock Purchases deferral		7,500		Facility Closed
	RAP		10,000		
	Small Business Access Grants		6,000		
	Staff Training		20,000		
	Kelso Community Hub rent	-\$6,000			Groups have ceased use
CCS Total		-153,000	90,500	-62,500	
EPBS					
W380	Sustainable Living Expo	10,000			Event cancelled
Cell A:7886	Parking Fines	-75,000			
W455	Community Consultations - Masterplans		10,000		Face to face sessions cancelled due to social distancing etc.
W351	Companion Animals education and events		1,500		
W379	Public swimming pools and spa pools monitoring	1,500			
W382	Community education newsletter		5,000		
W6063	Pillars of Bathurst	5,000			Event cancelled
W2210	Evocities		10,000		Evocities inactive 2019/20. \$30k for Health Precinct and \$18k for Spendmapp, \$5,000 Jobs Portal. Remaining funds will not be spent.
W3042	Entry to Bathurst Signage		35,000		Project to be moved over to the Village Planning project.
EPBS Total		-58,500	61,500	3,000	
TOTAL		-465,519	409,100	-56,419	

6. Rent/Lease Income

At this time any impact on Council's leasing income has not been allowed for. These impacts will be dealt with on a case by case basis and by way of further reports to Council. It is anticipated that Council will receive requests for part or total waiver of lease/rent fees. Council's current rent portfolio generates in excess of \$1.7million (gross) per annum and accordingly is an area of significance.

FINANCIAL IMPLICATIONS:

The financial implications of the COVID-19 pandemic will be of significant impact to the community, including Council. The measures listed above include the following;

Proposed Action	2019/20 Impact \$	2020/21 Impact \$
User Fees and Charges Outdoor Dining Fees - Gnl Fund (0440 – DEP&BS Revenues)	9,233	13,850

Health Inspection Fees Food/General -Gnl Fund (0431 – DEP&BS Revenues)	18,333	27,500
Health Inspection Fees Skin/Hairdressing Fees – Gnl Fund (1787 – DEP&BS Revenues)	1,500	2,250
Health Inspection Fees Bed and Breakfast – Gnl Fund (1788 – DEP&BS Revenues)	833	1,250
Health Inspection Fees Temporary/Mobile food outlets – Gnl Fund (8319 – DEP&BS Revenues)	333	500
Health Inspection Food Act Administration Annual Fee (0435 – DEP&BS Revenues)	-	21,500
Parks and Gardens Active Spaces community groups - User Fees – Gnl Fund	53,819	-
Trade Waste Charges – Sewer Fund (0100 – DES Revenues)	12,688	19,003
Tourism Partnership Program – Gnl Fund (0314 – DCCS Revenues)	-	56,000
Council Development Application other Fees (Gnl Fund (0105 – DEP&BS Revenues)	-	98,075
• DA fees		72,221
• Other Development Fees		
TOTAL	\$96,739	\$312,149

In addition to the proposed fee changes above, which are estimated to lead to reduced revenues of \$408,888, an interim impact of \$465,519 (loss) has been identified on the budget for 2019/20. These impacts will flow into 2020/21 and are anticipated to be greater than the 2019/20 impact.

Budget reductions of \$409,100 have been identified in the report to offset the stimulus measures that have been identified.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 2: A smart and vibrant economy.

Strategy 2.1 Support local business and industry.

Objective 5: Community health, safety and well being.

Strategy 5.3 Help build resilient, inclusive communities.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

Strategy 6.4 Meet legislative and compliance requirements.

Strategy 6.6 Manage our money and our assets to be sustainable now and into the future.

COMMUNITY ENGAGEMENT:

01 Inform – to provide the public with balanced and objective information to help them

understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-79

MOVED: Cr B Bourke

RESOLVED:

That Council:

2. Notes the actions taken to date, and
2. In accordance with Section 356 of the Local Government Act 1993, place on public notice for a period of at least 28 days, Council's proposal to pass a resolution at the May Ordinary Meeting granting the following financial assistance:
 - (a) The waiving of User Fees and Charges Outdoor dining fees (General Fund 0440) from 1 March 2020 to 31 December 2020;
 - (b) The waiving of Health Inspection Fees Food/General (General Fund 0431) from 1 March 2020 to 31 December 2020;
 - (c) The waiving of Health Inspection Fees Skin/Hairdressing (General Fund 1787) from 1 March 2020 to 31 December 2020;
 - (d) The waiving of Health Inspection Fees Bed and Breakfast (General Fund 1788) from 1 March 2020 to 31 December 2020;
 - (e) The waiving of Health Inspection Fees Temporary/Mobile food outlets (General Fund 8319) from 1 March 2020 to 31 December 2020;
 - (f) The waiving of Health Inspection Food Act Administration Fee - annual (General Fund 0435) for the period of 1 July 2020 to 31 December 2020;
 - (g) The waiving of Parks and Gardens Active Spaces Community Groups User Fees for 2020 as follows:

Group/Club	Fees
Bathurst Rugby Club	\$7,507
Bathurst Panthers RLFC	\$10,334
Bathurst Netball Association	\$3,837
Bathurst Bushrangers ARFC	\$1,057

Bathurst Giants ARFC	\$1,057
Bathurst District Football	\$14,198
Bathurst Hockey Association	\$5,495
St Pats RLFC	\$10,334
TOTAL	\$53,819

- (h) The waiving of Trade Waste inspection charges (Sewer Fund 0100) for the period 1 March 2020 to 31 December 2020.
 - (i) The waiving of Annual Membership Fees for the Tourism Partnership Program (General Fund 0314) for the 2020/2021 financial year.
 - (j) The increase to 10% preference for Bathurst Region suppliers as detailed in Council's Local Procurement policy, with the increase remaining up to 30 June 2021.
 - (k) The deferral of Section 7:11 (Environmental Planning & Assessment Act 1979) contributions until the completion of the development including the waiving of the Administration Fee, but prior to the issue of an Occupation Certificate in the case of building work, or twelve months from the issue of the notice of determination, whichever occurs first. Being for applications lodged between 1 July 2020 and 30 June 2021.
 - (l) A 50% reduction in Development Application fees be applied for the 2020/2021 financial year.
 - (m) A 50% reduction in Development Application Modification Fees (0414), Subdivision Application Fees (0415), Development Application Sub Division release fees (0416), Development Application Advertising Fees (0423), Section 68 Approvals Fees (0549), and Section 68 Approval to Operate Fees (0550), be applied for the 2020/2021 financial year.
3. Adopt the funding sources for the stimulus measures as proposed and contained in the report at Section 5 (Recovery Saving).
 4. Call a Division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse , Cr I North, Cr J Rudge

Against the Motion - nil

Absent - nil

Abstain - Nil

8 RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

GENERAL MANAGER'S REPORT

The following reports are presented for Council's consideration.

Yours faithfully



D J Sherley
GENERAL MANAGER

8.1.1 CENTROC/JO MEETING 27 FEBRUARY 2020 (GRENFELL)

File No: 07.00017

RECOMMENDATION:

That the report on the CENTROC and Central NSW Joint Organisation meetings held on 27 February 2020 at Grenfell be noted.

REPORT:

The Board meetings of Centroc and the Central NSW Joint Organisation (JO) were held on Thursday 27 February 2020 at the Community Hub Centre in Grenfell.

Reports from Centroc

In line with the direction from the Auditor, windup is anticipated by June 30, 2020 and a report will be drafted in due course.

Reports from the CNSW Joint Organisation

Chairman's Minute

The Minute provided direction to the CNSWJO on activities and priorities for the year in the context of the broader JO Statement of Strategic Priorities. It was resolved that the overall focus for the year's effort is to align with the Federal Government's vision for an agricultural economy of \$100bn by 2030. This will be supported by activity in two areas.

- i. Watering the West
 - a. Leveraging raising the wall at Wyangala; and
 - b. Assuring urban water security in region; and
- ii. Freight links.

The region has four priorities in its Statement of Strategic Priorities. The Board agreed to focus on the following activities within its Plan.

Intergovernmental Collaboration

1. Reporting value to members through the operational support program.
2. Supporting the sustainability of the broader JO network.

Regional Prosperity

1. Progressing support for the visitor economy.
2. Developing and monitoring the progress of the Regional Prosperity Subcommittee noting the agricultural focus.

The Minute also provided advice on the structure of Board meetings for the balance of the year.

- Moving the Federal meeting to August and changing the format to include a round table in the Deputy Prime Minister's office seeking to progress the above. The idea here is to have a more in-depth discussion to progress the regions direction with a view to various Ministers making commitments and announcements at the Ministerial session on the following day. Pre-meetings and briefings will hopefully lead to more targeted outcomes.
- Launching the Food and Fibre Strategy at the mid-year Board meeting in Parliament House at a lunch being hosted by the member for Cootamundra, Steph Cooke MP where we showcase local produce.
- A Summit to be held on the date of the last Board meeting of the year. This will launch the next round of strategic consultation as the current plan is only until 2020. The Summit would again retain the agricultural focus.

Given the challenges over the summer period of drought, fire and flood, the Board is seeking feedback from members on their policy with regard to climate change with a view to informing regional policy. Board discussion was that there is a great deal of positive action being taken in region and this should be showcased.

Energy Program

The Board were updated on the progress of the Southern Lights LED Streetlight rollouts in Bathurst and Orange.

Sourced Energy has calculated the cost savings that councils have achieved through the procurement process and the associated contracts with Energy Australia (large market sites) and Origin Energy (small market sites). The cost savings are calculated by multiplying the existing incumbent rates by the 3 years of forecast load, compared to the new contract rates multiplied by the 3 years of forecast load.

Please note that the savings are based on forecast loads provided by councils, inclusive of energy efficiency upgrades (e.g. Southern Lights) and the installation of planned solar installations. The reduction in load from the Southern Lights Project is based on the existing Bulk Lamp Replacement schedule provided by Essential Energy, current at November 2019.

The network charges for 2020, 2021 and 2022 have been used to calculate both the 'total cost (using contracted rates)' and the 'total cost (using incumbent rates)', i.e. no savings shown for network charges. These rates are pass-through rates and cannot be negotiated through the procurement process.

The estimated cost savings are shown in the tables below.

Council	Total Spend (new contract rates)	Total spend (incumbent rates)	Total Savings (3 year contract)	Percentage saving
Bathurst	\$ 8,472,923	\$ 9,172,125	\$ 699,202	7.62%
Blayney	\$ 666,006	\$ 723,328	\$ 57,323	7.92%
Cabonne	\$ 1,202,279	\$ 1,310,767	\$ 108,487	8.28%
Central Tablelands Water	\$ 1,170,785	\$ 1,259,334	\$ 88,549	7.03%
Cowra	\$ 3,171,958	\$ 3,425,587	\$ 253,629	7.40%
Forbes	\$ 2,390,367	\$ 2,596,278	\$ 205,911	7.93%
Lachlan	\$ 2,313,239	\$ 2,498,470	\$ 185,231	7.41%
Oberon	\$ 477,126	\$ 512,496	\$ 35,370	6.90%
Orange	\$ 9,041,638	\$ 9,813,148	\$ 771,511	7.86%
Parkes	\$ 5,568,979	\$ 6,053,297	\$ 484,318	8.00%
Weddin	\$ 395,755	\$ 431,136	\$ 35,381	8.21%
CNSWJO Total	\$ 34,871,054	\$ 37,795,966	\$ 2,924,912	7.74%

Report on JO Chairs Forum progress including feedback to the Minister on JO sustainability

The Board endorsed the advice provided to the Minister for Local Government's Advisory Committee with regard to sustainability of the broader network. The Board's policy position is that the focus of effort for JO sustainability be working, through the Minister's Office, with State agencies on a funding framework that offers value to both JO members and the State where the value to the State is recognised by remuneration.

The CNSW JO is under less financial stress than others, the reduction in members from the ROC and the increased compliance burden will result in an ongoing deficit budget position unless more income can be identified.

Regional Transport

The board were asked to provide feedback on the Central West and Orana Future Transport Regional Plan and comment on the suggested feedback already drafted. The Board endorsed a submission on the Lithgow to Katoomba Corridor.

A response to the independent panel for the Regional Road Transfer and NSW Road Clarification Review Terms of reference was endorsed and the region has asked the Review Committee to meet with the JO.

The terms of Reference for the Regional Strategic Transport group who meet quarterly was endorsed.

Regional Water

It was resolved to seek advice from DPIE Water on project status, particularly where the barriers are in delivering Council water projects. The Board will be developing advocacy material identifying the problems and solutions in assuring urban water supply during the unprecedented drought.

Representation will be made to the Premier, Deputy Premier, Minister for Water and respective agencies providing advice on the challenges and solutions for this region in securing water. Further, Infrastructure Australia will be invited to the next meeting to provide advice on opportunities for this region identified in its recent Priority List 2020.

Reporting on progress of the Strategic Plan

Advice was provided on progress on the four priorities in the Strategic Plan. Notably:

- The Minister for Local Government announced further funding for JOs in August 2019, CNSW JO received advice in February that it will be granted \$150k in funding. An agreement with the Office of Local Government (OLG) is anticipated in the near future.
- An Equal Opportunity Management Plan was adopted by the Board.
- Approval was given to the Alliance between Safe NSW and the JO WHS working group for 2020-2022.

Value for Members

The following summary advice is provided on value to members.

Value for members	Activity FYTD	Activity this Quarter
Submissions	11	041119 -Inquiry into Regional Australia 221119- Request for issues for the NSW State Water Strategy 221119- Response to the Discussion Paper Kickstarting the Productivity Conversation 281119 - Inquiry into growing Australian agriculture to \$100 billion by 2030 291119 - Inquiry into the impacts of drought on regional NSW 161219 – Submission Katoomba to Lithgow - GWH upgrade program 181219 – Submission, A New Risk Management and Internal Audit Framework for Local Councils in NSW
Plans, strategies and collateral	20	Three Advocacy Plans adopted at the Nov Board and have been provided to LGNSW. (Regional Prosperity and Advocacy Plan; Regional Transport Advocacy Policy; and Regional Water, Advocacy Plan and Drought Advocacy Plan) Three JO building capacity applications lodged with OLG for project funding
Grants	3	This quarter is \$2112 where the YTD total for this program is \$16,706 including training delivered under funding by TAFE NSW to Parkes Shire Council in the October – December 2019 quarter. Application to OEH for funding for the Southern Lights Project – Funding has been received for high residual, the exact amount will be reported once known. \$150K being negotiated for the JO with OLG.
Compliance	10	Compliance training courses delivered across the region: <ul style="list-style-type: none"> • Traffic Control Training (PWZTMP x 1-day refresher) – 8 participants • Consultative Committee x 2 courses – 25 participants in total • Confined Spaces – 11 participants • Chain Saw Operations – 12 participants Mandatory Independent Audits of DPIE Water Performance Monitoring Data completed for Orange and Bathurst and reports provided. Dam Surveillance inspections completed for dams owned by Parkes, Cowra, Weddin, Cabonne, Hilltops, Orange, CTW and Bathurst.
Data	4	Tourism data project through WRI DPIE Water Performance Monitoring Data currently being collated for benchmarking the region’s LWUs.

Value for members	Activity FYTD	Activity this Quarter
		Please note CWRDA data using REMPLAN now available through their website. REDS data packs being reviewed by the Regional Prosperity Subcommittee.
Media including social media	8	<p>041019 - Getting smart about street lighting 251019 - Water NSW Media Release, Wyangala storage volume offers drought options in Lachlan 301019- Less blame and more whole of Government work on solutions 151119 - Tourism Awards, Nothing but Gold! 151119 – Host Survey Visitors who come to stay contribute to the local economy</p> <p><u>Tourism PR update</u></p> <ul style="list-style-type: none"> • Incredibly busy and successful media visits program with 17 media touring the region on 2-7 day famils. Supported by local tourism industry, and a few times by Destination NSW, each journalist ‘unearthing’ the region’s unique cultural attractions within their stories. • Wrote and issued 9 media releases with a news or thematic angle, distributed to 400+ media and industry contacts • Over 150 articles in digital news and travel media, newspapers, magazines, radio, TV and blogs • Featured events, accommodation, retail, art and culture, food and wine, history and heritage, nature, tours and attractions • Targeted couples and family market in Sydney and NSW • Articles driving people to the website www.visitcentralnsw.com.au <p><u>Social Media</u></p> <ul style="list-style-type: none"> • Central NSW Joint Organisation Facebook Page – 303 likes; 400 Followers • Central NSW Tourism Facebook Page – 12,575 likes 12,980; Followers • Screen Central Facebook Page – 304 likes; 349 Followers • Central NSW Tourism Instagram Page – 4,486 Followers • Central NSW JO Twitter – 927 Followers
Cost Savings	\$821k since 1 July 2019	A breakdown of the cost savings is found later in this report. No new contracts commenced between October and December 2019.
Representation	65	<p>241019- Lachlan Regional Water Strategy Meeting 61119 – Tourism Group Meeting 71119- WaterNSW Lake Rowlands to Carcoar Pipeline Briefing 81119- Critical Water Advisory Panel meeting 151119- Upper Macquarie Regional Water Strategy Meeting 261119- Centroc and CNSWJO Board meetings 261119 - Lachlan Valley Councils – Water Executive Group meeting 271119 - Round table discussions with various Federal politicians at Parliament House 21219- Transport Technical Meeting 31219 – WHS Group Meeting 41219- Critical Water Advisory Panel Meeting 91219 – Strategic Transport Meeting 91219 - Lachlan Regional Water Strategy Meeting 101219- HR Group meeting 101219 – Regional Integrated Transport Group</p>

Value for members	Activity FYTD	Activity this Quarter
		111219- WSAA Workshop - Recycled Water 121219 – CWUA meeting 131219- Southern Lights -Essential Energy meeting 191219- Meeting with Lachlan Valley Water on Regional Water Strategy 150120 -6 JOs collaborating on better outcomes from the Safe and Secure Water Program 160120 DPIE and Orana – optimizing outcomes through the Safe and Secure Water Program and Drought funding 300120-GMAC 310120 - Lachlan Water Strategy follow up meeting 060220 – CW and Orana Regional Leadership Executive Meeting 070220 – Regional Prosperity Subcommittee Meeting 070220 – Public Hearing for Inquiry into for Agriculture Committee's \$100 Billion by 2030 110220 – Essential Energy Level of Service meeting in Bathurst 120220 – SAP Skills working group meeting in Parkes 130220 – Strategic Approach to Bridges with TfNSW, Public Works Advisory and other JOs - Bathurst 140220 - Upper Macquarie Water Strategy follow up meeting 190220 – Government’s Roads of Strategic Importance (ROSI) initiative consultation – Parkes 200220 – CWUA meeting in Cowra– NSW Audit Office in attendance
Opportunities councils have been afforded	23	<ul style="list-style-type: none"> • Feedback to the Internal Audit Framework for Local Councils in NSW • DPE Freight mapping • WRI Data Program • Australian Traveller Promotional Campaign • Consultations with individual councils for regional water strategies in the Lachlan and Macquarie as well as specific projects such as raising Wyangala and the Windamere to Carcoar pipeline • Review of Central West and Orana Future Transport Regional Plan • Workshop on Recycled Water for Drinking • Government’s Roads of Strategic Importance (ROSI) initiative consultation • Feedback to Audit Office on the Audits being undertaken in the water space.

Savings

The following table shows the savings achieved by member councils through aggregated procurement and programming. The table reflects savings in the current financial year.

SAVINGS	Water Utilities Alliance Contracts	HR Contracts	WHS contracts	IT contracts	Supply contracts	Roads/ Transport contracts	Energy contracts	RDOCS contracts	Other contracts	Training	Legal advice re Procurement	Participation in regional procurement	Total
Bathurst	\$0	\$35,105	\$0	\$0	\$12,013	\$0	\$127,897	\$571	\$0	\$45	\$0	\$1,000	\$176,631
Blayney	\$0	\$12,754	\$0	\$0	\$16,473	\$0	\$17,586	\$0	\$0	\$0	\$0	\$1,000	\$47,813
Cabonne	\$0	\$15,066	\$6,823	\$0	\$32,028	\$0	\$22,366	\$318	\$0	\$0	\$0	\$5,000	\$81,601
Central Tablelands Water	\$0	\$133	\$0	\$0	\$0	\$0	\$0	\$481	\$0	\$0	\$0	\$5,000	\$5,614
Cowra	\$0	\$14,464	\$1,954	\$0	\$19,247	\$0	\$35,895	\$293	\$0	\$45	\$0	\$5,000	\$76,898
Forbes	\$0	\$11,759	\$0	\$0	\$25,777	\$0	\$28,877	\$417	\$0	\$0	\$0	\$5,000	\$71,830
Lachlan	\$0	\$24,388	\$0	\$0	\$37,472	\$0	\$28,889	\$434	\$0	\$1,675	\$0	\$5,000	\$97,858
Oberon	\$0	\$16,518	\$0	\$0	\$8,589	\$0	\$12,353	\$517	\$0	\$3,120	\$0	\$5,000	\$46,097
Orange	\$0	\$52,443	\$1,595	\$0	\$20,000	\$0	\$141,907	\$500	\$0	\$1,700	\$0	\$5,000	\$223,145
Parkes	\$0	\$10,560	\$0	\$0	\$20,131	\$0	\$41,023	\$284	\$0	\$4,738	\$0	\$1,000	\$77,735
Weddin	\$0	\$64	\$0	\$0	\$4,684	\$0	\$15,241	\$538	\$0	\$0	\$0	\$5,000	\$25,528
Sub Total	\$0	\$193,255	\$10,372	\$0	\$196,414	\$0	\$472,035	\$4,351	\$0	\$11,323	\$0	\$43,000	\$930,750
												Cost to members	\$109,617
												Total	\$821,134

The cost to members is calculated on a percentage of each CNSWJO staff member and their corresponding workload on procurement and contract management.

Financial Report

It is anticipated a full year loss of \$60,601 at 30 June 2020 against a budgeted loss of \$52,128.

The increase in the anticipated loss against the budget is due to the reduction in expected interest income and the lesser LGP rebate income.

As resolved at the Board meeting 27 November 2019 the Centroc reserves \$527,387 have been transferred across to the Joint Organisation. The remaining Centroc assets and accumulated surplus at 30 June 2019 will be transferred across to the Joint Organisation as further winding up of Centroc occurs.

FINANCIAL IMPLICATIONS:

Council's involvement in CENTROC and Central NSW Joint Organisation is provided for within existing budget allocations.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

Strategy 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently.

Strategy 6.3 Advocate for our community.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-80

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That the report on the CENTROC and Central NSW Joint Organisation meetings held on 27 February 2020 at Grenfell be noted.

DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING SERVICE'S REPORT

The following reports are presented for Council's consideration.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Neil Southorn', with a small red mark above the first letter 'N'.

Neil Southorn
**DIRECTOR
ENVIRONMENTAL, PLANNING AND BUILDING SERVICES**

8.2.1 SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

File No: 03.00053

RECOMMENDATION:

That the information be noted.

REPORT:

Section 4.15 of the Environmental Planning and Assessment Act 1979 is provided below to assist Council in the assessment of Development Applications.

4.15 Evaluation (cf previous s 79C)

- (1) **Matters for consideration—general** In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application—
 - (a) the provisions of—
 - (i) any environmental planning instrument, and
 - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
 - (iii) any development control plan, and
 - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
 - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),
 - (v) (Repealed)that apply to the land to which the development application relates,
 - (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
 - (c) the suitability of the site for the development,
 - (d) any submissions made in accordance with this Act or the regulations,
 - (e) the public interest.
- (2) **Compliance with non-discretionary development standards—development other than complying development** If an environmental planning instrument or a regulation contains non-discretionary development standards and development, not being complying development, the subject of a development application complies with those standards, the consent authority—
 - (a) is not entitled to take those standards into further consideration in determining the development application, and

- (b) must not refuse the application on the ground that the development does not comply with those standards, and
- (c) must not impose a condition of consent that has the same, or substantially the same, effect as those standards but is more onerous than those standards,

and the discretion of the consent authority under this section and section 4.16 is limited accordingly.

- (3) If an environmental planning instrument or a regulation contains non-discretionary development standards and development the subject of a development application does not comply with those standards—
 - (a) subsection (2) does not apply and the discretion of the consent authority under this section and section 4.16 is not limited as referred to in that subsection, and
 - (b) a provision of an environmental planning instrument that allows flexibility in the application of a development standard may be applied to the non-discretionary development standard.

Note. The application of non-discretionary development standards to complying development is dealt with in section 4.28(3) and (4).

- (3A) **Development control plans** If a development control plan contains provisions that relate to the development that is the subject of a development application, the consent authority—
 - (a) if those provisions set standards with respect to an aspect of the development and the development application complies with those standards—is not to require more onerous standards with respect to that aspect of the development, and
 - (b) if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards—is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development, and
 - (c) may consider those provisions only in connection with the assessment of that development application.

In this subsection, **standards** include performance criteria.

- (4) **Consent where an accreditation is in force** A consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the *Building Code of Australia* if the building product or system is accredited in respect of that requirement in accordance with the regulations.
- (5) A consent authority and an employee of a consent authority do not incur any liability as a consequence of acting in accordance with subsection (4).
- (6) **Definitions** In this section—
 - (a) reference to development extends to include a reference to the building, work, use or land proposed to be erected, carried out, undertaken or subdivided, respectively, pursuant to the grant of consent to a development application, and

- (b) ***non-discretionary development standards*** means development standards that are identified in an environmental planning instrument or a regulation as non-discretionary development standards.

FINANCIAL IMPLICATIONS:

Nil

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-81

MOVED: Cr W Aubin SECONDED: Cr J Rudge

RESOLVED:

That the information be noted.

8.2.2 GENERAL REPORT

File No: 03.00053

RECOMMENDATION:

That the information be noted.

REPORT:

The following reports are provided for Council's information.

- (a) Applications approved using authority delegated to the Director Environmental Planning & Building Services during March 2020 (**attachment 1**).
- (b) Applications refused during March 2020 (**attachment 2**).
- (c) Applications under assessment as at the date of compilation of this report (**attachment 3**).
- (d) Applications pending determination for greater than 40 days as at the date of compilation of this report (**attachment 4**).
- (e) Applications with variations to development standards under State Environmental Planning Policy No. 1 or Clause 4.6 of Bathurst Regional LEP 2014 approved in March 2020 (**attachment 5**).
- (f) No political disclosure statements have been received in relation to any "planning applications" being considered at this meeting.

FINANCIAL IMPLICATIONS:

Nil

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.6 Plan for, assess and regulate development activity.

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. DAs approved [8.2.2.1 - 2 pages]
2. DAs refused [8.2.2.2 - 1 page]
3. DAs pending [8.2.2.3 - 2 pages]
4. Over 40 days [8.2.2.4 - 1 page]
5. DA's Approved Under SEPP 1 [8.2.2.5 - 1 page]

MINUTE

RESOLUTION NUMBER: ORD2020-82

MOVED: Cr J Rudge SECONDED: Cr W Aubin

RESOLVED:

That the information be noted.

8.2.3 LOCAL STRATEGIC PLANNING STATEMENT

File No: 20.00335

RECOMMENDATION:

That Council:

- (a) place the draft Local Strategic Planning Statement (Vision Bathurst 2040) on public exhibition for a period of 28 days; and
 - (b) call a division.
-

REPORT:

Background

The NSW Government, through the planning legislation (Environmental Planning and Assessment Act 1979), have introduced a new requirement for a land-use based strategy for the Local Government Area, known as a Local Strategic Planning Statement. A draft Local Strategic Planning Statement (LSPS) has been prepared for the Bathurst Region, called Vision Bathurst 2040, which sets the direction for land-use issues for the next 20 years.

In preparing the draft Vision Bathurst 2040, Council staff have:

- consulted with the Bathurst community as part of a visioning activity in July 2019;
- consulted internally to ensure consistency with projects underway or being planned within the organisation;
- consulted with the Department of Planning, Industry and Environment to ensure consistency with the Central West and Orana Regional Plan; and
- consulted with other government agencies and considered relevant guidance information provided by a range of State agencies.

An opportunity was provided for Councillors to meet with Council staff to discuss the draft statement and the draft statement was presented to the March Councillor working party.

A full copy of the draft LSPS proposed for public exhibition is provided at **attachment 1**.

Purpose of the Local Strategic Planning Statement

The purpose of the LSPS is to guide how land is used in the Bathurst Region to achieve desirable economic, social and environmental outcomes. Vision Bathurst 2040 outlines how Council will manage land use change as the region moves towards a population of approximately 55,000 over the next 20 years.

The LSPS is not a Local Environmental Plan (LEP); it does not zone land nor consider individual sites. The LSPS sets the vision for how Council will manage land use change

into the future. It highlights those characteristics that make the Bathurst Region special. It outlines how to protect those characteristics that the community values. It details how Council can maximise and manage opportunities presented by change and it sets immediate and ongoing actions for the implementation of the plan.

The LSPS summarises the significant body of strategic planning work completed by Council (as shown in figure 1 of the draft Statement at **attachment 1**) and highlights studies and investigations that will need to be funded into the future. Unlike Council's other land use planning studies and strategies, the LSPS will carry statutory weight, particularly in relation to rezoning proposals and development application matters.

The draft LSPS was forwarded to the Department of Planning, Industry and Environment who have determined that the draft statement is consistent with the Central West and Orana Regional Plan and can proceed to public exhibition.

What the community has said so far

A series of workshops were held in July 2019 to identify the community's land use vision. Over 60 individuals and groups contributed.

The top messages Council heard were:

1. Water security.
2. Housing choice and affordability.
3. Health and education services for the Region.
4. Jobs growth.
5. Fostering agricultural land uses.
6. Resilience to climate change, including protection of the environment.
7. Manage growth to protect the Region's heritage and maintain local character.

Vision Bathurst 2040 – the Land Use Vision:

It is recommended Council plan for the Bathurst population to grow to an estimated 55,250 by 2036, an increase of 12,600 persons (2016 Dept of Planning).

The draft LSPS proposes a vision for 2040 inclusive of:

- A sustainable water supply that will meet the forecast population growth.
- A premier motor racing venue that showcases the Bathurst Region on an international stage.
- Housing diversity that meets the needs of the changing demographic, with a compact urban form to limit sprawl and protect the Region's agricultural resource.
- A moderate living density, maintaining the rural character of the Region and being 'different' to metropolitan Sydney.
- The protection of the Region's Indigenous and non-Indigenous heritage.
- The alignment of development, growth and infrastructure provision.
- Valuing the natural environment, planning for a changing climate and improving resistance to natural hazards and extreme weather events.
- Maintaining cultural and sporting heritage and continuing the development of cultural, sporting and recreation facilities to a regional standard.
- Becoming a smart community which embraces education, knowledge and technological change.

The LSPS includes nineteen planning priorities identified and grouped into four themes supported by:

- the Bathurst Regional Structure Plan map (figure 2 of the LSPS and provided separately at **attachment 2**)
- the City of Bathurst Structure Plan map (figure 3 of the LSPS and provided separately at **attachment 3**).

Together the planning priorities and the structure plan maps will shape the land use future of the Bathurst Region.

Nineteen Planning Priorities under 4 themes:

Nineteen planning priorities are included in the draft Statement with a range of actions to achieve each priority, both short and long term, inclusive of actions that require collaboration with other partners such as the State Government.

1. Infrastructure and transport

- Planning Priority 1 - Plan for water security
- Planning Priority 2 - Align development, growth and infrastructure
- Planning Priority 3 - Connect the Bathurst Region

2. Diverse and strong economy

- Planning Priority 4 - Maintain a thriving local business and retail economy
- Planning Priority 5 - Ensure a suitable supply of employment and urban services land
- Planning Priority 6 - Protect Mount Panorama (Wahluu) as a motor sport and event precinct
- Planning Priority 7 - Leverage new opportunities
- Planning Priority 8 - Become a Smart city

3. Heritage and sustainable environment

- Planning Priority 9 - Protect Indigenous cultural heritage
- Planning Priority 10 - Protect European and non-Indigenous heritage
- Planning Priority 11 - Maximise the Region's tourism opportunities
- Planning Priority 12 - Enhance environmentally sensitive land and biodiversity
- Planning Priority 13 - Protect primary production land
- Planning Priority 14 - Create a sustainable Bathurst Region
- Planning Priority 15 - Improve resilience to natural hazards and extreme weather events

4. Dynamic and healthy communities

- Planning Priority 16 - Provide new homes
- Planning Priority 17 - Create vibrant and sustainable local villages and rural settlements
- Planning Priority 18 - Deliver open space and recreation
- Planning Priority 19 - Deliver social, community and cultural infrastructure

Public Exhibition

The final draft statement at **attachment 1**, incorporating the community feedback from 2019 and the internal staff and Councillor feedback, has been prepared for public exhibition. The draft LSPS must be placed on public exhibition for a period of 28 days.

Following public exhibition the final LSPS will be presented to Council for consideration of its adoption. The legislation requires Council to have the adopted LSPS in place by 1 July 2020.

CONCLUSION:

The NSW Government, through the planning legislation, have introduced a new requirement for a land-use based strategy for the Local Government Area, known as a Local Strategic Planning Statement.

The purpose of the LSPS is to guide how land in the Bathurst Region is used to achieve desirable economic, social and environmental outcomes over the next 20 years. Vision Bathurst 2040 outlines how Council will manage land use change as the region moves towards a population of approximately 55,000 over the next 20 years.

The LSPS summarises the significant body of strategic planning work already completed by Council and is consistent with the Central West and Orana Regional Plan.

It is recommended that the final draft LSPS (at **attachment 1**) be placed on public exhibition for a period of 28 days.

FINANCIAL IMPLICATIONS:

Funding for this item is contained within existing budgets

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.6 Plan for, assess and regulate development activity.

Objective 5: Community health, safety and well being.

Strategy 5.3 Help build resilient, inclusive communities.

Strategy 5.5 Plan and respond to demographic changes in the community.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

Strategy 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently.

Strategy 6.3 Advocate for our community.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

02 **Consult** - to obtain public feedback on alternatives and/or decisions

ATTACHMENTS:

1. Draft Local Strategic Planning Statement [**8.2.3.1** - 106 pages]
2. Figure 2 - Bathurst Region Structure Plan [**8.2.3.2** - 1 page]
3. Figure 3: City of Bathurst Structure Plan [**8.2.3.3** - 1 page]

MINUTE

RESOLUTION NUMBER: ORD2020-83

MOVED: Cr M Morse SECONDED: Cr I North

RESOLVED:

That Council:

- (a) place the draft Local Strategic Planning Statement (Vision Bathurst 2040) on public exhibition for a period of 28 days; and
- (b) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse , Cr I North, Cr J Rudge

Against the Motion - nil

Absent - nil

Abstain - Nil

**8.2.4 DEVELOPMENT APPLICATION NO. DA 2019/374
– MIXED USE DEVELOPMENT - 505 CONROD
STRAIGHT MOUNT PANORAMA. APPLICANT:
KEITH TUCKER OWNER: MR K.G. TUCKER
AND MRS M.E. TUCKER**

File No: 2019/374

RECOMMENDATION:

That Council:

- (a) as the consent authority, grant consent pursuant to section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2019/374, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
- Suitable access to be constructed and finalised with decommissioning of the existing access prior to any occupation, or alternatively, the construction of the new access and decommissioning of the existing access should be scheduled as the first stage of development to ensure that the site is provided with adequate and suitable approved access from the outset.
 - The property is not to be used for commercial motor race hosting. Commercial motor race hosting means the use of land to provide viewing areas for motor racing for fee or reward for 13 or more persons.
 - The proposed tourist and visitor accommodation must not be used as a dwelling or by the same person or persons for more than 42 days (whether consecutive or not) in any calendar year.
 - The proposed machinery sheds are not to be used for residential human occupation or commercial or industrial purposes.
 - The camp sites for the primitive camping ground are to be located a minimum 10 metres off the common boundary with the unconstructed Council road reserve adjoining the northern boundary of the property.
 - The applicant is to apply for a local approval under Part F2, Section 68 of the Local Government Act 1993 for the operation of the primitive camping ground.

Note 1: Failure to obtain appropriate approvals is an offence under section 626 of the Local Government Act 1993. Failure to operate the camping ground in accordance with the approval is an offence under section 627 of the Local Government Act 1993.

Note 2: The camping ground is to be operated in accordance with the

following:

- a. No more than 12 persons to stay overnight at a campsite at any one time;
- b. No more than 8 campsites are to be located on the site at any one time;
- c. The applicant is to:
 - i. Maintain a register of occupants;
 - ii. Prepare and provide occupants with an Emergency Evacuation Plan;
 - iii. Ensure a copy of the approval for the camping ground and a copy of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 is available onsite;
 - iv. Provide adequate garbage removal systems;

in a manner consistent with the relevant clause of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005

No campsites are to be located within:

- a. 20 metres of any dam;
 - b. 10 metres of any effluent disposal area;
 - c. 20 metres of any property boundary with the exception of the northern boundary, which may be 10 metres;
 - d. 40 metres of the Conrod Straight property boundary.
- vii. The applicant is to provide fire fighting facilities as required.
- The proposed fire fighting measures must be installed and demonstrated to Council prior to the use of the site as a primitive camping ground.
- viii. The site is not to be used as a primitive camping ground at any time when the Mount Panorama Racing Circuit is closed to the public

- (b) notify those that made submissions of its decision; and
- (c) call a division.

REPORT:

The Site

Council has received a Development Application (DA) for a mixed use development incorporating the following:

- Change of use of existing dwelling to tourist and visitor accommodation;
- Erection of a new dwelling;
- Construction of five (5) new tourist & visitor accommodation cabins;
- Construction of two (2) double carports;
- Establishment of a primitive camping ground and associated facilities;

- Establish a new on-site effluent disposal system;
- Alterations and additions to an existing machinery shed;
- Alterations to an existing inground swimming pool;
- Construction of a new swimming pool;
- Construction of two (2) new machinery sheds; and
- Construction of a new access and decommissioning of existing access from Conrod Straight.

The site is Lot 143, DP 81944 being 505 Conrod Straight Mount Panorama comprising an area of 4.065 hectares.

A location plan is provided at **attachment 1**.

The site presently contains 2 dwellings and ancillary structures approved and constructed prior to the BRLEP 2014.

Surrounding land uses are residential, general agriculture, tourism related activities and the Mount Panorama Racing Circuit.

The Proposal

The development involves a mixed-use development incorporating:

- Change of use of existing dwelling to tourist and visitor accommodation;
- Erection of a new dwelling;
- Construction of five (5) new tourist & visitor accommodation cabins;
- Construction of two (2) double carports;
- Establishment of a primitive camping ground and associated facilities;
- Establishing a new on-site effluent disposal system;
- Alterations and additions to an existing machinery shed;
- Alteration of an existing inground swimming pool;
- Construction of a new swimming pool;
- Construction of two (2) new machinery sheds; and
- Construction of a new access with associated decommissioning of the existing access from Conrod Straight.

A plan of proposed development is located at **attachment 2** and the Statement of Environmental Effects at **attachment 3**.

The application, although not seeking staged development approval, nominates staging as follows (Note: the respective numbers identified under the stages are replicated on the proposed site plan No DA02 at attachment 2):

Stage 1

- 01 Existing dwelling – change of use to tourist accommodation including alterations and additions.
- 02 Construction of a self-contained accessible tourist accommodation unit with detached carport.
- 03 Additions to existing metal shed. Additions to include storage space and primitive camping ground amenities.
- 04 Proposed Primitive Camping Ground (34x20m) – 8 camp sites.
- 05 Proposed parking area for Primitive Camping Ground.
- 06 Additions to existing pool.

07 Effluent system location.

Stage 2

- 08 Construction of machinery shed.
- 09 Construction of replacement dwelling house and swimming pool.
- 10 Construction of self-contained tourist accommodation unit.
- 11 Construction of a carport (4 spaces).
- 12 Construction of a self-contained accessible tourist accommodation unit.

Stage 3

- 13 Construction of a self-contained tourist accommodation unit.
- 14 Construction of a carport (4 spaces).
- 15 Construction of a self-contained tourist accommodation unit.

Stage 4

- 16 Construction of a machinery shed.

Stage 5

- 17 New driveway/entry location (subject to separate approval process).
- 18 Existing driveway access to be removed following construction of the new driveway.

Planning Context

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned RU2 Rural Landscape under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. Tourist and visitor accommodation, dwelling houses and ancillary components to them such as carports and swimming pools, primitive camping grounds and machinery sheds are all permissible with consent.

The proposal is consistent with the objectives of the zone.

It is noted that the property currently contains 2 dwelling houses which would, for the purposes of characterisation, be considered a “dual occupancy”. Under the zoning provisions “residential accommodation” which includes a dual occupancy is a prohibited use. In this case the permissibility of the new dwelling is contingent upon the existing use rights provisions of the Environmental Planning and Assessment Act and the conversion of one of the existing dwellings into tourist and visitor accommodation.

The EP&A Regulations enables an existing use to variously be enlarged, expanded, intensified and altered or extended (Clause 41). Whilst there are limitations to the extent of alterations that may occur under Clause 42 – 44 these do not extend to strictly requiring the same dwelling or size of dwelling in the same location. In this case the existing use rights can be taken to extend to the entirety of the property given its historic usage. Similarly, the existing dwelling needs to be converted into tourist and visitor accommodation to avoid an intensification (i.e. a 3rd dwelling on the property) beyond the scope of the current existing use rights.

Clause 4.3 Height of Buildings

- (1) *The objectives of this clause are as follows—*

- (a) *to establish the maximum height limit to which buildings may be erected in certain locations.*
- (2) *The height of a building on any land is not to exceed the maximum height shown for the land on the [Height of Buildings Map](#).*

The Height of Buildings map shows a maximum allowable height of buildings on the subject site of 9 metres. The maximum height of the buildings to be constructed is no more than 7 metres from natural ground level (proposed dwelling, Lodge types 1 and 2 and Machinery Shed 2 types one and two).

The existing buildings on site, being the two dwellings and machinery shed, are all single storey.

Clause 7.6 Mount Panorama environs

- (1) *The objectives of this clause are as follows—*
 - (a) *to ensure development in and around the Mount Panorama Racing Circuit accounts for potential noise and other land use conflicts associated with motor racing and related events,*
 - (b) *to ensure the future of Mount Panorama as an international motor racing circuit.*
- (2) *This clause applies to land identified as “50 dBA” on the [Mount Panorama Environs Map](#).*
- (3) *Development consent must not be granted to development on land to which this clause applies unless the consent authority has considered—*
 - (a) *whether the development will result in an increase in the number of dwellings or land uses identified by the consent authority as sensitive noise receivers exposed to noise and other land use conflicts from motor racing and associated events, and*
 - (b) *whether noise impacts from motor racing and associated events are mitigated by or minimised by the design, siting or construction of the development to ensure that the amenity of the development is not adversely affected.*

Comment

The proposal is predominantly for establishment of tourist and visitor accommodation and will not increase the number of permanently occupied dwellings in the vicinity of the motor racing circuit i.e. there are currently 2 dwellings located on the property and that status will remain. The existing houses are situated approximately 3 and 27 metres away from the edge of the circuit. It is the latter that is proposed to be changed into tourist and visitor accommodation.

The proposed new dwelling, tourist and visitor cabins and primitive camping ground will be situated beyond 40 metres from the circuit. There will be minimal vegetation clearing for the proposed development as the site is presently cleared grazing land. Whilst any dwelling will be impacted by noise emanating from motor racing or associated events it will be similar to other dwellings within and surrounding the race track.

Clause 7.7 Mount Panorama tourist and visitor accommodation and eco-tourist facilities

- (1) *The objective of this clause is to regulate tourist and visitor accommodation and eco-tourist facilities in Zone RU2 Rural Landscape.*
- (2) *Development consent must not be granted for development for the purpose of tourist and visitor accommodation or eco-tourist facilities in Zone RU2 Rural Landscape unless the consent authority is satisfied that—*
 - (a) *if the land on which the development is to be located already contains a lawful dwelling house—the development will be erected within 50 metres of the dwelling house, and*
 - (b) *the development will be erected at least 40 metres away from the boundary with the Mount Panorama racing circuit, and*
 - (c) *each accommodation unit provided within the development will not have a gross floor area of more than 120 square metres, and*
 - (d) *the development will not be used by the same person for more than 42 days (whether consecutive or not) in any calendar year, and*
 - (e) *the development will not result in the construction of any additional vehicular access point to the land.*

Comment

The proposed tourist and visitor accommodation are clustered around the remaining dwelling and the proposed new dwelling as follows:

- The conversion of one of the existing dwellings and the proposed Lodge 1 are within 50 metres of the existing primary dwelling.
- Proposed lodges 2, 3, 4 and 5 will be within 50 metres of the proposed new replacement dwelling situated approximately 20 metres off the southern boundary and approximately 100 metres west of the racing circuit.

The two current dwellings are both located closer than 40 metres to the eastern boundary (Conrod Straight frontage) however they were established under previous planning approvals where the setback was not prescribed. All of the proposed new structures will be in excess of 40 metres from the racing circuit.

The existing dwelling to be converted to tourist and visitor accommodation and each of the 5 proposed new lodges have gross floor areas not exceeding 120 square metres.

Two of the tourist and visitor accommodation units (proposed lodge No 1 and lodge No 2) are designed to be accessible in accordance with the requirements of the National Construction Code (NCC).

Occupation of the tourist and visitor units can be conditioned not to exceed 42 days (whether consecutive or not) in any calendar year. Note that the imposition of this requirement is necessary to ensure that the proposed tourist and visitor accommodation is not used for more permanent occupation or as a dwelling.

The proposal does seek to establish a new access point to better serve the development together with removal of the existing access. Timing of the establishment of the new access to service potential increased traffic movements has been considered and should occur in stage 1 as opposed to the current proposal to construct it within stage 5 being the

last stage. The design of the new access will be subject to approval from Motorsport Australia (formerly CAMS) and FIA in addition to standard engineering requirements of Council.

Clause 7.8 Mount Panorama commercial motor race hosting

- (1) *Despite any other provisions of this Plan, development for the purpose of commercial motor race hosting is prohibited, except within Zone SP3 Tourist.*
- (2) *In this clause, commercial motor race hosting means the use of land to provide viewing areas for motor racing for a fee or reward to 13 or more persons. It may or may not include provision for accommodation, food or drink.*

Comment

The land is presently zoned RU2 Rural landscape. Restrictions on the site being used for commercial motor racing hosting should be imposed.

Primitive Camping Ground

The proposal includes a primitive camping ground accommodating 8 camp sites. A camp site means an area on which a campervan or tent may be installed or, in the case of a primitive camping ground, on which a campervan, tent or caravan may be installed. The primitive camping ground will be provided with amenities within the additions to the existing shed and its own parking area.

Primitive camping areas are subject to the provisions of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005. These are primarily contained in Clause 132 of the Regulation as follows:

Subdivision 9 Primitive camping grounds
132 Primitive camping grounds

- (1) *If an approval to operate a primitive camping ground designates one or more camp sites within that ground, then the maximum number of designated camp sites is not to exceed a mean average of 2 for each hectare of the camping ground (where that figure is the average calculated over the total area of the primitive camping ground).*
- (2) *The following conditions apply to a primitive camping ground—*
 - (a) *if the approval to operate the primitive camping ground designates one or more camp sites within that ground—camping is not permitted within the primitive camping ground other than on those designated camp sites,*
 - (b) *if the approval to operate the primitive camping ground does not designate one or more camp sites within that ground—the maximum number of caravans, campervans and tents permitted to use the camping ground at any one time is not to exceed a mean average of 2 for each hectare of the camping ground (where that figure is the average*

calculated over the total area of the primitive camping ground),

- (c) a caravan, annexe or campervan must not be allowed to be installed closer than 6 metres to any other caravan, annexe, campervan or tent,*
 - (d) a tent must not be allowed to be installed closer than 6 metres to any caravan, annexe or campervan or closer than 3 metres to any other tent,*
 - (e) the camping ground must be provided with a water supply, toilet and refuse disposal facilities as specified in the approval for the camping ground,*
 - (f) unoccupied caravans, campervans and tents are not to be allowed to remain in the camping ground for more than 24 hours,*
 - (g) if a fee is charged for camping, a register must be kept that contains entries concerning the same matters as are specified in clause 122 and, in addition, that specifies the size of the group (if any) with whom the person listed in the register camped,*
 - (h) such fire fighting facilities as may be specified in the approval are to be provided at the primitive camping ground.*
- (3) If the approval to operate a primitive camping site does not designate camp sites, a council may impose as a condition of the approval that the installation of tents, caravans, campervans and annexes is not permitted on a particular area or areas of land within the primitive camping ground, for reasons of health or safety or to ensure consistency with the principles of ecologically sustainable development or for any other purpose.*
- (4) The provisions of Subdivisions 1–8 do not apply to a primitive camping ground.*
- (5) For the purposes of subclause (2)(b), in the calculation of the number of tents using a camping ground, 2 or more tents occupied by not more than 12 persons camping together as a group are to be counted as only one tent.*
- (6) The general manager of the council for the area in which a primitive camping ground is located may modify the conditions under this clause as they apply to the camping ground if the general manager is reasonably satisfied that it is necessary to do so for the purposes of accommodating persons who have been displaced because of bush fires.*

In this case the property in question is 4.065 hectares. This gives rise to the 8 sites nominated for the property based on the 2 sites per hectare provision. The density is therefore consistent with that contemplated under the Regulations. The camping ground will have access to a water supply and facilities, and garbage collection is provided to the property.

The designated camping area is located on the northern boundary of the property and directly adjoins a 10m wide unconstructed Council road corridor on this boundary. Whilst there are no immediate plans to construct this road it would be prudent to require some setback from this road reserve and the adjoining property. It is therefore proposed that the primitive camping area be relocated 10 metres off this boundary to bring it into line with the provisions of Clause 6.2.3 of Council's DCP which requires tourist and visitor

accommodation to be 20m off the boundary.

It is also noted that the adjoining property to the south at 489 Conrod Straight has similarly had development consent to operate a primitive camping ground for 12 sites issued in 2013. This consent does not however appear to have been acted upon by the owners of the land.

Consistent with the consent for the adjoining property, the following conditions would apply to its operation:

- The applicant is to apply for a local approval under Part F2, Section 68 of the Local Government Act 1993 for the operation of the primitive camping ground.

Note 1: Failure to obtain appropriate approvals is an offence under section 626 of the Local Government Act 1993. Failure to operate the camping ground in accordance with the approval is an offence under section 627 of the Local Government Act 1993.

Note 2: The camping ground is to be operated in accordance with the following:

- d. No more than 12 persons to stay overnight at a campsite at any one time;
- e. No more than 8 campsites are to be located on the site at any one time;
- f. The applicant is to:
 - v. Maintain a register of occupants;
 - vi. Prepare and provide occupants with an Emergency Evacuation Plan;
 - vii. Ensure a copy of the approval for the camping ground and a copy of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 is available onsite;
 - viii. Provide adequate garbage removal systems;

in a manner consistent with the relevant clause of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005

No campsites are to be located within:

- e. 20 metres of any dam;
 - f. 10 metres of any effluent disposal area;
 - g. 20 metres of any property boundary with the exception of the northern boundary which may be 10 metres;
 - h. 40 metres of the Conrod Straight property boundary.
- The applicant is to provide fire fighting facilities as required.

The proposed fire fighting measures must be installed and demonstrated to Council prior to the use of the site as a primitive camping ground.
 - The site is not to be used as a primitive camping ground at any time when the Mount Panorama Racing Circuit is closed to the public

Bathurst Regional Development Control Plan 2014 – Chapter 6 Rural and Rural Lifestyle Development

6.2 Siting

6.2.1 Objectives

- a) *To prevent conflict between residential activities and primary industry.*
- b) *To ensure that development will not significantly adversely affect the use of adjoining land.*
- c) *To ensure that building sites do not impact on existing drainage patterns and water supplies.*
- d) *To protect the environmental qualities of the land.*

Comment

The subject land is zoned RU2 – Rural Landscape and contains a mix of current land uses including residential large lot lifestyle and minor agricultural pursuits. The surrounding lands are similar mixed uses but also includes tourist and visitor accommodation and tourist related activities. The proposal is considered to be generally consistent with the stated objectives as the land adjoining and adjacent is not used exclusively for primary production, the proposed development is unlikely to significantly affect the use of adjoining land, as the boundary setbacks provide an appropriate amenity buffer, and the overall design of the complex is sympathetic to the environment and will not impact existing drainage patterns.

6.2.2 General Considerations

Under this subclause the general provisions relating to the siting of buildings are provided in points b) and d) are relevant to the application:

- b) *A Development Application for new buildings is to locate and show as a minimum (where applicable) key existing natural environmental features including:
 - i) *existing natural drainage lines,*
 - ii) *existing farm dams,*
 - iii) *all existing tree and landscape features, and*
 - iv) *environmentally sensitive land features (e.g. rocky outcrops, steep slopes, ridges and hilltops).**
- d) *Where applicable, dwellings and other buildings are to be sited within a designated building envelope if shown on the relevant deposited plan and outside any 'Land Management Areas' identified on a relevant DCP map.*

Comment

The proposed development does fit in the locality given the nature, context and setting of

the site. There are no constraints posed by adjacent developments that would prohibit this proposal. The air quality and microclimate are appropriate for the development, there are no hazardous land uses or activities nearby, and ambient noise levels are suitable for the development.

The site is not subject to natural hazards including bushfire, flooding, slip or mass movement. The soil characteristics are appropriate for the development, and there are no known critical habitats or threatened species, populations, ecological communities or habitats on the site.

There are no designated building envelopes nor land management areas identified on the property.

6.2.3 Setbacks

For Tourist and Visitor Accommodation on lots less than 20 hectares a 20 metre front side and rear setback is required.

Comment

With the exception of the existing dwellings situated on the site adjacent to Conrod Straight the proposal meets the setback requirements for the proposed new structures. As noted above it is considered that the primitive camping ground should be relocated to achieve a 20m setback from the property on the northern boundary.

6.3 Access, Entrances and fencing

6.3.1 Objectives

- a) *To maintain a standard of fencing and entrances compatible with the rural landscape.*
- b) *To minimise the visual impact of rural lifestyle developments on major and minor roads including the gateway approaches to the City.*
- c) *To provide adequate access for Rural Fire Service resources.*

Comment

The proposed development will require a new entry onto Conrod Straight to facilitate safe and adequate access and egress. The access point and construction will need to be constructed in accordance with the requirements of Motorsport Australia (formerly CAMS) and FIA to ensure there is no conflict with the ongoing operations of the Circuit. Suitable conditions can be imposed to ensure compliance with the operational aspects of the racing circuit. The existing access is to be decommissioned as part of this process.

Additional considerations for the access in respect of the timing and the involvement of Motorsport Australia (formerly CAMS) and FIA in respect of the impact on the Circuit need to be considered. The existing access is not considered suitable for the overall proposal due to limited sight distances and is not considered adequate for stage one works based on the current staging of development. This aspect would be compounded with the current proposal to defer construction of a new access and reliance on the existing access until stage 5, meaning there is no guarantee of the new access actually being provided. It is considered that a suitable condition be imposed requiring the access to be constructed and finalised as part of the first stage of development to ensure that the site is provided with adequate and suitable approved access from the outset.

Fencing along the Conrod Straight frontage will be reviewed by Motorsport Australia (formerly CAMS) and FIA however, it is considered that the current fencing is compliant and suitable.

6.4 Onsite Effluent Disposal

6.4.1 Objectives

- a) *To ensure that adequate site area is provided to enable appropriate on-site sewerage management in rural and rural lifestyle locations that are not connected to a reticulated sewerage system.*

Comment

The site is not on a reticulated sewerage system. The proposal has included a site review with regard to additional areas/s suited to onsite wastewater management sufficient to cater for the proposed development subject to system design. On this basis there is adequate area available on site to manage the likely peak loads of effluent.

6.5 Water Supply Requirements

6.5.1 Objectives

- a) *To ensure that adequate water resources are supplied to new developments for domestic and fire fighting purposes in those locations where a reticulated water supply is not available.*

Comment

The subject site is connected to Council's reticulated water supply. There will however need to be upgrading to service the development. There is sufficient capacity in the system to accommodate the necessary upgrade. The site will have rainwater tanks connected to the building for additional water collection and the applicant has advised that there is a bore on site that can be utilised with the tanks for firefighting purposes, grounds maintenance and dust suppression.

Bathurst Regional Development Control Plan 2014 – Chapter 8 Mount Panorama and Environs

Chapter 8 section 8.1.2 Strategic Objectives - provides the key strategic objectives for the Mount Panorama Precinct as:

- a) *To provide regional open space and recreation opportunities.*
- b) *To minimise the fragmentation of agricultural lands, protect highly valued agricultural lands and encourage the consolidation of small holdings.*
- c) *To minimise the alienation of rural lands from competing and conflicting land uses.*

Section 8.2 Use of Land - provides at section 8.2.1 the following objectives:

- a) *To encourage and promote development in the vicinity of Mount Panorama that is compatible with motor racing activities, and complementary to existing rural activities and the environmental characteristics of the locality.*

- b) *To discourage development that may prejudice Mount Panorama as an international motor racing circuit.*
- c) *To maintain the rural landscape character of the land.*
- d) *To provide for a range of compatible uses, including extensive agriculture.*

Comment

The proposed development does fit in the locality given the nature, context and setting of the site and it is considered that the key strategic objectives and the use of land objectives are generally met.

Bathurst Regional Community Participation Plan 2019

The criteria in Part 3 of the Bathurst Regional Community Participation Plan 2019 - Development Applications, was considered and a determination was made that the Development Application did not warrant notification to adjoining property owners.

Notwithstanding, two submissions were received in respect of the proposed development. A representation by Steele and Co Solicitors was made on behalf of the adjoining owners of 489 Conrod Straight (**attachment 4**). The owners of 489 Conrod Straight also lodged an individual submission (**attachment 5**).

The matters of concern in the submissions included:

1. The nature and scale of the development in respect of the RU2 Rural Landscape zoning;

Comment: The development represents a permissible use within the zone and is at a scale consistent with the planning provisions as adopted by Council and within accompanying legislation. Within the RU2 zone there is a mixture of rural residential and tourist and visitor accommodation currently occurring around Mount Panorama.

2. The lack of notification;

Comment: The development did not require notification in accordance with Council's Community Participation Plan. Notwithstanding, Council received two submissions which are considered herein.

3. A perceived noncompliance with Council Planning Provisions namely sections 7.7 and 7.8 of the BRLEP and provisions of Clause 8.2.1(c) of the BRDCP;

Comment: As noted within this report, the proposal complies with Clause 7.7 and 7.8 of the LEP and 8.2.1 of the DCP.

4. Impacts on amenity;

Comment: The uses occurring under this proposal are not dissimilar to those occurring at a number of properties surrounding the Mount Panorama Racing Circuit. Overall, they are reflective of the rural residential nature of the area but also representative of the areas importance to tourism.

5. General nature of the proposal

Comment: The proposal is a permissible development and is consistent with the

underlying planning provisions relating to the land.

6. Proximity to the adjoining boundary;

Comment: The development complies with the proximity provisions available under Council's planning instruments.

7. The incompatibility with the surrounding rural land use;

Comment: The proposal is a permissible development and is consistent with the underlying planning provisions relating to the land.

8. Impact on amenity from noise, dust and smoke;

Comment: The proposal is a permissible development and is consistent with the underlying planning provisions relating to the land.

9. A lack of privacy;

Comment: The development complies with the proximity provisions available under Council's planning instruments.

10. A potential devaluing of their property.

Comment: Impact upon the value of property is not a matter for consideration under the Environmental Planning and Assessment Act.

As is current practice when submissions are received, a submissions discussion chaired by the Director of Environmental and Planning and Building Services was held at which the applicant, his consultant, the adjoining landowner and their legal representative were present.

Minutes of the discussion forum are provided at **attachment 6**.

Response to the meeting from Steele and Co is provided at **attachment 7**.

In this response it was reiterated that a number of the adjoining owners' concerns remain and were not addressed to their satisfaction, particularly compliance with the relevant provision of the BRCLEP and BRCDGP.

CONCLUSION:

This Development Application involves a mixed use development incorporating:

- Change of use of existing dwelling to tourist and visitor accommodation;
- Erection of a new dwelling;
- Construction of five (5) new tourist & visitor accommodation cabins;
- Construction of two (2) double carports;
- Establishment of a primitive camping ground and associated facilities;
- Establishing a new on-site effluent disposal system;
- Alterations and additions to an existing machinery shed;
- Alteration of an existing inground swimming pool;

- Construction of a new swimming pool;
- Construction of two (2) new machinery sheds; and
- Construction of a new access with associated decommissioning of the existing access.

The proposed development complies with Council's planning provisions.

The development application has been assessed in accordance with the matters for consideration under section 4.15 of the *Environmental Planning & Assessment Act 1979*, and all relevant environmental planning instruments and Council policies, and is considered to comply with all relevant items.

FINANCIAL IMPLICATIONS:

Nil

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 2: A smart and vibrant economy.

- Strategy 2.5 Support Mount Panorama as a premier motor sport and event precinct.
 Strategy 2.6 Promote our City and Villages as a tourist destination.

Objective 4: Enabling sustainable growth.

- Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.
 Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.
 Strategy 4.6 Plan for, assess and regulate development activity.

Objective 6: Community leadership and collaboration.

- Strategy 6.4 Meet legislative and compliance requirements.
 Strategy 6.5 Be open and fair in our decisions and our dealings with people.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Location Plan [8.2.4.1 - 1 page]
2. DA plans [8.2.4.2 - 45 pages]
3. Statement of Environmental Effects [8.2.4.3 - 30 pages]
4. Submission - Steele & Co [8.2.4.4 - 6 pages]
5. Submission - Clarke, Norman & Marie [8.2.4.5 - 7 pages]
6. Discussion Forum Minutes [8.2.4.6 - 3 pages]
7. Steele & Co response to Discussion Forum [8.2.4.7 - 3 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-84

MOVED: Cr I North SECONDED: Cr J Fry

RESOLVED:

That Council:

- (a) as the consent authority, grant consent pursuant to section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2019/374, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
3. Suitable access to be constructed and finalised with decommissioning of the existing access prior to any occupation, or alternatively, the construction of the new access and decommissioning of the existing access should be scheduled as the first stage of development to ensure that the site is provided with adequate and suitable approved access from the outset.
 5. The property is not to be used for commercial motor race hosting. Commercial motor race hosting means the use of land to provide viewing areas for motor racing for fee or reward for 13 or more persons.
 - The proposed tourist and visitor accommodation must not be used as a dwelling or by the same person or persons for more than 42 days (whether consecutive or not) in any calendar year.
 4. The proposed machinery sheds are not to be used for residential human occupation or commercial or industrial purposes.
 - The camp sites for the primitive camping ground are to be located a minimum 10 metres off the common boundary with the unconstructed Council road reserve adjoining the northern boundary of the property.
 - The applicant is to apply for a local approval under Part F2, Section 68 of the Local Government Act 1993 for the operation of the primitive camping ground.

Note 1: Failure to obtain appropriate approvals is an offence under section 626 of the Local Government Act 1993. Failure to operate the camping ground in accordance with the approval is an offence under section 627 of the Local Government Act 1993.

Note 2: The camping ground is to be operated in accordance with the following:

7. No more than 12 persons to stay overnight at a campsite at any one time;
8. No more than 8 campsites are to be located on the site at any one time;
9. The applicant is to:
 - Maintain a register of occupants;

- Prepare and provide occupants with an Emergency Evacuation Plan;
- Ensure a copy of the approval for the camping ground and a copy of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005 is available onsite;
- Provide adequate garbage removal systems;

in a manner consistent with the relevant clause of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005

No campsites are to be located within:

- iii. 20 metres of any dam;
 - iv. 10 metres of any effluent disposal area;
 - v. 20 metres of any property boundary with the exception of the northern boundary, which may be 10 metres;
 - vi. 40 metres of the Conrod Straight property boundary.
- vii. The applicant is to provide fire fighting facilities as required.
- The proposed fire fighting measures must be installed and demonstrated to Council prior to the use of the site as a primitive camping ground.
- viii The site is not to be used as a primitive camping ground at any time when the Mount Panorama Racing Circuit is closed to the public
- (b) notify those that made submissions of its decision; and
- (c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse , Cr I North, Cr J Rudge

Against the Motion - nil

Absent - nil

Abstain - Nil

8.2.5 DEVELOPMENT APPLICATION NO. 2019/403 – ASPHALT PLANT AT 23 ZAGREB STREET, KELSO. APPLICANT: DOWNER GROUP LTD. OWNER: BATHURST REGIONAL COUNCIL

File No: 2019/403

RECOMMENDATION:

That Council:

- (a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2019/403, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:

1. The operation must comply with the following Noise Criteria at the identified sensitive noise receivers.

Receiver	Project Noise Trigger Levels (PNTL) dB(A)		
	Day	Evening	Night
R1 - 21 White Rock Road, White Rock	40	35	35
R2 - 73 White Rock Road, White Rock	40	35	35
R3 - The Scots School	40	35	35
R4 - 62 Lee Street, Kelso	58	48	43
R5 - Eastern Active Recreation Area	55	N/A	N/A
R6 - School playground	55	N/A	N/A
R7 - 45 Ridgeview Close, White Rock	40	35	35
R8 - 68 Lee Street, Kelso	58	48	43

2. Prior to the issue of the Construction Certificate the developer is to submit to Council for approval a Noise Management Plan that includes but not limited to the following:
 - Noise monitoring for the first year of operation as stated within the assessment;
 - Notification procedures for sensitive receivers, particularly during winter night time campaigns; and
 - Mitigation measures to be implemented, particularly in case of an exceedance.

NOTE: A final report outlining the noise monitoring for the first year of operation is to be submitted to Council within three (3) months of completion.

3. Prior to the issue of the Construction Certificate, the developer is to submit to Council for approval a Complaints Management Plan that includes a public complaints procedure and register.
4. The paving and permanent line marking of all vehicular manoeuvring and parking areas, in accordance with Bathurst Regional Council's Guidelines for Engineering Works.
5. Prior to the issue of the Occupation Certificate, the developer is to submit to Council a final completion report on the review and upgrade of the triple interceptor pits on the site.
6. Prior to the issue of the Construction Certificate, the developer is to undertake the further investigative work identified in the *Soil And Groundwater Investigation* prepared by BlueSphere Environmental (dated 25 September 2018), prepare a Remediation Action Plan (RAP), undertake the remediation work and then upon completion of the remediation work provide Council with a final Validation Report.
7. The development is to be conducted in a manner that will not interfere with the amenity of the locality by reason of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, oil, by causing interference to television or radio reception or otherwise.
8. All exterior lighting associated with the development shall be designed and installed so that no obtrusive light will be cast onto any adjoining property or in an upward manner.

NOTE 1: Compliance with Australian Standard AS4282 "Control of the Obtrusive Effects of Outdoor Lighting" will satisfy this condition.

9. Prior to the issue of the Construction Certificate, the developer is to submit to Council a Construction Management Plan which includes (but is not limited to) the following:
 - a) Traffic management, including:
 - i) Loading, unloading and material storage areas;
 - ii) Access to adjoining properties; and
 - iii) Parking areas (for construction workers and surrounding properties).
 - b) Noise.
 - c) Soil and water management
 - d) Waste management
 - e) Stabilisation and monitoring of adjoining buildings.
 - f) Vibration.
 - g) Proposed methods of communication, including:
 - i) Communication with adjoining property owners;
 - ii) Communication with the general public; and
 - iii) Complaints management.
10. In accordance with the *Interim Construction Noise Guideline*, construction work involving the use of electric or pneumatic tools or other noisy operations shall be carried out only between 7.00 am and 6.00 pm on weekdays, 8.00 am and 1.00 pm on Saturdays and no work on Sundays and public holidays.

11. The development is to be conducted, and the site managed, in such a manner that sediment is not tracked onto the public road or discharged to the environment via stormwater or site runoff.
12. Prior to the issue of the construction certificate the developer is to submit to Council for approval a staged Soil and Water Management Plan, approved for implementation by a Certified Professional in Erosion and Sediment Control and which includes (but is not limited to) the following:
 - a) Assessment including:
 - i. Constraints analysis
 - ii. Erosion Hazard Assessment
 - iii. RUSLE Calculation and Soil Loss Class identification
 - iv. Sediment Basin Test
 - v. Identification of Sediment Type
 - b) Erosion controls including:
 - i. Access limitations
 - ii. Staging and ordering of works
 - iii. Exclusion zones
 - iv. Stockpile location and management
 - v. Access and road locations
 - vi. Dust management
 - vii. Site office
 - viii. Water diversion
 - ix. Velocity dissipator including outlet velocity in m/s
 - c) Sediment controls including
 - i. Diversion drains and sediment basins, including calculations (to determine dimensions, storage zones, settling zones, flow rates etc)* and appropriate discharge points and controls. Type C sediment basins are not to be used.
 - ii. Sediment fences
 - iii. Stabilised access points
 - d) Maintenance instructions:
 - i. Record keeping, inspection regimes and checklists
 - ii. Flocculation and/or discharge treatments that meet 50mg/L total suspended solids at neutral pH.
 - iii. Cleaning and maintenance measures
 - iv. Waste management
 - e) Stabilisation instructions
 - i. C-factor[^] or percentage ground cover requirements for works and post-construction
 - ii. Stabilisation for diversion drains and discharge points
 - iii. Topsoil recovery and replacement
 - iv. Staged site stabilisation
 - f) Standard design drawings as per the Landcom Soils and Construction Volume 1 – “The Blue Book” OR the International Erosion Control Association requirements
 - g) Site plan/s detailing the above.

* For sites where disturbance is likely to be less than six months, the 75th percentile storm depth is to be used. For sites where disturbance is likely to be more than six months, the 80th percentile storm depth is to be used. If the discharge location is deemed to be sensitive locations (i.e. residential land, waterway, offsite water course) the 80th percentile storm

depth is to be used. For land that is to be disturbed for more than six months AND discharges to sensitive locations, the 85th percentile storm depth is to be used.

- ^ As a minimum, progressive stabilisation of site is to achieve a C-factor of 0.10 or about 60% ground cover within 20 days and a C-factor of 0.05 or about 70% within 2 months/at completion of works.

NOTE 1: All erosion and sediment control measures must be in place prior to earthworks commencing and implemented for the duration of construction.

13. The demolition is to be carried out in accordance with the provisions of Australian Standard AS2601-2001: The Demolition of Structures and Council's Code for the Demolition of Buildings.
 14. If any unidentified material not previously identified as part of an investigation are uncovered during the development, then all works shall stop immediately in that area and Council be contacted. Works are not to recommence until approval has been received from Council. Depending upon the nature and significance of the material, further assessment may be required before further work can continue in that area. Unexpected finds include but are not limited to:
 - a) Suspected contamination in the form of ash, staining, discolouration, odours, underground petroleum storage systems or suspected asbestos containing material; or
 - b) Suspected Aboriginal relics in the form of tools, artwork, bones etc; or
 - c) Suspected non-Aboriginal heritage relics not previously identified.
 15. Prior to any demolition the developer is to complete and submit to Council for approval a completed Council Waste Management Plan (enclosed). The Plan shall include, but not be limited to, the following:
 - The types of waste to be handled;
 - Volume of each waste;
 - Management and storage of waste:
 - Method of waste disposal;
 - Method of waste transport; and
 - Disposal location.
 16. Upon completion of demolition work the developer is to submit to Council a finalised Waste Management Plan and proof of appropriate waste disposal at a licensed facility.
 17. Upon completion of demolition work and prior to disposal for all material to be disposed of offsite, the developer is to complete and submit to Council a Report showing that a Waste Classification has been completed in accordance with NSW EPA Waste Classification Guidelines Part 1: Classifying waste.
 - (b) call a division.
-

REPORT:

The Site

Council has received a Development Application (DA) for an asphalt plant at 23 Zagreb Street, Kelso, described as Lot 300, DP 1099537.

See location plan and aerial photo at **attachment 1**.

The subject site currently contains an existing asphalt plant that has been in operation for approximately 39 years. Infrastructure on the site comprises the following:

- Existing hot mix asphalt plant;
- Stockpile areas;
- Storage areas;
- Bitumen tank;
- Demountable administration office;
- Workshop;
- Underground waste storage;
- Car parking at the north-eastern boundary;
- Truck waiting areas; and
- Internal roads.

History of the Site

The existing asphalt plant was approved by Council in 1978 under Development Application 1978/0085. The plant was fully operational by 1981 and has operated continuously ever since.

Council involvement in the land

Bathurst Regional Council is the registered owner of 23 Zagreb Street.

Downer occupy the land pursuant to a long-term lease with Council. That agreement was most recently renewed in 2017. Beyond the agreement to lease the land, Council has no other involvement in the operation of the facility.

Council's General Manager has provided consent to the application on behalf of Council as the owner of the land.

The proposal

The proposal involves replacement of the existing asphalt plant with a new fixed asphalt plant. All other infrastructure (e.g. site offices and amenities) on the subject site will be retained.

The following table summarises the project.

Project Life	50 years
Production	1,200 tonnes per day on average. Annual production approximately 60,000 tonnes, dependant on the market.
Hours of operation	Ability for 24 hours a day, 7 days a week as required on a project basis. Outside specific project work standard operating hours of 6.00am to 6.00pm Monday to Friday, will generally apply.

Site Access	Site access and egress from Zagreb Street on the north-eastern boundary of the project site.
Materials	<p>Materials used in the production of asphalt that will be transported to the site include:</p> <ul style="list-style-type: none"> (i) Reclaimed Asphalt Product (RAP); (ii) Modified Toner Polymer (from recycled printer cartridges); (iii) Pelletised tyre rubber; (iv) Bitumen; (v) Hydrated lime; (vi) Fine sand; and (vii) Aggregate and quarry product. <p>Aggregate and quarry products will be sourced from Oberon Quarry. Asphalt produced on site will be transported to local projects within the region as required.</p>
Employment	12 full time employees and 2 casual employees working full time onsite at the plant. There is also an asphalt crew made up of 10 people including permanent and casual staff (not including sub-contractors). Additionally, approximately 10-14 sub contracted truck drivers will make up the ancillary staff.

The plan of proposed development is at **attachment 2**).

See the body of the Environmental Impact Statement (EIS) (without the Appendices) at **attachment 3**.

Full copies of the Environmental Impact Statement including the Appendices can be obtained from Council's DA Tracker website or by contacting the Environmental Planning and Assessment Department. The Appendices comprise the following:

- Appendix 1 – Statement of Authorship
- Appendix 2 – Secretary's Environmental Assessment Requirements
- Appendix 3 – Noise Assessment
- Appendix 4 – Air Quality Assessment
- Appendix 5 – Traffic Assessment
- Appendix 6 – Ecological Database Search
- Appendix 7 – AHIMS Search
- Appendix 8 – Heritage Database Searches
- Appendix 9 – Contamination Report

It should be noted that the existing and proposed plants will not operate concurrently. Production will be moved to Downer's mobile batching plant at Oberon while the Kelso plant is decommissioned/demolished and the new plant constructed/commissioned.

Decommissioning and removal of the existing plant is expected to take 1-2 weeks. Construction and commissioning of the new plant is expected to take 6-12 months.

Land within the vicinity

The site is located within the Kelso Industrial Estate. The site is bound by storage and warehouse uses on the immediate northern and western boundaries. Simplot's Kelso Plant is also located in close proximity to the north. Immediately to the east of the site is

the Kelso logistics centre.

On the southern boundary is the Kelso Industrial Park levee with a tributary of the Raglan Creek running along the outside toe of the levee.

The nearest non-associated dwellings are at 58, 62 and 68 Lee Street approximately 240m from the site. These 3 particular dwellings are however on land zoned for industrial purposes.

The closest non industrial zoned dwelling (21 White Rock Road) is located approximately 340 m to the south east with the Wallaroi Rural Residential Estate commencing approximately 500m away.

Scots School is located to the south east of the site. The nearest boarding house is approximately 350m.

Planning Context

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

The proposal is Designated Development for the purposes of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2000. Clause 5 of Schedule 3 of the Environmental Planning and Assessment Regulation 2000 provides the following:

5 Bitumen pre-mix and hot-mix industries

- (1) *Bitumen premix or hot-mix industries (being industries in which crushed or ground rock is mixed with bituminous materials)—*
 - (a) *that have an intended production capacity of more than 150 tonnes per day or 30,000 tonnes per year, or*
 - (b) *that are located—*
 - (i) *within 100 metres of a natural waterbody or wetland, or*
 - (ii) *within 250 metres of a residential zone or dwelling not associated with the development.*
- (2) *This clause does not apply to bitumen plants located on or adjacent to a construction site and exclusively providing material to the development being carried out on that site—*
 - (a) *for a period of less than 12 months, or*
 - (b) *for which the environmental impacts were previously assessed in an environmental impact statement prepared for the development.*

As the average the daily production will be 1,200 tonnes and the annual production will be approximately 60,000 tonnes, the threshold criteria is exceeded and the proposal is Designated Development.

Protection of the Environment Operations Act 1997

The proposed development is not a scheduled activity under the Protection of the Environment Operations Act 1997 and therefore does not require an Environment Protection Licence (EPL) from the Environment Protection Authority (EPA).

Despite not requiring an EPL the new plant will operate under the conditions of the

Reclaimed Asphalt Pavement Exemption 2014 and the Recovery of Tyres Exemption 2014 for the reuse of those resources in the production process.

State Environmental Planning Policy (State and Regional Development) 2011

The Capital Investment Value (CIV) for the proposed development is \$4,854,000. As the CIV is less than \$5 million, the proposed development is not considered regionally significant development under State Environmental Planning Policy (State and Regional Development) 2011.

Council is the Consent Authority rather than the Joint Regional Planning Panel.

State Environmental Planning Policy No. 33 – Hazardous and Offensive Development

SEPP 33 applies if a proposal is for an industrial development that requires consent, and it is either potentially hazardous industry or potentially offensive industry (or both).

SEPP 33 defines a hazardous industry as:

“... a development for the purposes of an industry which, when the development is in operation and when all measures proposed to reduce or minimise its impact on the locality have been employed (including, for example, measures to isolate the development from existing or likely future development on other land in the locality), would pose a significant risk in relation to the locality—

- (a) to human health, life or property, or*
- (b) to the biophysical environment.”*

SEPP 33 defines an offensive industry as:

“... a development for the purposes of an industry which, when the development is in operation and when all measures proposed to reduce or minimise its impact on the locality have been employed (including, for example, measures to isolate the development from existing or likely future development on other land in the locality), would emit a polluting discharge (including, for example, noise) in a manner which would have a significant adverse impact in the locality or on the existing or likely future development on other land in the locality.”

The Department of Planning has developed a checklist and a risk screening procedure to assist in determining whether a development proposal falls within the definition of potentially hazardous industry. The screening procedure is based on the quantity of dangerous goods involved in the proposal and, in some cases, the distance of these materials from the site boundary.

The applicant has undertaken a preliminary risk screening to evaluate against the identified thresholds:

- the volume of hazardous materials stored at the site;
- the location of hazardous materials within the site relative to boundaries;
- frequency of transport of hazardous materials;

The preliminary risk screening concluded that, based on the volume, the location and the transport frequency, the proposal is not a hazardous or offensive industry.

State Environmental Planning Policy No 55. – Remediation of Land

A Soil and Groundwater Investigation has been undertaken on the subject site. The Investigation draws the following conclusions:

- Areas of potential contamination identified during the historical review and site walkover included the asphalt production plant, emulsion production area, current and former AST, former UST, former wash bay, gravel drainage line, waste oil areas and on-Site laboratory. These are the areas which were targeted during the intrusive investigation, with the remainder of locations selected on a systematic grid-based approach.
- The results of the soil investigation completed at the Site showed that the contaminant concentrations were all either below laboratory detection limits or below the adopted criteria for a commercial/industrial land use with the exception of total recoverable hydrocarbons (TRHs) in the south-western portion of the Site.
- TRH concentrations were identified above the adopted ecological criteria in the south-western portion of the Site. In addition, the health screening level for vapour intrusion and TRH management limits were exceeded in one of the samples retrieved from the location of the gravel drainage line in the south-western portion of the Site.
- During the soil investigation, the gravel drainage line was identified in the south-western portion of the site. Highly odorous perched water was identified at the interface between the gravel and underlying natural clayey soil and the soil was visibly impacted and odorous. The sample of perched water had elevated TRHs and naphthalene concentrations.
- Groundwater was identified in a confined aquifer approximately 6 m below ground surface in the three groundwater wells installed for this investigation. Based on the reduced standing water levels in the four wells monitored during the investigation, the groundwater flow direction was found to be in a north-westerly direction.
- Groundwater concentrations exceeded adopted guideline values for copper, lead, nickel and zinc, however, based on the concentrations of these metals in the up-gradient monitoring well (MW04) it is considered likely that these concentrations are indicative of natural conditions rather than due to site activities. The concentrations of lead measured in the down-gradient wells is higher than in the up-gradient well, however, the marginal exceedance of the guidelines is not considered to be significant in view of the distance to the nearest receiving water body and the nearest groundwater extraction wells.
- The pH in the down-gradient groundwater wells was slightly outside the recommended pH ranges for aquatic ecosystems and irrigation water.
- The groundwater well installed down-gradient from the gravel drainage line reported groundwater at this location was impacted by low-level concentrations of TRHs. There are no specific criteria for TRHs in groundwater however, at the concentrations measured it would not impact on current or realistic future uses of the groundwater, or cause an unacceptable environmental or human-health impact in the receiving water body.

The Investigation report makes the following recommendations:

- The condition of the soil and groundwater at the Site would not preclude the ongoing use of the site for a commercial/industrial land use.
- Soil impacted with elevated TRHs has been identified in the south-western portion of the Site. The extent of potential impact is not defined and would require further investigation to determine the significance of the extent and magnitude of the impact.
- The gravel drainage line may be providing a preferential pathway for identified hydrocarbons in the soil and perched water to migrate off-Site. To minimise any potential impact off-Site, it is recommended that the gravel material be excavated and replaced with a more suitable material. This would limit the possibility of migration of contaminants either off-Site or into the underlying aquifer.

State Environmental Planning Policy (Infrastructure) 2007

Clause 85 Development adjacent to rail corridors

There is an active rail spur line located on the adjoining property to the east. The rail spur line is a minimum of 12 metres from the boundary and all new infrastructure will be sited over 25 metres from the rail spur line. An existing security fence and vegetation separates the subject site from the rail spur line and therefore the development is unlikely to have any adverse impacts of the rail spur line.

State Environmental Planning Policy No. 44 – Koala Habitat Protection

The subject site is highly disturbed given that it has been used as an asphalt plant for over 39 years. While there are tree and shrub species around the perimeter of the site, the subject site does not contain any potential koala habitat.

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned IN1 General Industrial under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. The objectives of the IN1 General Industrial zone are as follows:

- *To provide a wide range of industrial and warehouse land uses.*
- *To encourage employment opportunities.*
- *To minimise any adverse effect of industry on other land uses.*
- *To support and protect industrial land for industrial uses.*
- *To enable development that serves the needs of the workforce.*
- *To promote development that will protect the scenic qualities and enhance the visual character of the entrances to the city of Bathurst.*

The proposal is consistent with the objectives of the zone.

The proposal is defined as *general industry* the definition of which are as follows:

“...a building or place (other than a heavy industry or light industry) that is used to carry out an industrial activity.”

An industrial activity is defined as:

“... means the manufacturing, production, assembling, altering, formulating, repairing, renovating, ornamenting, finishing, cleaning, washing, dismantling, transforming, processing, recycling, adapting or servicing of, or the research and

development of, any goods, substances, food, products or articles for commercial purposes, and includes any storage or transportation associated with any such activity.

A general industry is permissible with consent in the IN1 General Industrial zone.

Clause 4.3 Height of buildings

The subject site is not identified on the Height of Buildings Map and therefore no maximum overall building height applies.

Clause 4.4 Floor space ratio

The Floor Space Ratio map for the subject site identifies a maximum floor space ratio of 1:1. Given the small footprint of the existing and proposed structures on the site, the floor space ratio will not be exceeded.

Clause 5.10 Heritage conservation

The subject site does not contain any State or Local Heritage Items. The nearest Heritage Items are located over 600 metres to the north of the subject site (Lee Street concrete bridge) and over 600 metres to the south-east of the subject site (The Scots School – original Karralee buildings).

Given the distance between the subject site and the Heritage Items and that there is no direct line of sight, the proposal is unlikely to have any adverse impacts on the significance of the Heritage Items.

An Aboriginal Heritage Information Management System (AHIMS) search was undertaken to determine if there were any recorded Aboriginal sites or places on or in the vicinity (200 metre radius) of the subject sites. The search did not reveal any Aboriginal sites or places on or in the vicinity of the subject site. The site has been subject to long term industrial usage and accordingly the likelihood to any unrecorded sites is low.

Clause 7.3 Airspace operations

While the subject site is within the Bathurst airport environs the proposed plant will not penetrate the Limitation or Operations Surface. The Limitation or Operations Surface is approximately 119.5 metre above the subject site and the proposed plant will only have an overall height of 24 metres.

Clause 7.5 Essential Services

The subject site is already connected to reticulated water, sewer and stormwater services. The subject site has an existing ingress/egress to Zagreb Street.

7.14 Drinking water catchments

The subject site is not identified as being within a drinking water catchment on the Drinking Water Catchment Map.

Bathurst Regional Development Control Plan 2014

Chapter 5 Business and Industrial Development	
Development Standard	Comment

5.2 Siting Considerations	Minimum setbacks provided by the DCP and by the NCC will be exceeded.
5.3 Soil and Water Management	<p>A condition will be imposed to ensure that a detailed Soil and Water Management Plan is submitted to Council for endorsement prior to the issue of a Construction Certificate.</p> <p>A further condition will be imposed to ensure that the erosion and sediment controls identified in the endorsed Soil and Water Management Plan are implemented prior to the commencement of demolition/construction on the site.</p>
5.6 Parking, Access and Manoeuvring Areas	The proposal does not include any alteration to the existing parking, access or manoeuvring arrangements on the site.
5.7 Clean Business and Industry	<p>A condition will be imposed to ensure that a detailed Soil and Water Management Plan is submitted to Council for endorsement prior to the issue of a Construction Certificate.</p> <p>An Air Quality Impact Assessment has been submitted with the Development Application (see discussion below).</p> <p>A Noise Impact Assessment has been submitted with the Development Application (see discussion below). The assessment has been prepared in accordance with the Industrial Noise Policy.</p>
5.8 Open Areas and Fencing	All activities are located behind the front building alignment and are screened by existing vegetation on the site. The subject site has an existing security fence.
Chapter 9 Environmental Considerations	
9.8 Flora and Fauna Surveys	<p>A detailed Ecological Assessment has not been undertaken for the proposal given the highly disturbed nature of the site and its surrounds.</p> <p>A desktop analysis including ecological database search has been undertaken.</p> <p>No vegetation removal is proposed.</p>
Chapter 11 Outdoor Lighting	
	A condition will be imposed to ensure that all exterior lighting associated with the development is designed and installed so that no obtrusive light will be cast onto any adjoining property and therefore achieve compliance with Australian Standard AS4282

	<i>"Control of the Obtrusive Effects of Outdoor Lighting"</i> .
Chapter 12 Signage and Colour Schemes	
	No additional advertising signage has been proposed.
Chapter 13 Landscaping and Greening	
	The subject site has established landscaping around the perimeter.
Chapter 14 Parking	
	The proposal does not include any alteration to the existing parking, access or manoeuvring arrangements on the site. Council's DCP requires 1 parking space per 2 employees or 1 space per 100m ² , whichever is greater. With a maximum of 14 employees on site at any one time, the minimum requirement of 7 parking spaces is already exceeded.
Chapter 16 Earthworks	
	As the subject site is already level, no significant cut or fill is proposed.

Public Exhibition

In accordance with the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2000 the Development Application was publicly exhibited for a period of 28 days between Tuesday 25 January 2020 and Monday 24 February 2020.

Public exhibition comprised the following elements:

- Notice in Western Advocate on 25 January 2020 and on 8 February 2020;
- Written notification to all properties within 500 metre radius of subject site; and
- Written notification to White Rock Progress Association.

No submissions were received during the public exhibition period.

Agency Notification

In accordance with Clause 77 of the Environmental Planning and Assessment Regulation 2000 the Development Application was notified to the following government agencies for their consideration and comment:

Agency	Comments from Agency
NSW Environment Protection Authority	As at the completion of this report no response has been received.
Roads & Maritime Services	As at the completion of this report no response has been received.
NSW Department of Primary Industries	Decision not required.
NSW Department of Planning Environment & Industry (Biodiversity Conservation Division)	The proposed development is being undertaken on an already disturbed site. No impacts to biodiversity will occur and no native vegetation will be removed. No BDAR

	has been prepared. No impacts to Aboriginal cultural heritage are likely given the disturbed nature of the site.
Natural Resources Access Regulator (NRAR)	A Controlled Activity Approval is not required and no further assessment by this agency is therefore necessary.

It should be noted that the Development Application is not “Integrated Development” meaning that the consent/concurrence of any other government authorities is not required.

Planning Assessment

Noise

A detailed Noise Impact Assessment, prepared by Umwelt, has been submitted with the Development Application. The assessment addresses construction noise, operational noise and traffic noise.

The following table identifies the nearest noise receptors

Receiver Number	Address	Distance to site boundary	Direction from site
R1	21 White Rock Road, White Rock	340 m	SE
R2	71, 73 and 75 White Rock Road, White Rock	600 m	SE
R3	The Scots School - Bathurst, 4173 O'Connell Road, White Rock	350 m	SE
R4	58 and 62 Lee Street, Kelso	240 m	N
R5	Alec Lamberton Playing Field	200 m	E
R6	The Scots School - Bathurst, 4173 O'Connell Road, White Rock	440 m	SE
R7	9 and 14 Vista Place, White Rock 45 and 46 Ridgeview Close, White Rock	1100 m	SE
R8	68 Lees Street, Kelso	240 m	N

Background Noise Levels

For the purposes of assessment the application assumes background noise levels are:

- 35dBA during the daytime period (7am – 6pm);
- 30dBA during the evening period (6pm – 10pm); and
- 30dBA during the night time period (10pm – 7am).

This approach is consistent with one of the approaches available under the NSW Industrial Noise Policy. The alternative approach is to undertake actual background noise levels. Where the noise levels are greater than the assumed levels they can be used for assessment purposes.

The approach taken therefore represents the most conservative approach to determining noise levels. For instance, the background noise levels used for the purposes of

assessment on the adjoining freight terminal at 21 White Rock Road were as follows:

- 37dBA during the daytime period (7am – 6pm);
- 36dBA during the evening period (6pm – 10pm); and
- 32dBA during the night time period (10pm – 7am).

Project Noise Trigger Levels

The following table outlines the Project Noise Trigger Levels (PNTLs). The PNTLs are defined as the lower (that is, the more stringent) of the Project Intrusive Noise Level (PINL ie Background plus 5dBA) and the Project Amenity Noise Level (PANL) in terms of LAeq(15 minute) noise levels

Receivers	Time of Day	PINL (Project Intrusiveness Noise Level)	PANL (Project Amenity Noise Levels)	PNTL (Project Noise Trigger Levels)
R1, R2, R3 & R7	Day period (7.00 am-6.00 pm Monday - Saturday, 8.00 am-6.00 pm Sunday & Public Holidays)	40	48	40
	Evening Period (6.00 pm – 10.00 pm)	35	43	35
	Night period (10.00 pm to commencement of Day period)	35	38	35
R4 & R6	Day period (7.00 am-6.00 pm Monday -Saturday, 8.00 am-6.00 pm Sunday & Public Holidays)	-	58	58
	Evening Period (6.00 pm – 10.00 pm)	-	48	48
	Night period (10.00 pm to commencement of Day period)	-	43	43

Operational Noise

The following table outlines predicted noise levels **with** noise mitigation treatments (i.e. a standard plant with Level 1 and Level 2 noise mitigation treatments).

Level 2 noise mitigation treatments comprise:

- A burner equipped with silencer;
- Chimney equipped with silencer;
- Cladding for virgin aggregate elevator head; and
- Cladding for transfer elevator/screen.

Receiver	Project Noise Trigger Levels (PNTL)	Noise Level Laeq (15 minute) dB(A)
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	Day	Evening	Night	Calm conditions (all times except winter nights)	Winter Nights (with Temperature Inversion)
R1 - 21 White Rock Road, White Rock	40	35	35	35	37*
R2 - 73 White Rock Road, White Rock	40	35	35	28	31
R3 - The Scots School	40	35	35	36*	38*
R4 - 62 Lee Street, Kelso	58	48	43	36	38
R5 - Eastern Active Recreation Area	55	N/A	N/A	45	N/A
R6 - School playground	55	N/A	N/A	31	N/A
R7 - 45 Ridgeview Close, White Rock	40	35	35	22	26
R8 - 68 Lee Street, Kelso	58	48	43	42	44*

As noted in the table above there will be minor exceedances of the PNTL at three sensitive receivers under worst-case noise-enhancing meteorological conditions as follows.

- 21 White Rock Road will exceed the PNTL by 2 dBA during the evening and night time periods on a winter evening with temperature inversion.
- Scots School will exceed the evening and night time PNTL during calm conditions and on a winter evening with temperature inversion by 1 – 3dBA.
- 68 Lee Street will exceed the PNTIL by 1 dBA during the night time period on a winter evening with temperature inversion.

Downer has indicated that the plant would only run at night in response to a specific campaign and in those instances the campaigns would generally last shorter than 6 weeks duration. Campaigns are more likely to occur over warmer months as asphalt is generally not laid when the road temperature is too low. Downer have advised the following temperature limits for the following asphalt seal thicknesses:

Seal Thickness	Temperature Limit
<45mm	10°
>45mm	5°

Road temperatures around Bathurst would often fall below 5° during the winter months, especially under inversion conditions (which are conducive to frosts and ice formation on roads). Campaigns during the winter months when inversion conditions are most likely would be rare. Due to the low temperatures, it is expected that receivers would have their windows closed during the months relevant to enhancing weather conditions. The predicted noise level is for outside the receiver with closed windows providing additional mitigation to the noise level received within the residence.

Downer have advised that the number of night shifts undertaken at the existing plant in

the winter months in recent years are as follows:

- **2016** – 17 night shifts (majority working on the Great Western Highway upgrade at Kelso).
- **2017** – 25 night shifts (all on local streets for Bathurst Regional Council, continuous for 4-5 weeks from late July to end of August).
- **2018** – Nil night shifts.
- **2019** – Nil night shifts.

The *Noise Policy for Industry* provides the following:

If the predicted noise level minus the project noise trigger level is:	And the total cumulative industrial noise level is:	Then the significance of residual noise level is:
≤ 2 dB(A)	Not applicable	Negligible
≥ 3 but ≤ 5 dB(A)	< recommended amenity noise level or > recommended amenity noise level, but the increase in total cumulative industrial noise level resulting from the development is less than or equal to 1dB	Marginal
≥ 3 but ≤ 5 dB(A)	> recommended amenity noise level and the increase in total cumulative industrial noise level resulting from the development is more than 1 dB	Moderate
> 5 dB(A)	≤ recommended amenity noise level	Moderate
> 5 dB(A)	> recommended amenity noise level	Significant

In accordance with the *Noise Policy for Industry* the residual noise impacts are considered to be “Negligible” at receivers R1 and R8 (21 White Rock and 68 Lee Street). The residual noise impacts are considered to be “Marginal” at receiver R3 (Scots School).

It is the applicant’s position that these night time events are unlikely to be common and ranges from negligible to marginal. There is an underlying risk that these receivers will be subject to noise in excess of the levels generally considered acceptable in the Noise Policy for Industry. Given the absence of any information on the existing noise levels from operations on receivers it is difficult to justify allowance being made for these exceedances. This is particularly so given that there are potentially a significant number of people that may be affected at the Scots School. The condition proposed therefore adopts the position that the noise levels should be those calculated in the Noise Policy for Industry being marginally less than those contained in the EIS at these sensitive receivers. Compliance can be achieved by either limiting operations to the appropriate climatic conditions, formulating noise mitigation measures or by further investigation of

existing background noise levels to determine compliance.

The following table outlines the predicted maximum noise levels (sleep disturbance) from the proposed plant.

Receiver	PNTL	Noise Level LAMax dB(A)	
	LAMax	Calm Conditions (all times except winter nights)	Winter Nights (with Temperature Inversion)
R1 - 21 White Rock Road, Kelso	52	46	46
R2 - 73 White Rock Road, Kelso	52	40	40
R3 - The Scots School	52	45	46
R4 - 62 Lee Street, Kelso	52	44	44
R7 - 45 Ridgeview Close, White Rock	52	35	35
R8 - 68 Lee Street, Kelso	52	52	53

The predicted noise levels are therefore within the maximum sleep disturbance criteria as outlined in the Noise Policy for Industry.

Construction Noise

Construction activities are proposed to be restricted to the recommended standard hours as defined in the *Interim Construction Noise Guidelines*. It is expected that construction noise emissions would readily comply with the criteria during standard construction hours due to the separation distance between the site and the nearest receivers and the expected construction activities associated with construction of the new asphalt plants and the decommissioning of the old plant.

The recommended universal work practices at any time of day include:

- Regularly train workers and contractors (such as at toolbox talks) to use equipment in ways to minimise noise.
- Avoid the use of radios or stereos outdoors where neighbours can be affected.
- Keep truck drivers informed of designated vehicle routes, parking locations, acceptable delivery hours or other relevant practices (for example, minimising the use of engine brakes, and no extended periods of engine idling).
- Develop a one-page summary of construction noise management conditions described in this report and where applicable the ICNG that relate to relevant work practices, so that all site operators can quickly reference noise information.

In the unlikely event that construction activities are required outside of standard construction hours, the following additional noise mitigation measures will be implemented in accordance with the *Interim Construction Noise Guidelines*:

- provide notification to the community
 - provide notification before and during construction
 - implement an effective and consultative complaints and community enquiry handling procedure
- plant and equipment
 - use quieter construction methods

- e.g. if possible, avoid the use of equipment which generates impulsive noise
 - avoid dropping materials from a height
 - avoid metal-to-metal contact on equipment
 - schedule truck movements to avoid residential streets if possible
- use quieter equipment
 - minimise the need for reversing or movement alarms
 - use silenced equipment when available
- on site management
 - avoid mobile plant clustering near residences and other sensitive land uses.
 - design the site layout to minimise reversing alarms
 - position noisy equipment behind structures to provide noise shielding to receivers
- work scheduling
 - ensure periods of respite are provided in the case of unavoidable maximum noise level events
 - schedule activities to minimise noise impacts
 - organise deliveries and site access to minimise noise at receivers.

Construction traffic volumes are expected to be low and construction noise impacts are expected to be minimal. Noise impacts from construction related traffic will be minimised by avoiding construction related traffic from entering or leaving the site outside of standard construction hours.

Traffic Noise

Road Category	Criteria dB(A)	Existing Estimated Road Traffic Noise Impact dB(A)	Predicted Road Traffic Noise Impact with Project dB(A)	Predicted Noise Increase due to Project dB(A)
Local Roads - Lee Street, Toronto Street, Zagreb Street¹	Day (7.00 am – 10.00 pm) LAeq, (15 hour) 60 (external)	66.2	66.2	Less than 0.1
	Night (10.00 pm – 7.00 am) LAeq, (15 hour) 55 (external)	67.2	67.3	Less than 0.1
Arterial/sub-arterial roads - Littlebourne Street, O'Connell Road, Great Western Highway²	Day (7.00 am – 10.00 pm) LAeq, (1 hour) 55 (external)	54.6	55.2	0.8
	Night (10.00 pm – 7.00 am) LAeq, (1 hour) 50 (external)	52.0	52.8	0.8

Note ¹ For a worst case setback distance of 30 metres

Note ² For a worst case setback distance of 40 metres

As outlined in the table above, the existing situation is that the traffic noise criteria are exceeded. Traffic from the proposed development will contribute an imperceptible increase in traffic noise at average production levels, with an increase of less than 0.8 dB for local roads and an increase of less than 0.1 dB for arterial and sub arterial roads. This

level of contribution is significantly below the 2 dB trigger nominated in the NSW Road Noise Policy (DECCW 2011) which represents a minor impact that is considered barely perceptible to the average person.

Air Quality/Odour Mitigation and Management Measures

Air Quality

A detailed Air Quality Assessment, prepared by Jacobs, has been submitted with the Development Application. The assessment addresses air quality and odour.

Air quality criteria is set by NSW EPA. The following table outlines the relevant air quality assessment criteria for the pollutants relevant to the proposal.

Substance	Average Time	Criteria
Nitrogen dioxide(NO₂)	1-hour	246 µg/m ³
	Annual	62 µg/m ³
Carbon monoxide (CO)	1-hour	30 µg/m ³
	8-hour	10 µg/m ³
Particulate matter (PM₁₀)	24-hour	50 µg/m ³
	Annual	25 µg/m ³
Particulate matter (PM_{2.5})	24-hour	25 µg/m ³
	Annual	8 µg/m ³
Sulfur dioxide (SO₂)	1-hour	570 µg/m ³
	24-hour	228 µg/m ³
	Annual	60 µg/m ³
Polycyclic Aromatic Hydrocarbons (PAH) (Benzene)	1-hour	29 µg/m ³

Total pollutant emissions have been calculated on the basis of maximum predicted levels from the plant combined with background concentrations. The following table outlines the predicted ground level concentrations.

Statistic	Predicted maximum ground level concentration due to plan	Background level	Predicted maximum ground level concentration with background levels	Criterion
Predicted maximum 1-hour average CO (mg/m³)	0.3	3	3.3	30
Predicted maximum 8-hour average CO (mg/m³)	0.2	3	3.2	10
Predicted maximum 1-hour average NO₂ (µg/m³)	4.7	101	105.7	246

Predicted annual average NO ₂ (µg/m ³)	1.3	17	18.3	62
Predicted maximum 1-hour average SO ₂ (µg/m ³)	23.3	498	521.3	570
Predicted maximum 24-hour average SO ₂ (µg/m ³)	8.4	60	68.4	228
Predicted annual average SO ₂ (µg/m ³)	1.3	5	6.3	60
Predicted maximum 24-hour average PM ₁₀ (µg/m ³)	0.5	29	29.5	50
Predicted annual average PM ₁₀ (µg/m ³)	0.1	14	14.1	25
Predicted maximum 24-hour average PM _{2.5} (µg/m ³)*	0.5	18	18.5	25
Predicted annual average PM _{2.5} (µg/m ³)*	0.1	8	8.1	8
Predicted maximum 1-hour average benzene (µg/m ³)	2	-	-	29

NOTE: * All PM₁₀ has been assumed to be PM_{2.5}

Nitrogen Dioxide (NO₂)

Based on the above results, Nitrogen Dioxide concentrations are expected to comply with the EPA criteria at all times.

Carbon Monoxide (CO)

Based on the above results, Carbon Monoxide concentrations are expected to comply with the EPA criteria at all times.

Particulate Matter (as PM₁₀ and PM_{2.5})

Based on a conservative approach that all PM₁₀ emissions are PM_{2.5} the model results show that PM_{2.5} concentrations due to the plant will be well below the EPA's 24-hour average criterion. The model results suggest that annual average PM_{2.5} concentrations would exceed the EPA's criterion of 8 µg/m³ however this is because the assumed background level is already at the criterion being 8 µg/m³. The maximum contribution from the plant is predicted to be low at 0.1 µg/m³ and as such, the plant is unlikely to be the sole cause of annual average PM_{2.5} concentrations exceeding the criterion as the assumed background level is already at the criterion.

Sulfur Dioxide (SO₂)

Based on the above results, Sulfur Dioxide concentrations are expected to comply with the EPA criteria at all times.

PAH (as Benzene)

Based on the above results, Benzene concentrations are expected to comply with the

EPA criteria at all times.

Odour

Potential odour-related impacts from worst-case operations (i.e. peak production, with continuous operations throughout the year) were predicted. The odour concentrations were predicted to be less than 1 odour unit (OU) at surrounding sensitive receivers. This is below the EPA's criterion of 2 OU. This outcome is consistent with observations from existing asphalt batching operations at the site where there has been no history of odour complaints. Considering these findings, no specific control measures were assessed as being required.

Air Quality/Odour Mitigation and Management Measures

The following air quality/odour mitigation measures will be implemented:

- Particulate matter emissions from the dryer and the main tower will be captured and directed to a cyclone to remove coarser particulates and then to a fabric filter (bag-house) to remove fine particulates. The captured particulates would be returned to the production process. The fabric filter will be equipped with an online dust monitor to alert personnel in the event of bag leakage or failure. Particulate matter collection efficiency is in the order of 99.9%.
- The drum dryer, elevator and mixing tower would operate under slight vacuum to minimise dust escaping through seals.
- The dryer burner would be routinely maintained and tuned to improve combustion efficiency and reduce emissions of carbon monoxide and organic compounds associated with incomplete combustion.
- All process controls need to be regularly inspected and maintained in accordance with an inspection and maintenance schedule for the plant
- Low sulfur fuels would be chosen, where possible, to minimise SO₂ emissions from combustion.
- Wind conditions would be reviewed at the time of handling potentially odorous materials, and the timing or duration of activities is modified accordingly to minimise the transport of emissions towards sensitive receptors. Data from the Bureau of Meteorology's weather station at Bathurst Airport would be an appropriate source.

Traffic

Proposal Traffic Generation

The following table outlines the estimated traffic generation for the proposal.

Traffic Movements	Description	Estimated Volumes
Supply Truck Movements	During operation, average hourly and peak hourly truck movements (total): - daytime (7am to 6pm) - evening (6pm to 10pm) - night (10pm to 7am)	- Agg trucks – 1 per hour during days of operation - Sand trucks – 8 per day - Bitumen tankers – 1 per day - Hydrated Lime – 2 per day Note: All the above are made on the assumptions on maximum capacity

Asphalt Truck Movements	<p>During operation, average hourly and peak hourly truck movements (total):</p> <ul style="list-style-type: none"> - daytime (7am to 6pm) - evening (6pm to 10pm) - night (10pm to 7am) 	<p>Maximum assumed movements - 10 truck and trailer or semi movements averaged throughout the day with a maximum of 2 rounds per truck and trailer – should night shift be required (rare occasion) then truck movement assumptions to be based on the same number.</p>
Light Vehicle Movements	<p>During operation, average hourly and peak hourly light vehicle movements (total):</p> <ul style="list-style-type: none"> - daytime (7am to 6pm) - evening (6pm to 10pm) - night (10pm to 7am) 	<p>15 – 20 cars per day for day shift hours 10 cars for night shift</p>

Access Routes

The proposed access route to the subject site remains unchanged from the existing operations ie.

- Zagreb Street
- Whyalla Circuit
- Toronto Street
- Lee Street
- Hampden Park Road
- Littlebourne Street
- Sydney Road (Great Western Highway)

The following table outlines the existing traffic volumes and Levels of Service (LoS) for the access routes.

Road	Location	Peak Period	Peak Flow	Mid-Block Road Capacity	Level of Service
Great Western Highway	East Littlebourne Street	AM Peak	459 E/B 632 W/B	900 (one-way)	A A
		PM Peak	683 E/B 898 W/B	900 (one-way)	A A
Great Western Highway	West of Littlebourne Street	AM Peak	734 E/B 1072 W/B	900 (one-way) 1400 (one-way)	A B
		PM Peak	1006 E/B 1314 W/B	1400 (one-way) 1400 (one-way)	B B
Littlebourne Street	South of Great Western Highway	AM Peak	559 N/B 321 S/B	600 (one-way) 380 (one-way)	C B
		PM Peak	565 N/B 472 S/B	600 (one-way) 600 (one-way)	C C
Lee Street	North of Toronto Street	AM Peak	0 N/B 1 S/B	200 (one-way)	A A

		PM Peak	0 N/B 11 S/B	200 (one-way)	A
Lee Street	South of Toronto Street	AM Peak	120 N/B 86 S/B	200 (one-way)	A A
		PM Peak	90 N/B 134 S/B	200 (one-way)	A A
Toronto Street	West of Lee Street	AM Peak	86 E/B 121 W/B	200 (one-way)	A
		PM Peak	123 E/B 87 W/B	200 (one-way)	A

The following table outlines the forecast traffic volumes and Levels of Service (LoS) for the access routes.

Road	Location	Peak Period	Peak Flow	Mid-Block Road Capacity	Level of Service
Great Western Highway	East Littlebourne Street	AM Peak	484 E/B 657 W/B	900 (one-way)	A A
		PM Peak	708 E/B 923 W/B	900 (one-way)	A B
Great Western Highway	West of Littlebourne Street	AM Peak	759 E/B 1072 W/B	900 (one-way) 1400 (one-way)	A B
		PM Peak	1031 E/B 1339 W/B	1400 (one-way) 1400 (one-way)	B B
Littlebourne Street	South of Great Western Highway	AM Peak	584 N/B 346 S/B	600 (one-way) 380 (one-way)	C B
		PM Peak	590 N/B 472 S/B	600 (one-way) 600 (one-way)	C C
Lee Street	North of Toronto Street	AM Peak	25 N/B 26 S/B	200 (one-way)	A A
		PM Peak	25 N/B 36 S/B	200 (one-way)	A A
Lee Street	South of Toronto Street	AM Peak	145 N/B 111 S/B	200 (one-way)	A A
		PM Peak	105 N/B 159 S/B	200 (one-way)	A A
Toronto Street	West of Lee Street	AM Peak	111 E/B 146 W/B	200 (one-way)	A
		PM Peak	148 E/B 112 W/B	200 (one-way)	A

As identified in the table above the road network will continue to operate at an appropriate Level of Service with the estimated project related traffic increase. With the minimal change in forecast traffic flows in any one hour this includes the operation of intersections and particularly the intersection of Littlebourne Street and the Great Western Highway. Overall the forecast from the assessment is for continued satisfactory performance. Even if all the predicted traffic were to access the site via the Littlebourne Street/Lee Street

intersection the level of flows is such that there would be no discernible change in operations. It is expected that the flows are likely to be split between both Lee Street and Hampden Park Road.

Parking

Council's DCP requires 1 parking space per 2 employees or 1 space per 100m², whichever is greater. With a maximum of 14 employees on site at any one time, the minimum requirement of 7 parking spaces is already exceeded.

Visual Impact

The tower component of the proposed plant will have an overall height of approximately 24 metres compared to the existing plant of approximately 18 metres. The new plant will therefore be approximately 6 metres higher than the existing plant. As a result, the new plant is likely to be partially visible from Lee Street and White Rock Road. The new plant may also be partially visible from the Scots School and residential/rural residential areas in Kelso and White Rock however the views will mostly be obscured by existing industrial buildings in the precinct and established landscaping on and in the vicinity of the site which includes mature trees.

The site is within an established industrial precinct characterised by numerous tall buildings and structures. While higher than the existing plant, the proposed plant is not considered to be visually offensive given its setting.

External Lighting

A condition will be imposed to ensure that all exterior lighting associated with the development is designed and installed so that no obtrusive light will be cast onto any adjoining property and therefore achieve compliance with Australian Standard AS4282 "*Control of the Obtrusive Effects of Outdoor Lighting*".

Soil & Water Management

A condition will be imposed to ensure that a detailed Soil and Water Management Plan is submitted to Council for endorsement prior to the issue of a Construction Certificate.

The developer has acknowledged that the existing interceptor pits that collect and separate stormwater and Hydrocarbon runoff may be undersized. The required capacity will be confirmed in the preparation of the Soil and Water Management Plan and the appropriate system upgrade implemented during construction of the new plant.

CONCLUSION:

Council has received a Development Application (DA) for an asphalt plant at 23 Zagreb Street, Kelso, described as Lot 300, DP 1099537. The subject site is owned by Bathurst Regional Council but is under a long-term lease to Downer. Council's General Manager has provided owners consent for the lodgment of the Development Application. The subject site currently contains an existing asphalt plant that has been in operation for approximately 39 years. The proposal involves replacement of the existing asphalt plant with a new fixed asphalt plant. All other infrastructure (e.g. site offices and amenities) on the subject site will be retained. Potential impacts, particularly in relation to noise, air quality/odour and traffic have been addressed in the Environmental Impact Statement submitted with the Development Application and these have been further considered in this report. It is recommended for the reasons outlined in this report that the Development

Application be approved with appropriate conditions.

FINANCIAL IMPLICATIONS:

Nil

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.6 Plan for, assess and regulate development activity.

COMMUNITY ENGAGEMENT:

02 **Consult** - to obtain public feedback on alternatives and/or decisions

ATTACHMENTS:

1. Location Plan & Aerial [8.2.5.1 - 2 pages]
2. DA Plans [8.2.5.2 - 2 pages]
3. Environmental Impact Statement (without appendices) [8.2.5.3 - 90 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-85

MOVED: Cr J Rudge SECONDED: Cr I North

RESOLVED:

That Council:

- (a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2019/403, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
 1. The operation must comply with the following Noise Criteria at the identified sensitive noise receivers.

Receiver	Project Noise Trigger Levels (PNTL) dB(A)		
	Day	Evening	Night
R1 - 21 White Rock Road, White Rock	40	35	35
R2 - 73 White Rock Road, White Rock	40	35	35
R3 - The Scots School	40	35	35
R4 - 62 Lee Street, Kelso	58	48	43

R5 - Eastern Active Recreation Area	55	N/A	N/A
R6 - School playground	55	N/A	N/A
R7 - 45 Ridgeview Close, White Rock	40	35	35
R8 - 68 Lee Street, Kelso	58	48	43

2. Prior to the issue of the Construction Certificate the developer is to submit to Council for approval a Noise Management Plan that includes but not limited to the following:
 - c. Noise monitoring for the first year of operation as stated within the assessment;
 - d. Notification procedures for sensitive receivers, particularly during winter night time campaigns; and
 - e. Mitigation measures to be implemented, particularly in case of an exceedance.

NOTE: A final report outlining the noise monitoring for the first year of operation is to be submitted to Council within three (3) months of completion.

3. Prior to the issue of the Construction Certificate, the developer is to submit to Council for approval a Complaints Management Plan that includes a public complaints procedure and register.
4. The paving and permanent line marking of all vehicular manoeuvring and parking areas, in accordance with Bathurst Regional Council's Guidelines for Engineering Works.
5. Prior to the issue of the Occupation Certificate, the developer is to submit to Council a final completion report on the review and upgrade of the triple interceptor pits on the site.
6. Prior to the issue of the Construction Certificate, the developer is to undertake the further investigative work identified in the *Soil And Groundwater Investigation* prepared by BlueSphere Environmental (dated 25 September 2018), prepare a Remediation Action Plan (RAP), undertake the remediation work and then upon completion of the remediation work provide Council with a final Validation Report.
7. The development is to be conducted in a manner that will not interfere with the amenity of the locality by reason of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, oil, by causing interference to television or radio reception or otherwise.
8. All exterior lighting associated with the development shall be designed and installed so that no obtrusive light will be cast onto any adjoining property or in an upward manner.

NOTE 1: Compliance with Australian Standard AS4282 "Control of the Obtrusive Effects of Outdoor Lighting" will satisfy this condition.

9. Prior to the issue of the Construction Certificate, the developer is to submit to Council a Construction Management Plan which includes (but is not limited to) the following:
 - a) Traffic management, including:
 - i) Loading, unloading and material storage areas;
 - ii) Access to adjoining properties; and
 - iii) Parking areas (for construction workers and surrounding properties).
 - b) Noise.
 - c) Soil and water management
 - d) Waste management
 - e) Stabilisation and monitoring of adjoining buildings.
 - f) Vibration.
 - g) Proposed methods of communication, including:
 - i) Communication with adjoining property owners;
 - ii) Communication with the general public; and
 - iii) Complaints management.
10. In accordance with the *Interim Construction Noise Guideline*, construction work involving the use of electric or pneumatic tools or other noisy operations shall be carried out only between 7.00 am and 6.00 pm on weekdays, 8.00 am and 1.00 pm on Saturdays and no work on Sundays and public holidays.
11. The development is to be conducted, and the site managed, in such a manner that sediment is not tracked onto the public road or discharged to the environment via stormwater or site runoff.
12. Prior to the issue of the construction certificate the developer is to submit to Council for approval a staged Soil and Water Management Plan, approved for implementation by a Certified Professional in Erosion and Sediment Control and which includes (but is not limited to) the following:
 - a) Assessment including:
 3. Constraints analysis
 4. Erosion Hazard Assessment
 5. RUSLE Calculation and Soil Loss Class identification
 6. Sediment Basin Test
 7. Identification of Sediment Type
 - b) Erosion controls including:
 3. Access limitations
 4. Staging and ordering of works
 5. Exclusion zones
 6. Stockpile location and management
 7. Access and road locations
 8. Dust management
 9. Site office
 10. Water diversion
 11. Velocity dissipator including outlet velocity in m/s
 - c) Sediment controls including
 - Diversion drains and sediment basins, including calculations (to determine dimensions, storage zones, settling zones, flow rates etc)* and appropriate discharge points and controls. Type C sediment basins are not to be used.

- Sediment fences
- Stabilised access points
- d) Maintenance instructions:
 - Record keeping, inspection regimes and checklists
 - Flocculation and/or discharge treatments that meet 50mg/L total suspended solids at neutral pH.
 - Cleaning and maintenance measures
 - Waste management
- e) Stabilisation instructions
 - C-factor[^] or percentage ground cover requirements for works and post-construction
 - Stabilisation for diversion drains and discharge points
 - Topsoil recovery and replacement
 - Staged site stabilisation
- f) Standard design drawings as per the Landcom Soils and Construction Volume 1 – “The Blue Book” OR the International Erosion Control Association requirements
- g) Site plan/s detailing the above.

* For sites where disturbance is likely to be less than six months, the 75th percentile storm depth is to be used. For sites where disturbance is likely to be more than six months, the 80th percentile storm depth is to be used. If the discharge location is deemed to be sensitive locations (i.e. residential land, waterway, offsite water course) the 80th percentile storm depth is to be used. For land that is to be disturbed for more than six months AND discharges to sensitive locations, the 85th percentile storm depth is to be used.

[^] As a minimum, progressive stabilisation of site is to achieve a C-factor of 0.10 or about 60% ground cover within 20 days and a C-factor of 0.05 or about 70% within 2 months/at completion of works.

NOTE 1: All erosion and sediment control measures must be in place prior to earthworks commencing and implemented for the duration of construction.

13. The demolition is to be carried out in accordance with the provisions of Australian Standard AS2601-2001: The Demolition of Structures and Council’s Code for the Demolition of Buildings.
14. If any unidentified material not previously identified as part of an investigation are uncovered during the development, then all works shall stop immediately in that area and Council be contacted. Works are not to recommence until approval has been received from Council. Depending upon the nature and significance of the material, further assessment may be required before further work can continue in that area. Unexpected finds include but are not limited to:
 - a) Suspected contamination in the form of ash, staining, discolouration, odours, underground petroleum storage systems or suspected asbestos containing material; or
 - b) Suspected Aboriginal relics in the form of tools, artwork, bones etc; or
 - c) Suspected non-Aboriginal heritage relics not previously identified.

15. Prior to any demolition the developer is to complete and submit to Council for approval a completed Council Waste Management Plan (enclosed). The Plan shall include, but not be limited to, the following:
- The types of waste to be handled;
 - Volume of each waste;
 - Management and storage of waste:
 - Method of waste disposal;
 - Method of waste transport; and
 - Disposal location.
16. Upon completion of demolition work the developer is to submit to Council a finalised Waste Management Plan and proof of appropriate waste disposal at a licensed facility.
17. Upon completion of demolition work and prior to disposal for all material to be disposed of offsite, the developer is to complete and submit to Council a Report showing that a Waste Classification has been completed in accordance with NSW EPA Waste Classification Guidelines Part 1: Classifying waste.
- (b) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse , Cr I North, Cr J Rudge

Against the Motion - nil

Absent - nil

Abstain - Nil

8.2.6 BATHURST 2040 OPEN SPACE STRATEGY

File Nos: 20.00314 & 20.00341

RECOMMENDATION:

That Council:

- (a) Adopt the Bathurst 2040 Open Space Strategy;
- (b) Prepare a Planning Proposal in accordance with the NSW Department of Planning, Industry & Environment Guidelines to amend the Bathurst Regional Local Environmental Plan 2014 to rezone those land parcels as recommended by the Bathurst 2040 Open Space Strategy outlined in this report;
- (c) Forward the Planning Proposal to the NSW Department of Planning, Industry & Environment to request a gateway determination;
- (d) Accept any delegations from the NSW Department of Planning, Industry & Environment in relation to this Planning Proposal;
- (e) Consider the financial implications of the increasing costs associated with the maintenance of additional and improved open space as part of the 2020/21 and future budget processes; and
- (f) call a division.

REPORT:

Council engaged Parkland Planners and Otium Planning Group to prepare the Bathurst 2040 Open Space Strategy.

The key objectives of the Strategy are to:

- identify current open space (local and regional level and active and passive), its current usage level and facilities available at each location,
- predict the optimum level of open space provision (on a per capita basis) for the population of Bathurst (local/regional and active/passive),
- prioritise the actions of Council in relation to purchase, embellishment and/or upgrading of open space,
- identify any open space that may be suitable for disposal or repurposing,
- establish and/or review the minimum standards (including embellishment) of open space in accordance with Council's adopted open space hierarchy or asset maintenance level classifications, and
- identify the optimum location of future open space (local and regional and active and passive open space), particularly in the growing suburban locations.

The Bathurst Region has a wide range of informal, active and natural open spaces to cater for the recreation, sporting, community and social needs of its population. There is

approximately 370ha of open space in the Local Government Area, or about 8.6ha per 1,000 people.

Open space plays an important role in our society, including providing places of diverse activities such as exercise, quiet reflection, children's play and organised sport. As the Bathurst community grows and changes, greater attention needs to be placed on the planning of open spaces to ensure that they can respond to current and future needs.

The Bathurst 2040 Open Space Strategy sets out the rationale for the planning and provision of open space to meet the needs of the Bathurst Region community over the next 20 years.

The Strategy seeks to ensure that:

- Most residents will have safe walking and cycling access to recreation parks and informal outdoor recreation and local play opportunities.
- Public parks and community facilities will be located and designed to maximise visual and physical access and allow for a wide range of potential uses and user groups.
- Public parks will be complemented by a walk and ride pathway network which adds value to the accessibility of parks and contributes to the diversity of outdoor recreation opportunities available to a community.
- Public parks will contribute to the strengthening of community by providing spaces and places for physical activity, social interaction, expression of community culture (including youth) and the activities of community-based groups.

A copy of the Executive Summary of the Strategy is provided at **attachment 1**. A full copy of the Strategy can be downloaded from Councils website. Hard copies will not be available at the Civic Centre due to COVID-19. If you require a printed copy please contact Council to arrange a copy to be provided.

Key recommendations/outcomes of the Strategy include:

1. Establish a minimum level of supply of open space:
 - 3 hectares per 1,000 residents for community parks, i.e. formal parkland settings providing non-organised outdoor recreation at local and destination levels.
 - 1.5 hectares per 1,000 residents for formal sporting and organised public recreation activity.
 - Plan for a community park opportunity within 400-500 metres safe walking distance in urban areas. For rural villages, access is desirable within 1,000 metres.
 - Plan for most residents to be able to have access to a large destination recreation park and/or sporting opportunity within 10-20 minutes via car.
2. Establish minimum levels of development/embellishment of open space, including preferred size, service access radius, minimum road frontage, usable area for main purpose, slope and topography, flooding and other hazards, paths and access, and other design criteria (e.g. facilities, lighting).
 - Plan for a diversity of landscape settings across the network that define character through the inclusion of unique or notable landscape features.

- Plan for open spaces that provide opportunities for physical activity, social inclusiveness, interaction and participation in outdoor recreation.
3. Maintain existing open space in established residential areas where increased living densities are likely to occur into the future.
 4. Master Plan and implement quality new open space areas in greenfield locations.

The draft Strategy was placed on public exhibition from 10th February to 10th March 2020. The exhibition included information on Council's YourSay website as well as referral to those who had previously been involved in the Strategy's development, as well as referral to the region's schools. Four responses have been received by Council from 87 visitors to the yoursay web page. The responses are varied, with two related to the operational service of the existing open spaces, one in support of the strategy and one suggesting additional ideas to the document. The responses are correlated in the table below with the full submissions available to view at **attachment 2**. **Attachment 3** provides the summary of activity on Council's YourSay website in relation to the public exhibition process.

Summary of Consultation Responses		
Resident/Group	Key Comments	BRC Response
Michele Morgan	Reeds and weeds taking over the riverbank edge means less opportunities for dogs to go into the river.	This relates to operational services and has been referred to the recreation section.
Gary (No surname provided)	Cat-heads in parks and around playgrounds need to be sprayed.	This relates to operational services and has been referred to the recreation section.
Friends of Centennial Park	Support the report and are happy that the Centennial Park Master Plan will be implemented. Request that the general policies within the report with regard to all open space are applied to Centennial Park.	The positive response is noted. The general policies apply to all open space, this would include Centennial Park.
Tony Thorpe	Proposed 70 initiatives to assist sport and recreation in Bathurst. These can be viewed in full in attachment 2 . A pamphlet for a football sports scheme from 2015 has also been provided.	These comments have been noted and generally go beyond the strategic purpose of the Open Space Strategy.

As none of the submissions opposed the implementation of the Strategy as drafted, a Submission Hearing was not held in relation to this matter.

A review of the recommendations of the draft Strategy has identified that there are a number of land parcels currently being used for open space and recreation purposes that are not currently zoned RE1 Public recreation. In accordance with the recommendations of the Bathurst 2040 Open Space Strategy, these parcels should be rezoned to RE1 (Public Recreation) to support the implementation of the Strategy. These land parcels, and why they are required to be rezoned, are shown in the table and maps at **attachment 4**. There is also one privately owned parcel currently partially zoned recreation that should

be rezoned to residential (see map 11 of **attachment 4**).

CONCLUSION:

Council has engaged consultants to prepare an Open Space Strategy to inform the future planning of public open space in the Bathurst Region. The final draft report has been received by Council and has been placed on public exhibition to allow community feedback on the recommendations of the Strategy. The draft Strategy has been well received with very few submissions lodged with Council. No submissions objected to the draft Strategy.

The draft Strategy has already informed the preparation of Councils Local Strategic Planning Statement and the planning of new suburbs.

The Strategy is now presented to Council for consideration of its adoption and also to commence a Planning Proposal to rezone relevant land parcels to RE1 (Public Recreation) to support the recommendations of the Strategy.

Importantly, Council should note that the implementation of the Strategy will increase the amount of open space that will be owned by Council and that will need to be managed into the future. Council needs to consider the financial implications of the Strategy as it prepares the 2020/21 and future budgets, especially the financial implications for open space maintenance.

FINANCIAL IMPLICATIONS:

The preparation of the Strategy was managed within Council's current budget.

The preparation of a Planning Proposal will be undertaken within existing budgets.

Whilst some new open space areas will be dedicated to Council as new residential areas are developed, the increasing area and the standards of embellishment and maintenance expected by the community will be a significant financial challenge for Council.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.4 Protect and improve the region's landscapes, views, vistas and open space.

Objective 3: Environmental stewardship.

Strategy 3.1 Protect and improve our natural areas and ecosystems, including the Macquaire River and other waterways.

Objective 4: Enabling sustainable growth.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

Objective 5: Community health, safety and well being.

Strategy 5.1 Provide opportunities for our community to be healthy and active.

Strategy 5.5 Plan and respond to demographic changes in the community.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Executive Summary [8.2.6.1 - 8 pages]
2. Consultation Responses Received [8.2.6.2 - 17 pages]
3. OSS Summary Report of Your Say [8.2.6.3 - 6 pages]
4. List of Land Parcels to be Rezoned [8.2.6.4 - 10 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-86

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED:

That Council:

- (a) Adopt the Bathurst 2040 Open Space Strategy;
- (b) Prepare a Planning Proposal in accordance with the NSW Department of Planning, Industry & Environment Guidelines to amend the Bathurst Regional Local Environmental Plan 2014 to rezone those land parcels as recommended by the Bathurst 2040 Open Space Strategy outlined in this report;
- (c) Forward the Planning Proposal to the NSW Department of Planning, Industry & Environment to request a gateway determination;
- (d) Accept any delegations from the NSW Department of Planning, Industry & Environment in relation to this Planning Proposal;
- (e) Consider the financial implications of the increasing costs associated with the maintenance of additional and improved open space as part of the 2020/21 and future budget processes; and
- (f) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

The result of the division was:

In favour of the motion - Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger,
Cr J Jennings, Cr M Morse , Cr I North, Cr J Rudge

Against the Motion - nil

Absent - nil

Abstain - Nil

DIRECTOR CORPORATE SERVICES & FINANCE'S REPORT

The following reports are presented for Council's consideration.

Yours faithfully

A handwritten signature in black ink, appearing to read 'A Jones', written over a large, hand-drawn oval shape.

A Jones
**DIRECTOR
CORPORATE SERVICES AND FINANCE**

8.3.1

MONTHLY REVIEW - 2019/2023 DELIVERY PLAN AND OPERATIONAL PLAN 2019/2020

File No:

RECOMMENDATION:

That the information be noted.

REPORT:

Bathurst Regional Council has in place the Bathurst 2040 Community Strategic Plan which aims to inform the community about the major directions and programs Council is undertaking in shaping the future of the Bathurst Region. These directions are summarised as objectives and strategies in the Community Strategic Plan which was adopted by Council on 16 May 2018. The Plan is available for viewing at the council offices at 158 Russell Street or can be downloaded from the Public Documents section of Council's website, www.bathurst.nsw.gov.au/council/general-information/public-documents. A listing of the Objectives and Strategies from the Bathurst 2040 Community Strategic Plan can be found within the Plan commencing from page 22.

At **attachment 1** is an update of Council's progress towards achieving the Strategies and Objectives for the 2019-2023 Delivery Plan and the Annual Operational Plan 2019-2020.

The Local Government (General) Regulation 2005 has been amended by inserting clause 413A to make it the duty of the General Manager to give timely information to Councillors about any fines or penalty notices from agencies such as the Australian Taxation Office, the Roads and Maritime Services or the Environment Protection Authority, or where a court or tribunal makes a costs order against a council.

Fines or penalty notices this month - Refer to **attachment 1**.

FINANCIAL IMPLICATIONS:

{custom-field-financial-implications}

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

{custom-field-bathurst-community-strategic-plan}

COMMUNITY ENGAGEMENT:

{custom-field-community-engagement}

ATTACHMENTS:

1. Operating Plan Review Mar 2020 [8.3.1.1 - 61 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-87

MOVED: Cr J Jennings SECONDED: Cr W Aubin

RESOLVED:

That the information be noted.

8.3.2

STATEMENT OF INVESTMENTS

File No: 16.00001

RECOMMENDATION:

That the information be noted.

REPORT:

\$72,280,000 was invested at 31 March 2020 in accordance with Council's investment policies, the Minister's Investment Order dated 12 January 2011, the Local Government Act 1993 and associated regulations. All investments have been reconciled with Council's general ledger and are listed below:

Short Term 1 - 365 Days (Comprising Commercial Bills, Term Deposits, Debentures, and Certificates of Deposits):

Ratings by S&P

			Average Return
A1+	National Australia Bank Limited	18,500,000.00	1.84%
A2	AMP	3,000,000.00	2.19%
A2	Bank of Queensland Limited	4,500,000.00	1.75%
A2	IMB	1,500,000.00	1.88%
A2	Auswide Bank*	4,500,000.00	1.92%
A2	Members Equity Bank	2,500,000.00	1.59%
ADI	Maritime, Mining & Power Credit Union	7,500,000.00	2.12%
		42,000,000.00	1.90%

*Credit rating to Auswide Bank issued by Fitch Ratings, equivalent Rating by S & P shown

Long Term (Comprising Commercial Bills, Term Deposits, Debentures, and Bonds):

Floating Rate Term Deposits

AA-	CBA Deposit Plus (10/9/2020)	1,500,000.00	1.37%
AA-	CBA Deposit Plus 1 (3/12/2020)	1,500,000.00	1.54%
AA-	CBA Deposit Plus 2 (9/5/2021)	1,500,000.00	1.99%
AA-	Westpac Coupon Select (9/11/2020)	2,000,000.00	1.93%
AA-	Westpac Coupon Select 1 (3/03/2022)	3,000,000.00	1.84%
AA-	Westpac Coupon Select 2 (6/9/2022)	1,500,000.00	1.55%
AA-	Westpac Green Tailored Deposit (19/6/2020)	1,500,000.00	1.71%
ADI	Maritime Mining & Power Credit Union Limited	1,230,000.00	0.55%
		13,730,000.00	1.63%

Fixed, Negotiable, Tradeable Certificates of Deposits

BBB+	AMP Fixed Rate (7/12/2020)	1,000,000.00	2.99%
BBB	Greater Bank Ltd (29/5/2020) TCD	1,000,000.00	1.40%
		2,000,000.00	2.20%

Floating Rate Notes

AA-	Commonwealth Bank of Aust (17/7/2020)	1,000,000.00	1.77%
AA-	CBA Climate Bond (31/3/2022)	1,000,000.00	0.92%

AA-	Commonwealth Bank of Aust 2 (16/08/2023)	500,000.00	1.84%
AA-	National Australia Bank (19/6/2024)	700,000.00	1.57%
AA-	HSBC Sydney (27/9/2024)	1,500,000.00	1.26%
A+	Suncorp Metway (20/10/2020)	1,000,000.00	2.10%
A+	Rabobank (4/3/2021)	1,000,000.00	2.05%
A	Macquarie Bank (21/6/2022)	1,000,000.00	1.21%
BBB+	AMP (30/03/2022)	1,000,000.00	1.44%
BBB+	AMP (24/5/2021)	1,000,000.00	2.23%
BBB+	AMP (10/09/2021)	1,100,000.00	1.65%
BBB+	Bendigo & Adelaide Bank 3 (18/08/2020)	1,000,000.00	2.00%
BBB	Members Equity 3 (9/11/2020)	750,000.00	2.16%
BBB	Newcastle Permanent (7/4/2020)	1,000,000.00	2.26%
BBB	Newcastle Permanent 3 (24/01/2022)	1,000,000.00	2.54%
		14,550,000.00	1.78%
Total Investments		72,280,000.00	1.83%
<i>These funds were held as follows:</i>			
	<i>Reserves Total (includes unexpended loan funds)</i>	18,593,500.00	
	<i>Grants held for specific purpose</i>	10,148,172.00	
	<i>Section 7.11 Funds held for specific purpose</i>	41,713,723.00	
	<i>Unrestricted Investments</i>	1,824,605.00	
Total Investments		72,280,000.00	
Total Interest Revenue to 31/3/2020		1,189,660.49	1.83%

A Jones
Responsible Accounting Officer

FINANCIAL IMPLICATIONS:

Attachment 1 shows Council's year to date performance against the benchmarks contained in Council's Investment Policy. Council has outperformed each of the benchmarks required and complied with the Ministers Investment Order.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.6 Manage our money and our assets to be sustainable now and into the future.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them

understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Investments 2020-3-31 [8.3.2.1 - 2 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-88

MOVED: Cr J Rudge SECONDED: Cr I North

RESOLVED:

That the information be noted.

8.3.3 SUNDRY SECTION 356 DONATIONS, BATHURST MEMORIAL ENTERTAINMENT CENTRE COMMUNITY USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY

File No: 18.00004

RECOMMENDATION:

That the information be noted and any additional expenditure be voted.

REPORT:

At **attachment 1** is a list of Sundry Section 356 Donations, Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies granted by Council for the period ending 31 March 2020 including a report on annual Rental Subsidies granted by Council.

FINANCIAL IMPLICATIONS:

Council's Sundry Section 356 Donations and Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies are included in the current budget, which currently have a balance as follows:

Section 356:	\$ \$4,621.27**
BMEC Community use:	\$ Nil
Mount Panorama:	\$ NIL

** The above amount includes donations already committed but not yet paid. After allowing for the committed donations the remaining balance is nil.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 5: Community health, safety and well being.

Strategy 5.3 Help build resilient, inclusive communities.

Objective 6: Community leadership and collaboration.

Strategy 6.5 Be open and fair in our decisions and our dealings with people.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-89

MOVED: Cr A Christian SECONDED: Cr G Hanger

RESOLVED:

That the information be noted and any additional expenditure be voted.

8.3.4 POWER OF ATTORNEY

File No: 11.00007

RECOMMENDATION:

That the information be noted.

REPORT:

That the General Manager's action in affixing the Power of Attorney to the following be noted.

- LF Latham – 26 Wallace Way – Lot 77 DP 1257021- Contract
- J C & J E Dunbar – 10 Bolton Street – Lot 42 DP 1253021 – Contact
- Dwyer Farming – Bathurst Aerodrome – Part Lot 404 DP 1241250 – License
- S G Sargent – 4 Lockwood Rise – Lot 110 DP 1253021 – Contract

General Items

- Nil

Linen Plan Release

- Mrs C Pearce – Two lot rural subdivision – Lot 5 DP1066379 – 268 Howards Drive, Mount Rankin
- Mr JR & JE Townsend – Road widening – Lot 97 DP755771 – 638 Rivulet Road, Duramana
- Bathampton Nominees Pty Ltd – Road Dedication – Lot 112 DP1145879 – Ophir Road, Llanarth
- Ruce Pty Ltd – 56 lot residential subdivision (Stage: 15 – 3 lot release) – Lot 318 DP1255300 – Maxwell Drive, Eglinton

FINANCIAL IMPLICATIONS:

Nil

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.6 Plan for, assess and regulate development activity.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-90

MOVED: Cr M Morse SECONDED: Cr J Fry

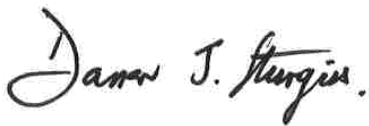
RESOLVED:

That the information be noted.

DIRECTOR ENGINEERING SERVICE'S REPORT

The following reports are presented for Council's consideration.

Yours faithfully

A handwritten signature in black ink that reads "Darren J. Sturgiss." The signature is written in a cursive style with a large initial 'D'.

Darren Sturgiss
**DIRECTOR
ENGINEERING SERVICES**

**8.4.1 PROPOSED COMPULSORY ACQUISITION FOR
EASEMENT RIGHTS - LOTS 1, 2, 4 & 5 IN
DP1179068, BATHURST**

File No: 22.00270

RECOMMENDATION:

That:

- (a) Council make application to the Minister and/or Governor for the compulsory acquisition of the interest in Crown land identified as Lots 1, 2, 4 and 5 in DP1179068 Bathurst, for the creation of an Easement for Water Supply 3 wide, and
- (b) The application follows the provisions of the Local Government Act 1993 and the Land Acquisition (Just Terms Compensation) Act 1991 and does not include mineral rights

as detailed in the Director Engineering Services' report.

REPORT:

Council will be aware of the planned Stormwater Harvesting scheme to assist in addressing Bathurst's critical water supply security and previous resolutions of Council to compulsorily acquire Crown land within the banks of the Macquarie River and Lot 701 in DP1057340 (refer **attachment 1**).

Detailed design work for construction of the pipeline has identified that the proposed route is no longer a viable option. A new route for the pipeline has been determined with part of the proposed route traversing the Macquarie Playground Park and the Bathurst Showground as shown in **attachment 2**.

As the land is owned by the State of New South Wales approval for construction of the pipeline and establishing an easement to protect the pipeline will need to be sought from NSW Department of Planning, Industry and Environment. The easement is to be established by compulsorily acquiring an interest in the land.

It is therefore recommended that:

- (a) Council make application to the Minister and/or Governor for the compulsory acquisition of the interest in Crown land identified as Lots 1,2,4 & 5 in DP1179068 Bathurst, for the creation of an Easement for Water Supply 3 wide, and
- (b) The application follows the provisions of the Local Government Act 1993 and the Land Acquisition (Just Terms Compensation) Act 1991 and does not include mineral rights.

FINANCIAL IMPLICATIONS:

This amount has been provided for in the current year's budget.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Attachment 1 - Council report minutes 5 & 19 Feb [8.4.1.1 - 2 pages]
2. Attachment 2 - Council Report Crown Land Diagram [8.4.1.2 - 1 page]

MINUTE

RESOLUTION NUMBER: ORD2020-91

MOVED: Cr J Rudge SECONDED: Cr J Jennings

RESOLVED:

That:

- (a) Council make application to the Minister and/or Governor for the compulsory acquisition of the interest in Crown land identified as Lots 1, 2, 4 and 5 in DP1179068 Bathurst, for the creation of an Easement for Water Supply 3 wide, and
- (b) The application follows the provisions of the Local Government Act 1993 and the Land Acquisition (Just Terms Compensation) Act 1991 and does not include mineral rights

as detailed in the Director Engineering Services' report.

8.4.2 WATER SECURITY UPDATE

File No: 32.00017

RECOMMENDATION:

That the information be noted.

REPORT:

The previous report to Council regarding water security was at Council's ordinary meeting of 19 March 2020. A compilation of the various water security related Council reports is available from: <https://www.bathurst.nsw.gov.au/water-restrictions-council.html#article-id-3338>

Water Demand

Water demand on the Town Water Supply continues to average 9.5ML/day or less. This is an excellent result from the Bathurst community. Residential consumption for the last month has averaged 133 L/person/day, which is well below the 2014 Drought Management Plan expectations of 183 L/p/d for Level 4; this consumption is well below Level 5 (159) and almost at Level 6 (129) requirements.

Compliance

The media and information campaign continue to provide details regarding the current extreme water restrictions that apply, with full details available on the Council website. Enforcement and compliance measures remain in place, with the appointment of a full time Water Inspector supported by two administration staff who take all calls through the newly established water hotline, and the water restrictions email. To the end of March 2020, 35 new complaints were raised with Council and are being actioned, bringing the overall total to 317. A number of new cases (23) required a courtesy letter to be sent, bringing the total to 139, and this usually resulted in changes and compliance. There was one caution letter sent, and one penalty infringement notice (fine) issued, bringing those totals to 6 and 3 respectively. In some cases, complaints appeared to have been vexatious, as no evidence of non-compliance could be found on inspection of the relevant property.

As at the end of March 2020, there had been 145 pool top up permits issued in total, 94 residential exemptions approved with conditions in total, and a total of 283 business exemptions approved with conditions.

Chifley Dam weekly updates

Each Tuesday afternoon Council's website is updated with the latest statistics and figures relating to Chifley Dam, and the Bathurst Water Supply. Details are available here: www.bathurst.nsw.gov.au/chifleydam

The two key graphs included at **attachment 1** show the monthly Chifley Dam volume in

percent, from 11 November 2002 to 24 March 2020, and the yearly weekly comparison of Chifley Dam from 2015 to 2020. Again, current level of Chifley Dam is 29.5%; Winburndale Dam is 62.8%.

At present, due to recent rainfall conditions which have resulted in flows in the Fish River, this has allowed for water releases from Chifley Dam to be reduced to environmental outflows only. This has been the case for 7 weeks.

Short Term Water Supply Improvements

Discussions are ongoing with State Government regarding remaining funding for the critical water supply projects, with no announcement yet. Council will continue to pursue this matter.

Council has received advice that the two short term critical projects, being Stormwater Harvesting and Winburndale Dam pipeline augmentation projects have been considered by the State Government are to be listed on the Schedules of the Water Supply (Critical Needs) Act 2019.

Further discussions with the NSW State Government has occurred since the last report and provision of additional information as requested by the NSW Government has been provided. At the time of writing this report, a confirmation of when the two critical needs projects will be listed within the Schedules has not been provided.

Design for Stage 1a of the Stormwater Harvesting project has been completed, with pricing of the project underway. Council officers are working to form a construction contract with an appropriately experienced contractor as a matter of urgency.

The Winburndale Dam Pipeline Augmentation continues, with detailed design of the pipeline route underway. In addition, Council has completed design for Water Filtration Plant modifications which will allow for early use of up to 3ML of water sourced from Winburndale Dam into the town water supply. Council has accepted a quotation for this work to commence.

Application to the Natural Resource Access Regulator has been made for approval for reduction in environmental flows from Winburndale Dam, so as to extend the remaining storage.

Council staff have sought approval from the NSW State Government to reduce environmental release from Chifley Dam, from a maximum of 4.35ML/day or part thereof of Dam inflows; to 1.0ML/day. This matter is yet to be finalised.

Council has also formed a contract for the test boring of up to 8 groundwater bores, with this work to commence in May 2020.

Work Completed to Date

Council has engaged a contractor to carry out strengthening works to Winburndale Dam. Cost of this project is approximately \$9.7M, with \$2.25M provided by the NSW Government's Safe and Secure Water Program. Work on this has commenced, with to date approximately \$4.5M expended. Work will be completed in 2020.

Councillors would also be aware of the \$2M provided by the State Government to investigate short term water supply needs, including:-

- (a) Stormwater harvesting
- (b) Winburndale pipeline improvement works
- (c) Groundwater / bore investigation

As indicated above, 16 individual consultancies are being managed by Council for this investigation work, with the bulk of the \$2M committed. It is expected that this funding will be expended by mid 2020.

FINANCIAL IMPLICATIONS:

N/A

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 3: Environmental stewardship.

Strategy 3.2 Protect the City's water supply.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Chifley Dam Graphs [8.4.2.1 - 2 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-92

MOVED: Cr I North SECONDED: Cr A Christian

RESOLVED:

RECOMMENDATION:

That the information be noted.

8.4.3 PROPOSED MANAGEMENT OF THE PERTHVILLE MULTI PURPOSE SPORTS COURTS BY PERTHVILLE DEVELOPMENT GROUP INC.

File No: 18.00237

RECOMMENDATION:

That Council proceed with discussions with the Perthville Development Group Inc to finalise an appropriate management arrangement for the ongoing care and management of the new multi sports courts at the Perthville Village Square.

REPORT:

Councillors would be aware that the Tender for construction of the Multi-Purpose Sports Courts at the Perthville Village Square was awarded in December 2019. The sports courts are stage one of the Perthville Village Square site that will eventually see the development of formal active and passive play spaces, playground, toilets, picnic shelters, paths and landscaping works to the whole area. L-Don Sporting Areas Pty Ltd commenced the construction of the sports courts in January 2020 and works are anticipated to be completed in late April 2020, weather permitting. Funding for this project was made available through Council's 2019/20 Operational Plan, with additional funding obtained through a grant application under the State Government, Stronger Country Communities Fund Round 2.

Upon completion of the multi-purpose sports courts at the Perthville Village Square, it is believed necessary to ensure that a suitable arrangement is put in place to manage the sports courts on an ongoing basis. This is to ensure that Council's investment in this community asset is protected from incidences such as damage or vandalism and to ensure that community members can access and utilise the courts as required. Minor maintenance issues, court condition inspections and court cleanliness can also be addressed on a regular basis with an appropriate management arrangement in place.

Council does not have the resources nor is it set up to attend to matters involving the general hire and usage of sports courts on a day to day basis and it is believed that the most suitable arrangement for its ongoing management, including court security, hire, use and rectification of minor maintenance issues is best handled with the assistance of a local community group. Similar management models are already in place at all other tennis facilities in Bathurst, including the facilities at Ralph Cameron Oval, Eglinton and the John Matthews Tennis Centre, where an organisation looks after the courts and manages the day to day use / activities at these venues. For community groups such as the Raglan Hall Association, such arrangements not only provides the benefit of the local community group managing the courts for their local community, but provides the ability to generate an income stream in which to adequately service the courts and provide the appropriate level of upkeep for the courts. They are also best able to keep an eye on courts and ensure that they are secure when not in use. As with all of Council's community assets, matters such as structural and major maintenance issues to the sports courts would remain Council's responsibility.

Council staff have recently undertaken initial discussions with the Perthville Development Group who have expressed interest in taking on the responsibility for the ongoing

management of the Perthville Village Square multi courts, with emphasis on providing use of the courts for the community. The Group are considering a management approach where they would form an internal tennis club, which would oversee the use of the courts and look after hire arrangements with user groups such as the Perthville School and members of the public. It is also believed that the internal club would be able to generate local group interest by formulating social tennis competitions etc. A letter from the Perthville Development Group Inc advising of their interest and possible management model for the multi sports courts is shown at **attachment 1**, for information.

The specifics of any agreement would still need to be further discussed with the Perthville Development Group to ensure that it would meet any necessary legislative format and comply with the standard use agreements and conditions that are generally imposed upon other organisations that have similar arrangements for the management of Council facilities. Notwithstanding, it is proposed that the conditions that would be imposed for the ongoing management of the multi courts would include: -

- Day to day management of the courts including minor maintenance, hire arrangements and general use to be the responsibility of Perthville Development Group.
- Perthville Development Group to make the courts available for public and community use, under a hire arrangement administered by the Group.
- The Group are not permitted to sub lease the management of the multi courts. It is also not considered necessary that the Group be affiliated with any sporting body such as Tennis NSW.
- Council will have the ability to utilise the courts free of charge for any Council organised or approved event.
- Council would be responsible for any major maintenance works required to the facility.

CONCLUSION:

It is recommended that Council proceed with discussions with the Perthville Development Group Inc to finalise an appropriate management arrangement for the ongoing care and management of the new multi sports courts at the Perthville Village Square.

FINANCIAL IMPLICATIONS:

It is believed that an appropriate arrangement for the ongoing care and control of the Perthville Village Square multi courts will prevent costs being placed upon Council for administering court use and minor maintenance activities.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

Objective 5: Community health, safety and well being.

Strategy 5.1 Provide opportunities for our community to be healthy and active.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Proposal for the Management of the Perthville Multipurpose Courts [8.4.3.1 - 2 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-93

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That Council proceed with discussions with the Perthville Development Group Inc to finalise an appropriate management arrangement for the ongoing care and management of the new multi sports courts at the Perthville Village Square.

DIRECTOR CULTURAL AND COMMUNITY SERVICE'S REPORT

The following reports are presented for Council's consideration.

Yours faithfully



A Cattermole
**DIRECTOR
CULTURAL AND COMMUNITY SERVICE'S**

8.5.1 NSW SENIORS FESTIVAL, 12 - 23 FEBRUARY 2020 "LOVE TO CELEBRATE"

File No: 07.00016

RECOMMENDATION:

That the information be noted.

REPORT:

NSW Seniors Festival was held from 12 - 23 February 2020. This year's theme was "Love to Celebrate".

The Seniors Festival Organising Committee were involved in organising a number of events throughout the Festival. Events included historical bus tours, morning teas, open days, music concerts, sing-a-longs, fitness classes, musical concerts and a show at the Bathurst Memorial Entertainment Centre.

The activities involved partnerships between Bathurst Regional Council, Bathurst Seymour Centre, Bathurst Family History Group, Miss Traill's House, The Neighbourhood Centre, New Horizons, Uniting Church, Bathurst RSL Club, Bathurst Senior Citizens Centre, Bathurst Memorial Entertainment Centre, Cityfit Fitness Club and Majellan Bowling Club.

Attendance at all Seniors Festival events was well received. A number of events were booked out in the weeks leading up to the commencement of the Festival.

Bathurst Regional Council hosted their event at the National Motor Racing Museum. 44 participants were given free entry and a guided tour with lunch provided.

The events received overwhelmingly positive feedback from participants and organisers, with many organisations already expressing interest to be involved in Seniors Festival 2021.

Community groups were given financial assistance towards their events from the NSW Seniors Festival Grant. This Grant was also able to fund the cost of a street banner for the promotion of NSW Seniors Festival. This banner will be displayed annually in the lead up to Seniors Festival.

FINANCIAL IMPLICATIONS:

This amount has been provided for in the current year's budget.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.3 Enhance the cultural vitality of the region.

Objective 5: Community health, safety and well being.

Strategy 5.1 Provide opportunities for our community to be healthy and active.

Strategy 5.3 Help build resilient, inclusive communities.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-94

MOVED: Cr J Rudge SECONDED: Cr M Morse

RESOLVED:

That the information be noted.

8.5.2 BATHURST MEMORIAL ENTERTAINMENT CENTRE - 2020 LOCAL EMERGING ARTISTS PROGRAM (LEAP)

File No: 21.00060, 21.00117

RECOMMENDATION:

That the information be noted.

REPORT:

The Local Emerging Artists Program (LEAP) provides performance development opportunity and community connection for young Bathurst artists. Tied to the music festival “Inland Sea of Sound”, the 2020 program saw over 40 young artists aged 12-25 have an opportunity to play gigs around Bathurst. This year the focus was on bands and a LEAP Band Night was able to be held showcasing ten groups involved. On the 24 February 2020 a LEAP performer also performed at Market Day at Charles Sturt University.

A number of young musicians also had experiences with media, including interviews on 2BS, B-Rock and 2MCE, as well as interviews with the Western Advocate.

LEAP provided mentorship, a workshop, performance opportunities, festival merchandise and connection with local venues and fellow artists at no cost to participants (anyone who applied). Smith & Jones ran a workshop for the young musicians in the school holidays and then a series of performances across cafes and bars in town ran for two weeks.

The program not only supports the artists involved, however contributes to a sustainable live music and arts scene in Bathurst. Building a welcoming culture for performers, venues and presenters, and audiences. It has been noted that connections have been formed with venues involved offering future opportunities. An exit survey indicates only great experiences for artists and carers, with 100% indicating that they would recommend getting involved to other emerging artists

Date	Location	Performers	Staff	Audience
31-Jan	El Guapo	6	2	30
31-Jan	Webb & Co	4	2	30
1-Feb	Wholefood Markets	4	2	25
1-Feb	The Hub	5	2	40
2-Feb	Piccolo's	5	2	40
7-Feb	Piccolo's	4	3	35
7-Feb	Webb & Co	4	3	35
8-Feb	Webb & Co	9	3	20
9-Feb	The Hub	7	2	40
9-Feb	El Guapo	Cancelled due to rain		

Date	Location	Performers	Staff	Audience
15-Feb	Band Night	45	9	126
24 Feb	Market Day CSU	1	1	*
	Total			421

**Audience at CSU Market Day unknown.*

LEAP has a dedicated facebook group for participants. Council staff can continue to support the young people via this page – generally assisting them with upcoming gigs and other opportunities. LEAP have been contacted to provide entertainment “busking” style for the Bathurst Farmers Markets.

Planning for an online LEAP performance evening is underway, which will be available online sometime in April, with investigations ongoing on the best platform options for this to occur.

FINANCIAL IMPLICATIONS:

There are no financial implications resulting from this report.

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.3 Enhance the cultural vitality of the region.

Objective 2: A smart and vibrant economy.

Strategy 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development.

Objective 5: Community health, safety and well being.

Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-95

MOVED: Cr W Aubin SECONDED: Cr I North

RESOLVED:

That the information be noted.

8.5.3 2020 ASIA PACIFIC INCENTIVES AND MEETINGS EVENT (AIME), MELBOURNE, 17-19 FEBRUARY 2020

File No: 21.00041

RECOMMENDATION:

That the information be noted.

REPORT:

Bathurst Regional Council exhibited for the first time at the Asia Pacific Incentives Meetings Event (AIME) 2020 from 17th - 19th February 2020 at the Melbourne Convention and Exhibition Centre. AIME is the leading trade event for the meetings and event industry in the Asia Pacific region and a forum to connect potential buyers and professional conference organisers with exhibitors.

The Bathurst Region Destination Management Plan (DMP) adopted by Council in December 2019 identifies the economic importance of business events (section 6.5.3) and attendance at this trade event creates opportunities to attract business events to the region, identified as an Action Item priority in the DMP (Item 1.11). Financial support was received from Destination NSW and Bathurst attended as a part of the 'Meet in Regional NSW' exhibition area, which included 30 individual exhibitors representing either tourism operators or local government destination management organisations.

A major outcome from preparation for the event was the production of a dedicated Conferencing and Business Events Planner for the Bathurst Region, positioning Bathurst as a premier destination to host events and promoting local businesses. This resource was distributed in print format and/or digitally on 'Step Beyond' branded USBs to buyers and will be an important asset for ongoing and future promotional work.

Preparation also included extensive networking with potential businesses prior to AIME, which was effective in identifying the needs of Hosted Buyers ensuring that the meetings held were of value and more likely to generate a return.

There were 32 scheduled meetings held with buyers over the two days of the event as well as a series of informal and opportunistic meetings and networking sessions. There was a high level of interest shown in the capacity of the region to host business events and in bringing business events to the Bathurst Region. Trends which made Bathurst a favourable destination included proximity to Sydney, ease of access and diversity of event spaces from modern to unique heritage catering to all capacities.

Follow up with buyers is ongoing, however immediate investment return has been adversely impacted by the COVID-19 outbreak. Medium and long-term return on investment will be measured and evaluated to inform attendance at future events.

FINANCIAL IMPLICATIONS:

Funding for this item is contained within existing budgets

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 2: A smart and vibrant economy.

Strategy 2.1 Support local business and industry.

Strategy 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development.

Strategy 2.6 Promote our City and Villages as a tourist destination.

Objective 5: Community health, safety and well being.

Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-96

MOVED: Cr J Jennings SECONDED: Cr W Aubin

RESOLVED:

That the information be noted.

9 REPORTS OF OTHER COMMITTEES

9.1 POLICY COMMITTEE REPORT - 1 APRIL 2020

File No: 07.00064

RECOMMENDATION:

That the recommendations of the Policy Committee Meeting of Bathurst Regional Council held on 1 April 2020 be adopted.

REPORT:

The Minutes of the Policy Committee Meeting of Bathurst Regional Council held on 1 April 2020 are **attached**.

FINANCIAL IMPLICATIONS:

N/A

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Policy Committee Minutes - 1 April 2020 [9.1.1 - 6 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-97

MOVED: Cr J Rudge SECONDED: Cr J Jennings

RESOLVED:

That the recommendations of the Policy Committee Meeting of Bathurst Regional Council held on 1 April 2020 be adopted.

9.2 TRAFFIC COMMITTEE REPORT - 3 MARCH 2020

File No: 07.00006

RECOMMENDATION:

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 3 March 2020 be adopted.

REPORT:

The Minutes of the Traffic Committee Meeting of Bathurst Regional Council held on 3 March 2020 are attached.

FINANCIAL IMPLICATIONS:

Nil

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

1. Traffic Committee Meeting Minutes 3 March 2020 [9.2.1 - 5 pages]

MINUTE

RESOLUTION NUMBER: ORD2020-98

MOVED: Cr W Aubin SECONDED: Cr A Christian

RESOLVED:

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 3 March 2020 be adopted.

10 NOTICES OF MOTION

11 RESCISSION MOTIONS

12 COUNCILLORS / DELEGATES REPORTS

12.1 COUNCILLORS MEETING WITH COMMUNITY GROUPS/REPRESENTATIVES - 11 MARCH 2020

File No: 11.00019

RECOMMENDATION:

That the information be noted.

REPORT:

Present: Cr B Bourke (Chair), Cr Graham Hanger, Cr Ian North, Cr Monica Morse, Cr John Fry, Cr Warren Aubin (6.15pm)

Apologies: Cr Christian, Cr Jennings, Cr Rudge

1. Bathurst Liquor Accord

Rebecca Mathie, Robert Taylor from the Bathurst Liquor Accord attended the meeting to discuss issues for local businesses.

Discussion included:

- Concern regarding downturn in trade during V8 Supercar weekend
- Used to be a peak period for businesses in town
- Used to run 4 buses at closing times for patrons - no longer done as no patrons at closing time
- So many now camping on Mount that don't come downtown
- Security checks going back onto Mount are very strict and limit ease of movement
- Not just the liquor accord it is restaurants and other shops as well that are feeling the pinch

2. Central NSW Joint Organisation

Jenny Bennett - Executive Officer of CENTROC attended the meeting to advise Council on the imminent changes to CENTROC.

CENTROC will cease 30 June 2020 and Central NSW Joint Organisation will commence 1 July 2020

- Will still run the same programs training, procurement etc
- Electricity contracts and estimated savings over 3 years discussed
- Will still make submissions on behalf of Councils
- Have project teams in areas such as transport, water, planning groups, Tourism

Managers Group, WHS/ Risk Management Group, training & HR Managers Group.

Trying to work better with the state government. Major topics at the moment – regional water planning, regional transport and regional prosperity.

3. Upper Macquarie County Council

David Young, Lisa Monardo from Upper Macquarie County Council attended the meeting to update Council on the activities of the weeds Council.

- Spoke on weed Biosecurity activity of UMCC
- 2,400 properties inspected in last 20 months (2900 inspections - 230,000 Ha)
- Inspect properties, risk rate them and reinspect some
- Issued 742 weed control notices
- 68 Biosecurity Directions
- 6 Penalty Infringement Notices
- 187 properties have been converted from higher to lower risk level

FINANCIAL IMPLICATIONS:

N/A

BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

ATTACHMENTS:

Nil

MINUTE

RESOLUTION NUMBER: ORD2020-99

MOVED: Cr I North SECONDED: Cr G Hanger

RESOLVED:

That the information be noted.

13 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS

13.0 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE

MINUTE

RESOLUTION NUMBER:

MOVED: Cr J Rudge SECONDED: Cr I North

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

There were no representation from the public.

RESOLVED: That:

- (a) Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.
- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

1. In accordance with Section 9(2A) of the Local Government Act 1993, it is the opinion of the General Manager that the following business is of a kind as referred to in section 10A(2) of the Act and should be dealt with in a part of the meeting closed to the media and public.
2. In accordance with Section 10B(1) it is considered that discussion of the matter in open meeting, would on balance, be contrary to the public interest.
3. In accordance with Section 10A(4) members of the public are invited to make representations to the Council as to whether the matters should or should not be dealt with in Confidential Committee.

13.1 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

13.1.1 RENEWAL OF COMMERCIAL LICENCE AT PART LOT 1 DP534118 KNOWN AS MOUNT PANORAMA, SIGN EVENT PTY LTD SHED

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to renew the Commercial Licence Agreement for the use of a storage shed located at Mount Panorama being Lot 1 DP534118.

MINUTE

RESOLUTION NUMBER: CONF2020-22

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED:

That Council approves the renewal of the Commercial Licence Agreement for the use of a storage shed located at Mount Panorama being part Lot 1 DP534118 by Sign Event Pty Ltd as detailed in the report.

13.1.2 RENEWAL OF RESIDENTIAL TENANCY AGREEMENT FOR THE WINBURNDALE DAM RANGER'S COTTAGE AT PART LOT 1 DP914785

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed renewal of the Residential Tenancy Agreement for the Winburndale Dam Ranger's Cottage located on part Lot 1 DP914785 at Winburndale Dam.

MINUTE

RESOLUTION NUMBER: CONF2020-23

MOVED: Cr W Aubin SECONDED: Cr J Fry

RESOLVED:

That Council approves the renewal of the Residential Tenancy Agreement with Mr T Hill for the Winburndale Dam Ranger's Cottage located on part Lot 1 DP914785 at Winburndale Dam for a period of five (5) years as detailed in the report.

13.1.3 RENEWAL OF SPORTING LICENCE AGREEMENT AT PART LOT 7310 IN DP1139638 LOCATED ON BOUNDARY ROAD, BATHURST - BATHURST PIGEON CLUB

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed renewal of a sporting licence agreement with the Bathurst Pigeon Club for part Lot 7310 in DP1139638 located on Boundary Road, Bathurst.

MINUTE

RESOLUTION NUMBER: CONF2020-24

MOVED: Cr G Hanger SECONDED: Cr J Jennings

RESOLVED:

That Council approves the renewal of a sporting licence agreement with the Bathurst Pigeon Club for part Lot 7310 in DP1139638 located on Boundary Road, Bathurst for a period of five (5) years as detailed in the report.

13.1.4 EXPRESSION OF INTEREST - PART LOT 1 DP784476 AND LOTS 134, 137, 138, 144 AND 145 DP750357 LOCATED ON VALE ROAD AND LLOYDS ROAD, BATHURST

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to enter into a new rural licence agreement at part Lot 1 in DP784476 and Lots 134, 137, 138, 144 and 145 in DP750357 located on Vale Road and Lloyds Road, Bathurst.

MINUTE

RESOLUTION NUMBER: CONF2020-25

MOVED: Cr J Rudge SECONDED: Cr W Aubin

RESOLVED:

That Council approves entering into a new rural licence agreement with Mr C Hotham for part Lot 1 in DP784476 and Lots 134, 137, 138, 144 and 145 in DP750357 located on Vale Road and Lloyds Road, Bathurst for a period of five (5) years as detailed in the report.

13.2 DIRECTOR ENGINEERING SERVICE'S REPORT

13.2.1 NETWASTE TENDER FOR COLLECTION AND RECYCLING OF WASTE TYRES

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed tender for the Collection and Recycling of Waste Tyres.

MINUTE

RESOLUTION NUMBER: CONF2020-26

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That Council accept the tender from JLW Services for the Collection and Recycling of Waste Tyres, as detailed in the Director Engineering Services' Report.

14 RESOLVE INTO OPEN COUNCIL

MINUTE

RESOLUTION NUMBER: ORD2020-100

MOVED: Cr A Christian SECONDED: Cr I North

RESOLVED:

That Council resume open Council.

15 ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

MINUTE

RESOLUTION NUMBER: ORD2020-101

MOVED: Cr I North SECONDED: Cr W Aubin

RESOLVED:

That the Report of the Committee of the Whole, resolution numbers Conf2020-22 to Conf2020-26 be adopted.

16 MEETING CLOSE

MINUTE

The Meeting closed at 7.15.

CHAIR:

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**MINUTES OF THE ORDINARY MEETING OF
BATHURST REGIONAL COUNCIL
HELD ON Wednesday 18 March 2020**

1. PUBLIC FORUM

MINUTE

M.Hollis - Work Sites - Spoke to work sites of contractors and equipment left around. Does Council monitor these?

Director Engineering Services - Council will review sites and talk to the contractors.

K. Brumby - WFPA - Spoke to village matters at Wattle Flat, noting village vision and priorities. Also spoke to community groups, newsletters etc and life in the village. Still awaiting mobile phone access, internet is a lot better. Spoke to roadworks needed eg final section of Limekilms road. Village improvements are occurring eg multi - purpose courts. Town reservoir was cleared and Heritage Trust Land Manager has obtained funds. Unfortunately Bronze Thong has been cancelled due to Covid- 19 situation. Ready as a village to take on new challenges and spoke to desire for new projects.

J. Gray - Water Matters - Spoke to various matters including use of recycled waters and storm water harvesting. Noted delivery Timetables for projects proposed and the approach of day zero, is there an alternative plan. Referred to possible systems that may be available and use of temporary pipes.

Director Engineering Services - Advised of actions being taken.

B. Besley - 136 Howick Street Stormwater - Spoke to responsibility of ratepayers concerning stormwater and is questioning obligation to install to roadway. Noted problems with surrounding houses and blocked stormwater pipes. Feels Council should pay for the works. Then raised power pole cost issues.

Director Engineering Services - Spoke to legislative requirements on owners to deal with stormwater.

D. Finlay 368 Howick Street - Watering Carrington Park - Spoke to helpfulness of Council administration. Today drove past Carrington park and sprinklers were on during the middle of the day, could this be reviewed.

Director Engineering Services - Spoke to current adopted standards, will review.

J. Cheatham- CSU and Multi Cultural Service Centre - Spoke to events still occurring online, hope people get involved and to talk about the Corona virus. A number of other events have unfortunately been cancelled. What capacity is there for Council to help disadvantaged and old persons.

General Manager - Noted Council does not have capacity, this would normally be State and Federal agencies.

S. Driver - Russell Street - Spoke to operations of community J.P desk service. Could Council promote. Then raised concerns regarding Russell and Stewart Street intersection. There is a dangerous trip hazard. Individuals are not getting any response from RMS. Could Council follow this up?

Director Engineering Services - Staff have raised with RMS.

Flagstaff at river - Flag is left up but is not floodlit, can this be reviewed?

Director Engineering Services - Will review this matter.

Residents at lower end of Keppel Street are concerned about developments down there, please ensure matter is handled transparently.

Director Environmental Planning Building Services - Council does not have a live DA for 23 Keppel Street at this time. Council will ensure it is transparent.

I. Pearson - Ratepayer - Thanked Council for Mayoral reception for Architects conference and assistance from Council with the conference. Commended Cr Morse concerning demolition by neglect and tabled a relevant report on this matter. Attendees at the conference spoke highly of the heritage buildings in Bathurst.

E. Williams - Russell/ Manilla/ Keppel Street - Concerning petition that has been circulated in the area. People signed but didn't know what they signed, would like to see a copy of the documents. The developer is not being transparent.

Director Environmental Planning Building Services - This is not a Council petition, it was conducted by a member of the public. It related to a lane-way. Documents can be made available.

I. Hancock - Chair BRAC - Thanked staff for the invitation to view the new rail museum. It is a credit and congratulations to all.

G. Crisp - Congratulated Councillors on arrangements for the Corona virus. Why have similar arrangements not been made for front line staff, spoke to distances suggested. Then referred to impacts on businesses of the virus and suggested Council reduce rates on businesses and fund it by reducing Councillors allowances by 50%, also cut Councillor expenses by \$100k, reduce General Managers salary by \$100k and Department heads by \$50k. Further take \$100k from staff travel expenses. Service will not be impacted by these measures. Also find an additional \$150K in next years budget.

2. MEETING COMMENCES

MINUTE

Meeting commenced at 6.00pm.

Present: Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

3. PRAYER AND ACKNOWLEDGEMENT OF COUNTRY

4. APOLOGIES

MINUTE

MOVED: Cr I North SECONDED: Cr A Christian

RESOLVED:

Nil

5. MINUTES

5.1. Confirmation of Minutes

File No: 11.00005-15

MINUTE

RESOLUTION NUMBER: ORD2020-48

MOVED: Cr W Aubin SECONDED: Cr J Jennings

RESOLVED:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 19 February 2020 be adopted.

6. DECLARATION OF INTEREST

Declaration of Interest

MINUTE

RESOLUTION NUMBER: ORD2020-49

MOVED: Cr J Rudge SECONDED: Cr I North

RESOLVED: That the Declaration of Interest be noted.

Cr Fry declared a non-pecuniary interest in item 1 of the DES Report.

Cr North declared a non-pecuniary interest in item 1 of the DES Report.

7. MAYORAL MINUTE

8. RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

8.1.1. SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

File No: 03.00053

MINUTE

RESOLUTION NUMBER: ORD2020-50

MOVED: Cr J Rudge SECONDED: Cr M Morse

RESOLVED:

That the information be noted.

8.1.2. GENERAL REPORT

File No: 03.00053

MINUTE

RESOLUTION NUMBER: ORD2020-51

MOVED: Cr J Jennings SECONDED: Cr W Aubin

RESOLVED:

That the information be noted.

8.1.3. FOOTPATH DINING

File No: 20.00035

MINUTE

RESOLUTION NUMBER: ORD2020-52

MOVED: Cr I North SECONDED: Cr A Christian

RESOLVED:

That Council:

(a) amended clause 7.6.2 of the Draft Footpath Restaurant policy to read "Council requires that venues include "no smoking" signage in the approved dining area in accordance with the *Smoke-free Environment Act 2000*."

(b) adopt the amended Footpath Restaurant Policy; and

(c) notify the premises and businesses conducting footpath dining and provide a copy of the amended Policy.

8.1.4. BATHURST REGION HERITAGE REFERENCE GROUP

File No: 20.00123

MINUTE

RESOLUTION NUMBER: ORD2020-53

MOVED: Cr J Rudge SECONDED: Cr G Hanger

RESOLVED:

That the information be noted.

8.2.1. STATEMENT OF INVESTMENTS

File No: 16.00001

MINUTE

RESOLUTION NUMBER: ORD2020-54

MOVED: Cr I North SECONDED: Cr W Aubin

RESOLVED:

That the information be noted.

**8.2.2. MONTHLY REVIEW - 2019/2023 DELIVERY PLAN
AND OPERATIONAL PLAN 2019/2020**

File No: 16.00167

MINUTE

RESOLUTION NUMBER: ORD2020-55

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED:

That the information be noted.

**8.2.3. SUNDRY SECTION 356 DONATIONS, BATHURST
MEMORIAL ENTERTAINMENT CENTRE COMMUNITY
USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY**

File No: 18.00004

MINUTE

RESOLUTION NUMBER: ORD2020-56

MOVED: Cr M Morse SECONDED: Cr J Fry

RESOLVED:

That the information be noted and any additional expenditure be voted.

8.2.4. POWER OF ATTORNEY

File No: 11.00007

MINUTE

RESOLUTION NUMBER: ORD2020-57

MOVED: Cr W Aubin SECONDED: Cr J Fry

RESOLVED:

That the information be noted.

**8.2.5. REQUEST FOR FINANCIAL ASSISTANCE - 2020
TRACTORTHON**

File No: 18.00004

MINUTE

RESOLUTION NUMBER: ORD2020-58

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That:

1. Council provide financial assistance to the 2020 Tractorthon as follows.

- (i) Venue hire fee \$1391
- (ii) Lighting hire at \$27 per hour

2. Funding to be provided from the Bathurst Sportsground maintenance budget.

8.3.1. DESIGN FOR ALEC LAMBERTON PARK

File No: 37.00681

Cr Fry declared a non-pecuniary interest in item 1 of the DES Report - son is treasurer of GOATS soccer team, who have expressed an interest as user and joint managers of the facility.

Cr North declared a non-pecuniary interest in item 1 of the DES Report - Son plays for another club and wife is a committee member (child protection officer) of A.F.C

MINUTE

RESOLUTION NUMBER: ORD2020-59

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED:

That Council

1. Adopt the amended concept design for the future development of Alec Lamberton Park, based on the recommendations contained within this report, except for the facility management model, and
2. Receive a further report on possible facility management models at a Working Party of Council.

The MOTION was PUT and Lost

MOVED: Cr I North SECONDED: Cr M Morse

That Council adopt the amended concept design for the future development of Alec Lamberton Park, based on the recommendations contained within this report.

8.3.2. WATER SECURITY UPDATE

File No: 32.00017

MINUTE

RESOLUTION NUMBER: ORD2020-60

MOVED: Cr I North SECONDED: Cr G Hanger

RESOLVED:

That the information be noted.

8.4.1. CHILDREN'S SERVICES - MARCH 2020 UPDATE

File No: 09.00046

MINUTE

RESOLUTION NUMBER: ORD2020-61

MOVED: Cr J Rudge SECONDED: Cr I North

RESOLVED:

That the information be noted.

8.4.2. KELSO COMMUNITY HUB - MARCH 2020 UPDATE

File No: 09.00026

MINUTE

RESOLUTION NUMBER: ORD2020-62

MOVED: Cr G Hanger SECONDED: Cr J Rudge

RESOLVED:

That the information be noted.

**8.4.3. DESTINATION BRAND
IMPLEMENTATION AND BATHURST
REGION DESTINATION
MANAGEMENT PLAN - QUARTERLY
REPORT - MARCH 2020**

File No: 20.00299

MINUTE

RESOLUTION NUMBER: ORD2020-63

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED:

That the information be noted.

**8.4.4. BATHURST RAIL MUSEUM - OPENING FRIDAY 21
FEBRUARY 2020**

File No: 21.00120

MINUTE

RESOLUTION NUMBER: ORD2020-64

MOVED: Cr J Rudge SECONDED: Cr W Aubin

RESOLVED:

That the information be noted.

9. REPORTS OF OTHER COMMITTEES

9.1. Policy Committee Report 4 March 2020

File No: 07.00064

MINUTE

RESOLUTION NUMBER: ORD2020-65

MOVED: Cr A Christian SECONDED: Cr I North

RESOLVED:

That the recommendations of the Policy Committee Meeting of Bathurst Regional Council held on 4 March 2020 be adopted.

9.2. Traffic Committee Report 3 March 2020

File No: 07.00006

MINUTE

RESOLUTION NUMBER: ORD2020-66

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 3 March 2020 be adopted.

10. NOTICES OF MOTION

11. RESCISSION MOTIONS

12. COUNCILLORS / DELEGATES REPORTS

**12.1. COUNCILLORS MEETING WITH COMMUNITY
GROUPS/REPRESENTATIVES - 12 FEBRUARY 2020**

File No: 11.00019, 18.00014

MINUTE

RESOLUTION NUMBER: ORD2020-67

MOVED: Cr I North SECONDED: Cr A Christian

RESOLVED:

That the information be noted.

**12.2. MINUTES - BATHURST REGIONAL YOUTH COUNCIL -
11 FEBRUARY 2020**

File No: 11.00020

MINUTE

RESOLUTION NUMBER: ORD2020-68

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That the information be noted.

**12.3. MINUTES - BATHURST REGIONAL COMMUNITY SAFETY
COMMITTEE - 13 FEBRUARY 2020**

File No: 07.00107

MINUTE

RESOLUTION NUMBER: ORD2020-69

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That the information be noted.

**13. RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE
TO DEAL WITH CONFIDENTIAL REPORTS**

MINUTE

MOVED: Cr A Christian SECONDED: Cr I North

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

There were no representation from the public.

RESOLVED:

- (a) Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.
- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

13.1. DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

**13.1.1. EXPRESSION OF INTEREST – RURAL LOTS IN PART LOT 404
DP1241250 - BATHURST AERODROME**

Reason: 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposal to enter into a new rural licence agreement for various lots located at the Bathurst Aerodrome for a period of 5 years.

MOVED: Cr W Aubin SECONDED: Cr J Jennings

RESOLVED:

That Council approves entering into a new rural licence agreement for various lots in part Lot 404 DP1241250 located at the Bathurst Aerodrome for a period of five (5) years as detailed in the report.

13.1.2. INTEREST ON OUTSTANDING RATES - ASSESSMENT 103639

Reason: 10A (2) (b) Contains advice concerning hardship of a resident or ratepayer, disclosure of which would not be in the public interest as it would prejudice the personal position of the individual concerned.

This item relates to the request to waive interest on outstanding rates on assessment 103639 under the hardship provisions of the Local Government Act 1993

MOVED: Cr I North SECONDED: Cr G Hanger

RESOLVED:

That Council write off the accrued interest on rates and charges for assessment number 103639, under the hardship provisions of the Local Government Act 1993 as detailed in the report.

13.1.3. REQUEST TO WRITE-OFF LOAN - BATHURST 75 FOOTBALL CLUB

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to a request for a reduction in the loan payment due by Bathurst 75 Football Club.

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That Council not accept the offer from the Bathurst 75 Football Club of the one-off payment as full settlement of their loan with the Council.

13.2. DIRECTOR ENGINEERING SERVICE'S REPORT

13.2.1. TENDER FOR DESIGN AND CONSTRUCTION OF CENTRAL TABLELANDS COLLECTIONS FACILITY

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed tender for the Design and Construction of the Central Tablelands Collection Facility at Leena Street.

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That Council –

- (a) Decline to accept any of the tenders, and
- (b) Enter into negotiations with Tablelands Builders Pty Ltd with a view to entering into a contract in relation to the design and construction of the Central Tablelands Collections Facility
- (c) The reasons for declining to invite fresh tenders are due to funding limitations, construction timing and project functionality
- (d) The reason for determining to enter into negotiations with Tablelands Builders Pty Ltd is that they are the preferred tenderer in accordance with the Selection Criteria for the tendered works.

13.2.2. TENDER FOR DESIGN AND CONSTRUCTION OF HOWARDS BRIDGE - THE BRIDLE TRACK, DURAMANA

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed tender for the Design and Construction of Howards Bridge Replacement over the Winburndale Rivulet at the Bridle Track, Duramana.

MOVED: Cr M Morse SECONDED: Cr J Fry

RESOLVED:

That Council accepts the tender from Bridge and Marine Engineering Pty Ltd in the amount of \$789,848.40 (incl. GST) subject to provisional items and variations.

14. RESOLVE INTO OPEN COUNCIL

MINUTE

RESOLUTION NUMBER: ORD2020-70

MOVED: Cr W Aubin SECONDED: Cr I North

RESOLVED:

That Council resume open Council.

15. ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

MINUTE

RESOLUTION NUMBER: ORD2020-71

MOVED: Cr J Jennings SECONDED: Cr W Aubin

RESOLVED:

That the Report of the Committee of the Whole, resolution numbers Conf2020-13 to Conf2020-17 be adopted.

16. MEETING CLOSE

MINUTE

The Meeting closed a 7.46pm

CHAIR:

**MINUTES OF THE ORDINARY MEETING OF
BATHURST REGIONAL COUNCIL
HELD ON Wednesday 1 April 2020**

1. RECORDING OF MEETINGS

2. MEETING COMMENCES

MINUTE

Meeting commenced at 6.43pm

Present: Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings, Cr M Morse, Cr I North, Cr J Rudge

3. APOLOGIES

MINUTE

MOVED: Cr I North SECONDED: Cr J Jennings

RESOLVED: Nil.

4. DECLARATION OF INTEREST

MINUTE

MOVED: Cr J Fry SECONDED: Cr I North

RESOLVED: Nil

**5. RECEIVE AND DEAL WITH GENERAL MANAGER'S AND
DIRECTORS' REPORTS**

5.1.1. RENEWABLE ENERGY ACTION PLAN

File No: 13.00092

MINUTE

RESOLUTION NUMBER: ORD2020-73

MOVED: Cr J Fry SECONDED: Cr M Morse

RESOLVED:

That Council:

- (a) place the draft Renewable Energy Action Plan on public exhibition for a period of 28 days;

- (b) if no submissions are received then adopt the Renewable Energy Action Plan; and
- (c) if submissions are received, a further report be prepared for Council.

6. RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS

6.0. RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE

MINUTE

RESOLUTION NUMBER:

MOVED: Cr I North SECONDED: Cr A Christian

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

There were no representation from the public.

RESOLVED:

- (a) Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.
- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

6.1. DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

9.1.1. REGIONAL EXPRESS - LANDING CHARGES

Reason: 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to reduce the head tax payable by REX for their use of the Bathurst Regional Airport.

RESOLUTION NUMBER: CONF2020-20

MOVED: Cr J Jennings SECONDED: Cr A Christian

RESOLVED:

That Council defer consideration until July 2020 or, until further clarification of Federal and State subsidies is received.

7. RESOLVE INTO OPEN COUNCIL

MINUTE

RESOLUTION NUMBER: ORD2020-74

MOVED: Cr W Aubin SECONDED: Cr M Morse

RESOLVED:

That Council resume open Council.

8. ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

MINUTE

RESOLUTION NUMBER: ORD2020-75

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED:

That the Report of the Committee of the Whole, resolution numbers Conf2020-20 to Conf2020-20 be adopted.

9. MEETING CLOSE

MINUTE

The Meeting closed at 7:18pm.

CHAIR:

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Type	Year	No.	Value	Description	Address	Date Determine
10	2016	441	\$432,000	Separate dwelling additions	16 PJ Moodie Drive RAGLAN	12/03/2020
10	2019	258	\$75,000	Additions and alterations to commercial premises	23 Keppel Street BATHURST	3/03/2020
10	2019	273	\$28,360	Shed	4 Gilmour Street KELSO	25/03/2020
10	2019	281	\$0	Two lot rural subdivision	838 Vale Road PERTHVILLE	23/03/2020
10	2019	296	\$386,570	Single storey dwelling	299 Mount Haven Way MEADOW FLAT	10/03/2020
10	2019	304	\$11,000	Use of existing retaining wall & extension of boundary fence	6A Cardew Close BATHURST	4/03/2020
10	2019	371	\$80,000	Two storey second dwelling	103 Bant Street SOUTH BATHURST	31/03/2020
10	2019	372	\$0	Two lot subdivision	32 Lew Avenue EGLINTON	3/03/2020
10	2019	386	\$40,000	Shed and water tank	260 Russell Street BATHURST	25/03/2020
10	2002	138	\$0	MOD - workshop, office and storage	19 Wembley Place KELSO	13/03/2020
10	2019	393	\$10,000	Two lot residential subdivision and front fence	229 Stewart Street BATHURST	2/03/2020
10	2019	401	\$151,995	Second rural dwelling and demolition of existing shed	167 Saint Anthonys Creek Road GLANMIRE	13/03/2020
10	2019	404	\$750,000	Two storey dwelling house	135A Hope Street BATHURST	18/03/2020
10	2019	408	\$0	Relocatable dwelling, carport and convert garage to habitable rooms	191 Browning Street BATHURST	31/03/2020
10	2020	2	\$0	Two lot industrial subdivision	40 Hampden Park Road KELSO	2/03/2020
10	2020	10	\$0	External painting and alterations to awning of commercial premises inc	93 William Street BATHURST	10/03/2020
10	2020	16	\$650,000	Two storey dwelling with attached garage	45 James Barnet Drive KELSO	11/03/2020
10	2020	17	\$452,000	Dual occupancy and two lot residential subdivision	5 Darling Street EGLINTON	2/03/2020
10	2020	24	\$4,500	Pergola addition to front of dwelling, exterior painting & roof repair	125 Havannah Street BATHURST	25/03/2020
10	2020	33	\$481,000	Dual occupancy and two (2) lot residential subdivision	90 Graham Drive KELSO	10/03/2020
10	2020	34	\$740,000	Single storey dwelling with attached garage and shed	99 Howards Drive MOUNT RANKIN	24/03/2020
10	2020	38	\$150,000	Internal alterations to existing accommodation	158 Brilliant Street BATHURST	2/03/2020
10	2020	39	\$510,009	Single storey rural dwelling	1423 Rockley Road FOSTERS VALLEY	3/03/2020
10	2020	40	\$25,200	Aircraft hangar	167 Freemantle Road EGLINTON	10/03/2020
10	2020	43	\$15,450	Shed	5 Willman Place SOUTH BATHURST	10/03/2020
10	2020	44	\$265,915	Two lot residential subdivision and second dwelling	43 Stewart Street BATHURST	26/03/2020
10	2017	212	\$0	MOD - 150 lot residential subdivision and new roads	Marsden Lane KELSO	2/03/2020
10	2020	52	\$200,000	Bulk earth works and retaining walls	49 Hampden Park Road KELSO	12/03/2020
10	2019	13	\$170,000	MOD Partial demolition, additions & alterations to dwelling & new shed	250 Peel Street BATHURST	12/03/2020
10	2020	57	\$40,000	alterations and additions to an existing dwelling	44 Hill Street ROCKLEY	13/03/2020
10	2019	286	\$720,000	alterations and additions to existing dwelling	310 Eleven Mile Drive EGLINTON	20/03/2020
10	2020	58	\$23,260	Glazed enclosure of existing patio cover	312 Keppel Street WEST BATHURST	2/03/2020
10	2019	370	\$81,000	Mod - Relocation of transportable dwelling	2992 O'Connell Road O'CONNELL	6/03/2020
10	2020	59	\$17,267	Additions and alterations to existing dwelling	6 Ironbark Close KELSO	4/03/2020
10	2020	61	\$277,000	Single storey dwelling with attached garage	21 Fairleigh Place KELSO	3/03/2020
10	2020	63	\$33,450	Dwelling additions	25 Wentworth Drive KELSO	3/03/2020
10	2020	66	\$10,000	Retaining wall	46 Graham Drive KELSO	26/03/2020
18	2020	33	\$345,000	Single storey dwelling and attached garage	54 Sunbright Road KELSO	6/03/2020
10	2020	68	\$450,000	Proposed two storey dwelling, earthworks and retaining walls	27 Gell Place ABERCROMBIE	30/03/2020
10	2020	69	\$0	Subdivision - Boundary Adjustment	3 Meagher Street LLANARTH	19/03/2020
18	2020	34	\$467,231	single storey dwelling with attached garage	9 Dovey Drive KELSO	5/03/2020
10	2020	72	\$12,000	Earthworks and retaining walls	27 Newlands Crescent KELSO	25/03/2020
18	2020	35	\$135,000	Additions to a dwelling	2059 Sofala Road PEEL	11/03/2020
18	2020	36	\$337,334	Single storey dwelling with attached garage	23 Sunbright Road KELSO	11/03/2020
10	2020	79	\$50,000	Colorbond shed	2 Links Place ROBIN HILL	17/03/2020
10	2020	80	\$25,450	Shed and Rainwater tank	31 Blue Ridge Drive WHITE ROCK	19/03/2020
18	2020	40	\$210,000	Additions to dwelling	219 Turondale Road DURAMANA	17/03/2020
10	2020	86	\$19,200	Additions and alterations to an existing rural dwelling	1360 Lagoon Road THE LAGOON	19/03/2020

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Type	Year	No.	Value	Description	Address	Date Determine
18	2020	42	\$200,100	Additions to a dwelling	32 Halfpenny Drive KELSO	17/03/2020
18	2020	43	\$346,700	Single storey dwelling with attached garage	22 Newlands Crescent KELSO	23/03/2020
18	2020	44	\$362,500	Single storey dwelling with attached garage	20 Bolton Street KELSO	30/03/2020

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Type	Year	No.	Value	Description	Address	Date Determine
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NIL

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Type	Year	No.	Value	Description	Address
10	2017	214	\$75,000	Internal office addition to existing hangar	PJ Moodie Drive RAGLAN
10	2018	128	\$19,000	Use of existing habitable space	79 Bonnor Street KELSO
10	2018	227	\$8,500,000	Mixed use redevelopment	7 Keppel Street BATHURST
10	2018	380	\$0	133 lot residential subdivision & new roads	Marsden Lane KELSO
10	2018	395	\$0	204 lot residential subdivision	Colville Street WINDRADYNE
10	2018	433	\$396,515	Single storey rural dwelling with attached garage and detached shed	291 Mount Haven Way MEADOW FLAT
18	2019	11	\$292,000	Single storey dwelling with attached garage	31 Darling Street EGLINTON
10	2017	142	\$0	MOD Internal and external alterations to existing commercial building	205 Howick Street BATHURST
10	2019	146	\$0	10 Lot industrial subdivision	Havannah Street BATHURST
18	2019	96	\$850,909	Alterations to commercial building	39 William Street BATHURST
10	2019	248	\$25,000	Construction of fences and external painting of commercial premises	77 Durham Street BATHURST
18	2019	137	\$329,000	Single storey dwelling and attached secondary dwelling	13 Wallace Way KELSO
10	2019	270	\$0	Five lot large lot residential subdivision - boundary adjustment	597 Mitchell Highway ROBIN HILL
18	2019	141	\$55,980	In ground swimming pool	194 Gestingthorpe Road PERTHVILLE
18	2019	149	\$46,379	Inground swimming pool with safety barrier	18 McGillan Drive KELSO
18	2019	151	\$4,260	Garage conversion to a habitable space and pergola	194 Gestingthorpe Road PERTHVILLE
18	2019	152	\$16,480	cabana	194 Gestingthorpe Road PERTHVILLE
18	2019	153	\$56,791	Inground fibreglass swimming pool and safety barrier	29 Coolabah Close KELSO
18	2019	160	\$80,000	Commercial - Fitout of shop (barber shop)	210 Howick Street BATHURST
10	2019	328	\$50,000	Additions and alterations to church	36A Bant Street BATHURST
18	2019	165	\$290,000	single storey dwelling with attached garage	14 Burlington Rise KELSO
10	2019	352	\$1,380,000	Seven(7) group homes within five(5) separate buildings, five (5) carpo	10 Collins Close KELSO
10	2019	356	\$330,000	Single storey rural dwelling with attached carport	1554 Turondale Road MILLAH MURRAH
10	2019	361	\$815,000	Demolition, Subdivision & two single storey dwellings	15 Boyd Street KELSO
10	2019	367	\$0	1. Demolitin of all buildings at 105 Stewart 2. Partial demolition of	105 Stewart Street BATHURST
10	2019	373	\$0	Four lot strata subdivision of an existing strata lot	4/108 William Street BATHURST
10	2019	374	\$1,100,000	Mixed use development	505 Conrod Straight MOUNT PANORAMA
10	2019	383	\$190,000	Two storey additions and alterations to existing dwelling house	134 George Street BATHURST
10	2019	399	\$0	13 lot commercial subdivision and new roads	Sydney Road KELSO
10	2019	403	\$5,600,000	Asphalt plant	23 Zagreb Street KELSO
10	2020	3	\$45,803	Construction of two sheds with attached awnings	390 Panorama Avenue MITCHELL
10	2020	6	\$19,900	Construction of carport, patio and enclosure	16 Victoria Street GEORGES PLAINS
10	2020	9	\$0	Demolition of existing workshop and construction of new workshop	42 Durham Street BATHURST
10	2020	15	\$56,000	Additions and alterations to existing second dwelling	4 Glazebrooks Road THE LAGOON
10	2020	30	\$75,000	Additions and alterations to existing dwelling	204 Brilliant Street BATHURST
10	2020	31	\$420,000	Bakery and cafe and two lot subdivision	369 Stewart Street MITCHELL
10	2020	32	\$1,700,000	Motel and two lot commercial subdivision	369 Stewart Street MITCHELL
10	2020	37	\$0	Two lot rural subdivision	67 Duramana Road EGLINTON
10	2020	45	\$580,000	change use aged care to community facility & residential accommodation	61 Boyd Street KELSO
10	2020	47	\$175,000	Partial demolition, additions and alterations to existing dwelling hou	169 Rankin Street BATHURST
10	2020	48	\$800,000	storage units	37 Esrom Street LLANARTH
10	2020	49	\$236,883	Additions and alteration to existing dwelling	1475 Ophir Road ROCK FOREST
10	2020	50	\$0	Three lot residential subdivision	34 Busby Street SOUTH BATHURST
10	2020	51	\$65,000	Extension to existing telecommunications facility	Davis Street SOFALA
10	2020	53	\$5,000	carport extension	3 McGill Close KELSO
10	2020	54	\$3,000	Removal of seven dead Elm trees	22 Hill Street ROCKLEY
10	2020	55	\$620,000	dual occupancy and two lot subdivison	39 Keane Drive KELSO
10	2020	56	\$19,510	Garage/Carport	115 Graham Drive KELSO
10	2020	60	\$8,000,000	Motel, garden centre, storage/warehouse and 3 lot subdivision	61 Sydney Road RAGLAN
10	2020	62	\$400,000	proposed commercial warehouse, offices, amenities and storage awning	19 Whyalla Circuit KELSO

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Type	Year	No.	Value	Description	Address
10	2020	64	\$436,800	Two lot residential subdivision (dual occupancy second dwelling)	21 Landseer Street RAGLAN
10	2020	65	\$4,999	Carport	150 Seymour Street BATHURST
10	2020	67	\$15,000	removal and replacement of pylon business identification sign	51 Sydney Road RAGLAN
10	2020	70	\$15,000	Use of existing structural internal alterations & change of use	Napoleon Reef Road NAPOLEON REEF
10	2020	71	\$32,705	addition to dwelling	25 Sydney Road RAGLAN
10	2020	73	\$332,500	Dual Occupancy (2nd dwelling) & two lot residential subdivision	91 Morrisset Street BATHURST
10	2020	74	\$345,000	Two storey dwelling	120 Evans Plains Road DUNKELD
10	2020	75	\$29,450	Additions and alterations to existing dwelling and carport	320 Russell Street BATHURST
10	2020	76	\$0	Two lot subdivision (boundary adjustment)	9 Boyd Street KELSO
10	2020	77	\$12,300	Additions and alterations to existing dwelling	38 Coates Drive KELSO
10	2020	78	\$285,000	Two lot subdivision (dual occupancy) second dwelling	72 Hamilton Street EGLINTON
10	2020	81	\$458,000	Demolition and construction of two rural dwellings	20 Clairvaux Lane KELSO
10	2020	82	\$26,500	Additions to existing dwelling, carport and front fence	168 Rankin Street BATHURST
10	2020	83	\$0	Change of use to a training facility	227 Howick Street BATHURST
10	2020	84	\$150,000	Additions and alterations to existing dwelling	67 Lambert Street BATHURST
10	2018	405	\$0	Modification to bathroom and laundry area only	118 Howick Street BATHURST
10	2020	85	\$35,000	Addition to existing commercial premise.	63 Corporation Avenue ROBIN HILL
10	2020	87	\$4,900,000	Caltex highway service station and restuarant	214 Sydney Road KELSO
10	2020	88	\$40,000	Shed	102-104 Gilmour Street KELSO
10	2020	89	\$4,500	fence	32 Country Way ABERCROMBIE
10	2020	90	\$40,000	change of use commercial to residential, alterations and additions	180 Stewart Street BATHURST
10	2020	91	\$348,000	Single storey dwelling with attached garage	6 Peard Close EGLINTON
10	2020	92	\$2,815,000	New service station, fast food outlet and 3 lot subdivision	5350 Great Western Highway RAGLAN
10	2017	394	\$841,000	DA Modificaiton - animal breeding facility	1557 Rockley Road FOSTERS VALLEY
10	2020	93	\$0	Two lot industrial subdivision	58 Lee Street KELSO
10	2020	94	\$456,000	Dual occupancy and two lot subdivision	4 Austin Place EGLINTON
10	2020	95	\$1,250,000	Additions and alterations to an existing hotel	170 William Street BATHURST
10	2019	401	\$151,995	Second rural dwelling and demolition of existing shed	167 Saint Anthonys Creek Road GLANMIRE
10	2020	96	\$20,000	Commercial alterations to brow renovations premises	1/20 Corporation Avenue ROBIN HILL
10	2015	206	\$0	Subdivision - Rural	1 Samuel Way THE LAGOON
10	2020	97	\$70,000	Additions to existing workshop office	101 Peel Street BATHURST
18	2020	45	\$2,500,000	Commercial shed - mezzanine floor, 3 offices & 5 bathrooms	49 Hampden Park Road KELSO
10	2020	98	\$0	MOD - Two lot rural subdivision	219 Peregrine Road BILLYWILLINGA
10	2020	99	\$30,000	Garden Shed	115 Samuel Way THE LAGOON
10	2020	100	\$360,000	Part demolish existing dwelling, dwelling / shed additions, shed	16 Fitzroy Street PEEL
10	2020	101	\$90,000	Separate habitable additions to dwelling	92 Freemantle Road EGLINTON
18	2020	46	\$190,000	Commercial - Additions/Alterations	210 Howick Street BATHURST
10	2020	102	\$0	external painting of commercial premise	56 Russell Street BATHURST
10	2020	103	\$700,000	Demolish - construct takeaway food & drink premises	113 Durham Street BATHURST
18	2020	48	\$415,000	Single storey dwelling with attached garage	46 Graham Drive KELSO
10	2020	104	\$22,000	Commercial - Painting of Premises	195 Russell Street BATHURST
10	2020	105	\$16,000	Carport and Other - Residential Structure	215 Keppel Street BATHURST

Applications Over 40 Days

App Typ	Year	No	Description	Address	Application Date	Days open	Stop days	Reason
10	2017	142	MOD Internal and external alterations to existing building	205 Howick Street BATHURST	28/02/2019	397	377	Additional information requested
10	2017	214	Internal office addition to existing hangar	PJ Moodie Drive RAGLAN	16/06/2017	1,019	973	Additional information requested
10	2018	128	Use of existing habitable space	79 Bonnor Street KELSO	17/04/2018	714	679	Waiting on additional information
10	2018	227	Mixed use redevelopment	7 Keppel Street BATHURST	29/06/2018	641	595	Waiting on additional information
10	2018	380	133 lot residential subdivision & new roads	Marsden Lane KELSO	5/10/2018	543	508	Additional information requested
10	2018	395	204 lot residential subdivision	Colville Street WINDRADYNE	18/10/2018	530	501	Waiting on additional information
10	2018	433	Single storey rural dwelling with attached garage	291 Mount Haven Way MEADOW FLAT	13/11/2018	504	251	Under assessment
10	2019	146	10 Lot industrial subdivision	Havannah Street BATHURST	14/05/2019	322	36	Waiting additional information
10	2019	270	Five lot large lot residential subdivision	597 Mitchell Highway ROBIN HILL	6/09/2019	207	165	Additional information requested
10	2019	328	Additions and alterations to church	36A Bant Street BATHURST	18/10/2019	165	147	Waiting additional information
10	2019	352	7 group homes in 5 separate buildings, carports and carpark	10 Collins Close KELSO	8/11/2019	144		Waiting additional information
10	2019	356	Single storey rural dwelling with attached carport	1554 Turondale Road MILLAH MURRAH	14/11/2019	138	131	Access issues need resolution
10	2019	361	Demolition, Subdivision & two single storey dwellings	15 Boyd Street KELSO	19/11/2019	133		Awaiting Applicant information
10	2019	367	Demolish buildings, new fast food restaurant, carpark & signage	105 Stewart Street BATHURST	22/11/2019	130		Waiting additional information
10	2019	371	Two storey second dwelling	103 Bant Street SOUTH BATHURST	27/11/2019	125	82	Additional plans requested
10	2019	373	Four lot strata subdivision of an existing strata lot	4/108 William Street BATHURST	28/11/2019	124	117	Building report to be submitted
10	2019	374	Mixed use development	505 Conrod Straight MOUNT PANORAMA	29/11/2019	123		Report to April Council Meeting
10	2019	383	Two storey additions and alterations to existing dwelling	134 George Street BATHURST	6/12/2019	116		Under assessment
10	2019	399	13 lot commercial subdivision and new roads	Sydney Road KELSO	18/12/2019	104	68	Awaiting Integrated referral response
10	2019	403	Asphalt plant	23 Zagreb Street KELSO	19/12/2019	103		Report to April Council Meeting
10	2020	3	Construction of two sheds with attached awnings	390 Panorama Avenue MITCHELL	8/01/2020	83		Awaiting applicant information
10	2020	6	Construction of carport, patio and enclosure	16 Victoria Street GEORGES PLAINS	10/01/2020	81		Awaiting applicant Flood study and info
10	2020	9	Demolition of existing workshop and construction of new	42 Durham Street BATHURST	15/01/2020	76		Waiting additional information
10	2020	15	Additions and alterations to existing second dwelling	4 Glazebrooks Road THE LAGOON	20/01/2020	71	63	Additional details required
10	2020	30	Additions and alterations to existing dwelling	204 Brilliant Street BATHURST	3/02/2020	57		Under assessment
10	2020	31	Bakery and cafe and two lot subdivision	369 Stewart Street MITCHELL	4/02/2020	56		Additional information requested
10	2020	32	Motel and two lot commercial subdivision	369 Stewart Street MITCHELL	4/02/2020	56		Additional information requested
10	2020	37	Two lot rural subdivision	67 Duramana Road EGLINTON	6/02/2020	54		Under assessment
10	2020	45	Change of use aged care to community facility & residential	61 Boyd Street KELSO	12/02/2020	48	31	Awaiting revised information
10	2020	47	Additions and alterations to existing dwelling & new shed	169 Rankin Street BATHURST	14/02/2020	46		Notification period ends 3/04/20
10	2020	48	Storage units	37 Esrom Street LLANARTH	14/02/2020	46	7	Preliminary biodiversity assessment
10	2020	49	Additions and alteration to existing dwelling	1475 Ophir Road ROCK FOREST	14/02/2020	46		Waiting on additional information
10	2020	50	Three lot residential subdivision	34 Busby Street SOUTH BATHURST	17/02/2020	43	12	Updated CMP and new HIS requested
10	2020	51	Extension to existing telecommunications facility	Davis Street SOFALA	17/02/2020	43		Under assessment
10	2020	53	Carport extension	3 McGill Close KELSO	18/02/2020	42		Under assessment
10	2020	54	Removal of seven dead Elm trees	22 Hill Street ROCKLEY	18/02/2020	42		Under assessment



1/3/2020 - 31/3/2020

Council DA	Lot	DP	Street No	Street Name	Suburb	Postcode	Category	Environmental Planning Instrument	Zoning Of Land	Development Standard To Be Varied	Justification Of Variation	Extent Of Variation	Concurring Authority	Date Determined
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NIL

An aerial photograph of Bathurst, Australia, taken at sunset. The sky is a mix of dark, heavy clouds and a bright orange and yellow glow from the setting sun. In the foreground, a prominent church steeple with a red roof and a small window is visible. The town below is densely packed with houses and buildings, with some lights beginning to glow. The overall scene is a mix of urban and natural elements, with trees interspersed among the buildings.

Vision Bathurst 2040

Bathurst Region Local Strategic Planning Statement

Vision Bathurst 2040 (draft) has been endorsed by Council for consultation purposes only and does not yet represent Council Policy. It cannot be relied upon at this time in regard to any development led planning proposals.

Acknowledgment of Country

Bathurst Regional Council acknowledges the Wiradjuri people who are the traditional custodians of the land and pays respect to Elders both past and present.

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The Bathurst Region land use vision

Bathurst is the oldest European inland settlement on mainland Australia and one of the fastest growing inland centres in NSW. Council's Local Strategic Planning Statement, known as Vision Bathurst 2040, proposes a future focussed planning approach to achieve forecast, desired and sustainable growth for the Bathurst Region. In achieving the land use future:

- Bathurst will have a sustainable water supply that will meet the forecast population growth.
- Bathurst will be the premier motor racing venue for Australia, with an audience that showcases the Bathurst Region on an international stage.
- The Bathurst Region will have housing diversity that meets the needs of the changing demographic of the Region. It will have a compact urban form, acknowledging the importance of protecting the agricultural resource of the Bathurst Region.
- The Bathurst Region will have a moderate living density, maintaining the rural character of the Region and being different from metropolitan Sydney.
- The Bathurst Region will protect and enhance the Region's Indigenous and non-Indigenous heritage, including its heritage parks and gardens and natural landscapes and vistas.
- Bathurst will align development, growth and infrastructure to meet the changing needs of the Region.
- The Bathurst Region will value its natural environment, plan for a changing climate and improve the community's resistance to natural hazards and extreme weather events.
- The Bathurst Region will maintain its cultural and sporting heritage and continue to develop and enhance its cultural, sporting and recreation facilities to a regional level.
- The Bathurst Region will be a smart community which embraces education, knowledge and technological change.



Introduction

Vision Bathurst 2040 is the Bathurst Region's Local Strategic Planning Statement. The purpose of the Local Strategic Planning Statement (LSPS) is to outline the Bathurst Region's economic, social and environmental land use needs over the next 20 years as the Region grows and changes. It highlights those characteristics that make the Region special and outlines how growth and change in land uses will be managed into the future.

The NSW Department of Planning, Industry & Environment's (DPIE) established a strategic direction for the Central West and Orana region through the Central West and Orana Regional Plan. Vision Bathurst 2040 implements relevant sections of the Regional Plan at the local level. It sets clear priorities for how land use change will support jobs, housing, infrastructure and services, and the environment over the next 20 years.

Vision Bathurst 2040 identifies the strategic planning work, in the form of studies and strategies that Council needs to undertake, complete, implement or review. The LSPS will help inform a review of the Region's planning controls to ensure they protect and enhance the values and characteristics that matter most to the community. Vision Bathurst 2040 will guide the Region through time and, as new information comes to hand, Council will update and review the LSPS to reflect current knowledge and information.

Vision Bathurst 2040 has been prepared based on feedback from the community about their priorities, needs and challenges. Vision Bathurst 2040:

- outlines how Council will maximise opportunities presented by change;
- protect the characteristics that the Bathurst Region community values; and
- sets immediate and ongoing actions for the implementation of the plan.

Legislative Requirements

A Local Strategic Planning Statement (LSPS) is a requirement of the Environmental Planning and Assessment Act (EP&A Act), and every Council in NSW is required to have one in place. Vision Bathurst 2040 is the first version of the LSPS for the Bathurst Region. It is important to note that Vision Bathurst 2040 is not a stand-alone document. It is supported by a range of strategic land use documents. It will guide the ongoing decisions of Council, future budget expenditure and future directions of Council in terms of land use decisions. Vision Bathurst 2040 and the Bathurst 2040 Community Strategic Plan will integrate with each other as well as other existing and future strategic documents to provide an integrated land use direction for

Council over the next 20 years.

Section 3.9 of the Environmental Planning and Assessment Act 1979 requires Councils to prepare a LSPS and review it at least every seven years. The LSPS must include or identify the following:

- the basis for strategic planning in the area, having regard to economic, social and environmental matters,
- the planning priorities for the area,
- the actions required to achieve those planning priorities, and
- the basis for which Council will monitor and report on the implementation of the actions.

Relationship to the NSW Strategic Planning Framework

Vision Bathurst 2040 is informed by both local and state government plans and policies and describes how these initiatives and their strategic direction will affect the local area, from a land use perspective. Vision Bathurst 2040 has been prepared in response to, and consistent with, the initiatives and direction of the NSW strategic planning framework. The NSW Strategic Planning framework identifies a suite of documents that guide the direction of Councils. The image below illustrates the Vision Bathurst 2040 Local Strategic Planning Statement within this context.

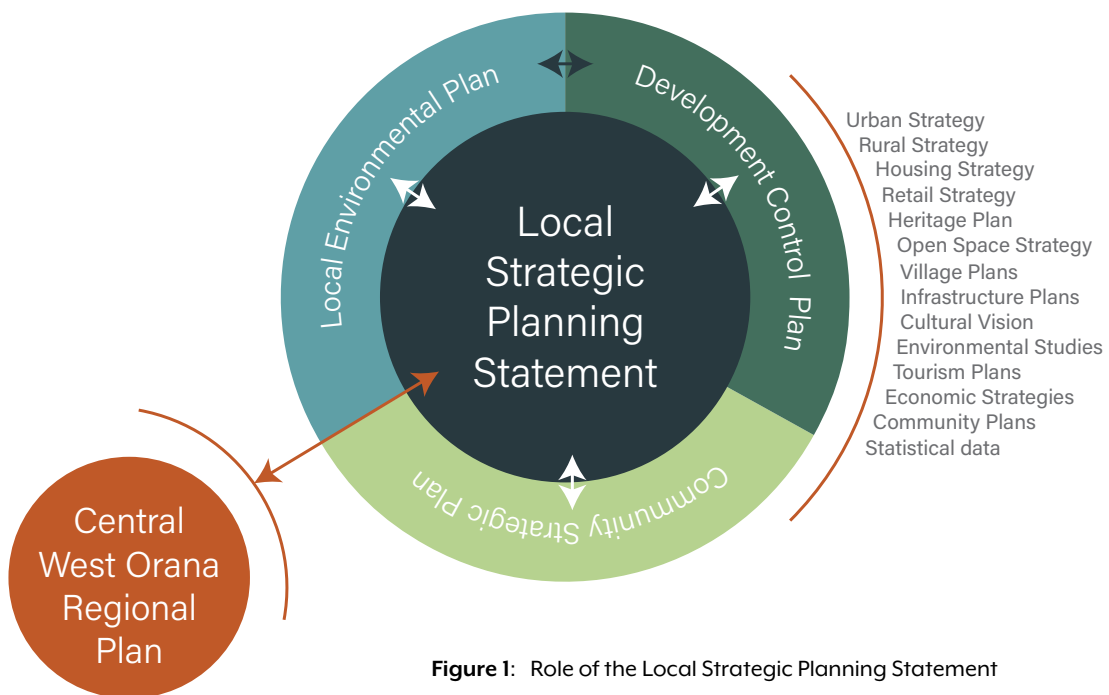


Figure 1: Role of the Local Strategic Planning Statement

An explanation of these plans, strategic direction and key initiatives is outlined below.

1. Central West and Orana Regional Plan

Regional Plans have been prepared by NSW Government to plan for the future population's need for housing, jobs, infrastructure and a healthy environment. The Regional Plan outlines the goals and actions for the Central West and Orana Region to achieve a sustainable future. It applies to 19 local government areas including the Bathurst Region, covering a total area of 125,666 square kilometres. The vision for the Central West and Orana Region closely reflects the vision and priorities identified in the Bathurst 2040 Community Strategic Plan. There are direct linkages between the goals, objectives and actions in both plans for the next 20 years.

The Regional Plan establishes four goals for the Central West and Orana Region.

- The most diverse regional economy in NSW.
- A stronger, healthier environment and diverse heritage.
- Quality freight transport and infrastructure network.
- Dynamic, vibrant and healthy communities.

2. Bathurst 2040 Community Strategic Plan

Guidelines were developed in 2009 by the NSW Government to help improve the way Local Government plans for the future. All local councils in NSW are required to plan and report in line with the NSW Government's Integrated Planning & Reporting Framework (IP&R). Its specific aim is: "To inform the community about the major directions and programs Council is undertaking in shaping the future of the Bathurst Region".

The Community Strategic Plan (CSP) represents the blueprint for the future, describing the focus of all Council's activities. It also recognises that others in the community (individuals, businesses, governments and agencies) must help with those outcomes. The CSP will be revised at the commencement of each new term of Council in consultation with the community. At the end of a council term, a report card will be developed showing what Council has achieved.

3. Council strategies that have informed Vision Bathurst 2040

In preparing Vision Bathurst 2040, reference is made to a range of Council's existing strategies. Reference is also made to various State Government strategies. A brief description of the various key strategies have been included in the table below.

Bathurst Regional Council Plans	Strategy Name	Description	Adopted
	Bathurst Region Rural Strategy	A broad land use strategy to guide future land management and development of rural lands, villages and settlements in the Bathurst region. It outlines how rural lands should be protected from urban encroachment, landuse conflict and further fragmentation. The strategy establishes rural settlement growth focussed on the existing village locations.	2008
	Bathurst Region Urban Strategy	A broad land use strategy to guide the future land management and development of the urban areas and urban villages (Eglington, Perthville and Raglan) of the region. It considers opportunities for residential, industrial and business expansion.	2007
	Bathurst Open Space Strategy	The Strategy undertakes an analysis of the open space that has been provided by Council and establishes the minimum quantity and condition of open space to be provided to meet the needs of a growing population.	2020
	Bathurst CBD & Bulky Goods Business Development Strategy	The Strategy is a comprehensive and detailed review of retailing and bulky goods development in Bathurst. It examined the role, structure and function of the existing system and assessed future floorspace requirements to meet the needs of the city and its regional catchment area (RCA) over the period 2010 – 2036. The Strategy establishes the City’s retail hierarchy (retail centres policy).	2011
	Bathurst 2036 Housing Strategy	The Strategy is a strategic document which will assist Council to encourage a range of housing that meets the existing and future housing needs of the city of Bathurst.	2018
	Bathurst Region Heritage Plan	The Plan directs the management of the region’s Indigenous and non-Indigenous heritage assets in light of changing values and a greater level of knowledge.	2018

Bathurst Region Economic Development Strategy	The Strategy provides a guiding framework for Council and the community, to drive economic growth. The purpose of the Strategy is to drive vigorous and sustainable economic development and recognises the need for collaborative effort across all levels of government, the community, and not-for-profit groups to achieve the objectives of the Strategy.	2018
Bathurst Smart Community Strategy	The Strategy provides a blueprint to encourage business investment and industry incentives to drive the economy. It will also guide how Council will deliver services in the future and ensure all members of the community are able to participate in the digital age.	2019
Bathurst Disability Inclusion Action Plan	The purpose of the Plan is to set out the strategies and actions that Council will deliver to enable people with disability to have greater access to the built environment and Council information, services, facilities and events.	2017
A Cultural Vision 2036	A 20-year vision for the cultural facilities of the Bathurst region.	2018
Bathurst Urban Waterways Management Plan	The Plan reports on the 2010 condition of Bathurst urban waterways and provides long-term strategies for their management and restoration in line with existing policy frameworks. The Plan has been developed to guide future development, rehabilitation/restoration of the waterways that will work towards sustaining catchment health and supporting the natural functioning of waterway ecosystems.	2010
Bathurst Region Destination Management Plan	A 4-year plan that identifies opportunities that are important to help grow the visitor economy on a sustainable basis and meet the objectives of the Plan.	2019
Bathurst Biodiversity Management Plan	This plan contains recommendations for the protection of biodiversity across the region.	2012

Bathurst Region Vegetation Management Plan	The Plan provides strategies and recommendations for vegetation management across the region, particularly land under the care and control of Council. It has been developed in recognition of the vegetation within the City, the rural villages, significant natural bushland, riverine environments, floodplains and agricultural landscapes across the region.	2019
Bathurst Southern Ring Road Route Study	The Study identified the need for establishing a southern ring road for Bathurst, connecting its employment areas, the Great Western, Mid-Western and Mitchell Highways and providing an alternative route for heavy vehicles.	2008
Climate Change and Water Supply Security Plan	This plan responds to the forecasted climate change and associated uncertainty to future water supply security in the Bathurst Region. It looks at specific actions that will help the Bathurst Region to adapt to a future with less water.	2011
Bathurst Library Strategic Plan	The strategy identifies the strategic priorities, direction and supports Council's direction of the Bathurst Library.	2019
Village Strategic Plans	The Village Plans provide a framework for the preferred futures for each of the Village communities that will inform Council's strategic planning for the region.	2013
Bathurst Floodplain Management Plan	The Plan outlines flood protection measures for flooding associated with the Macquarie River and Queen Charlotte's Creek at Perthville. The Plan makes recommendations for the voluntary purchase of residential properties located on the Macquarie River floodplain and sets out a series of flood levees.	1995
Integrated Water Cycle Management (IWCM) Plan	The Strategy explores options for the sustainable management of the provision of water supply, sewerage and stormwater services. This strategy documents the IWCM study undertaken and the recommended IWCM Strategy for Council.	2009

NSW State Government Plans	Central West and Orana Regional Plan	Produced by the NSW Department of Planning, the Regional Plan is a 20-year blueprint for the future of the Central West and Orana region.	2017
	Future Transport 2056	Produced by Transport for NSW, the Strategy sets the 40-year vision, directions and outcomes framework for customer mobility in NSW, which will guide transport investment over the longer term. It will be delivered through a series of supporting plans.	2018
	NSW Energy Strategy	The Strategy is the NSW Government's plan for a reliable, affordable and sustainable electricity future that supports a growing economy.	2018
	NSW Premier's Priorities	Developed by the NSW Government, each priority has an ambitious target and have been set with the purpose of delivering on the government's key policy priorities.	2019

The Bathurst Region Urban Strategy (2007) and the Bathurst Region Rural Strategy (2008) are the core landuse strategies that inform Vision Bathurst 2040. These strategies will require major review in the short to medium term.

4. What is the difference between a Local Strategic Planning Statement and a Community Strategic Plan?

The Local Strategic Planning Statement is focused on land use only, the Community Strategic Plan is focused on the direction of all of Council's functions. The Local Strategic Planning Statement will be consistent with the Community Strategic Plan, and must be consistent with the Central West and Orana Regional Plan.

The Bathurst Region in the context of the Central West

The Wiradjuri people are the traditional owners and custodians of the Bathurst Plains. Their occupation of the area extends thousands of years to the time of Gudyiin ('the beginning', time immemorial).

Bathurst is the oldest inland European settlement on mainland Australia. Rich in built and natural history, it sits at the heart of the Bathurst Regional Local Government Area.

With a population estimated at 43,206 in 2018 (id.com.au), the Bathurst region is a progressive regional city with a growing population, attracting families to new growth areas such as Abercrombie, Eglinton, Kelso and Windradyne.

Bathurst services a regional catchment of over 146,000 people and the Local Government Area contributed \$2.13 billion to gross regional product (GRP) in 2017 (Bathurst Regional Economic Development Strategy 2018). Key economic sectors include manufacturing, public administration and safety, education and training, health care and social assistance, services (electricity, water and gas), construction and retail. Several NSW Government regional and head offices have relocated to Bathurst, while a thriving retail sector contributes to more than 3,200 established businesses. Council undertook an audit of the vacant shopfronts within the CBD during October 2019. The findings of the audit showed that the Bathurst CBD had an occupancy rate of over 90%, showing the strength of the CBD.

Rural areas support livestock, grazing, market garden and wool production, as well as a forestry industry and a number of mining and quarry activities.

Tourism is a major economic driver. Over 250,000 people visit Bathurst during iconic race events at the internationally famous Mount Panorama motor racing circuit. The city attracts students to over 60 educational institutions including Charles Sturt University, Western Institute of TAFE and the Western Sydney University's clinical education facility at Bathurst Base Hospital.

Priorities for the Bathurst Region, as outlined in the Central West and Orana Regional Plan, are to:

- Support the delivery of residential land release areas and increase the range of housing options in existing urban areas.
- Support the development of an internationally recognised motor sport precinct inclusive of a second world class circuit and associated research and development business park and supporting infrastructure and facilities.
- Promote Bathurst as a centre of excellence for technology and education.
- Recognise and enhance cultural, heritage, rural and environmental values.

44,182	(2019)
55,250	(2036)
20.8%	2019-2036
1.2%	Average annual growth

POPULATION

Bathurst Region at a glance

OUR COMMUNITY

5% need assistance due to age or disability

5.4% identify as Aboriginal or Torres Strait Islander

8.6% were born overseas

TOP 5 INDUSTRIES we work in

- 1 Health Care and Social Assistance 13.4%
- 2 Education and Training 12.0%
- 3 Retail Trade 10.5%
- 4 Public Administration and Safety 8.7%
- 5 Construction 8.3%

28% of families are **couples** with **children**

OCCUPATION

18.9% Professionals

14.5% Technicians & Trades

13.5% Community & Personal Service

82.6	15.8	1.6
Separate houses	Medium density	Other

HOUSING %

Household Size
2016 = 2.48
2036 = 2.32

Median resident age is 37

84% of the workforce are **local** residents

Cars per household
85% of households have access to at least one vehicle.

947,000 annual tourism visitors

Consultation for the Local Strategic Planning Statement: What the Community said

Council held a series of workshops in July 2019 to identify the community's land use vision and priorities. Over 60 individuals and groups contributed to the development of Vision Bathurst 2040. To focus the consultation, ten themes were suggested by Council. The key messages from each theme are outlined below.

Water Security:

Water security was the paramount issue identified by the community during the consultation. At the time of the consultation and writing of Vision Bathurst 2040, severe drought and water restrictions were impacting the Bathurst Region. The community raised concerns that ongoing water security is critical to the growth of the Bathurst Region.

Water is a precious resource and water security is at the heart of thriving regional communities. It contributes to the appeal and prosperity of rural areas, regional towns and cities. Growing demands, uncertain climate impacts and shifting community expectations means Council needs to plan and invest in improved long-term regional water security. The community identified several challenges for the Bathurst Region as it grows, including:

- the use of recycled water;
- the use of water tanks beyond BASIX requirements;
- stormwater harvesting;
- sourcing water from several sources to meet the demands of residents;
- how best to balance the needs of irrigators; and
- how to support primary producers in time of drought.

These challenges are important for Council to address as the population grows.

Infrastructure and Transport:

The Bathurst community values a well-connected Region by road, rail and air services. The community said that traffic congestion, CBD car parking, poor public transport options and lack of footpath infrastructure are challenges that Council needs to address as the Region grows. The community also suggested that alternative transport options, a city bypass, additional air services and rail services are areas that Council could advocate and plan for.

Housing:	<p>The community values, and new residents are attracted to, the Region's wide open spaces and the lifestyle opportunities the Region affords. The community said that housing affordability, housing types, ageing in place, reducing urban sprawl, variety of lot sizes and creating neighbourhood character are challenges that Council needs to address. The community also suggested that requiring housing to be more sustainable (beyond BASIX) with insulation, stormwater storage and greater energy efficiency are areas where Council could advocate for.</p>
Education:	<p>The Region hosts over 60 educational establishments with in excess of 3,200 students. The community said that schools, particularly public high schools, are overcrowded and at or nearing capacity. Advocating for new and appropriately sized schools is a challenge that Council needs to address. The community also raised concerns about the youth needing to relocate to Sydney or other regional centres to attend university.</p>
Health:	<p>Having access to quality health services benefits the whole community and impacts on quality of life. The community identified challenges such as the need for the Bathurst Hospital to provide quality local health care, Bathurst to have adequate health care services, including aged care, and access to specialist services. These challenges need to be addressed and advocated by Council as the population increases.</p>
Heritage:	<p>The Bathurst community values and cherishes the Region's heritage, both Indigenous and non-Indigenous, and in particular the character of the Region's built heritage and streetscapes. The community identified several challenges that should be addressed by Council including: preserving and maintaining heritage assets; revitalising heritage; valuing and protecting Indigenous heritage; encouraging adaptive reuse; and integrating heritage tourism.</p>

Sport and Recreation:	<p>The Region boasts quality regional level sporting facilities, which are valued by the community. The community identified key challenges including: the irrigation of the fields and ongoing water security; the loss of agricultural land to recreation uses; poor quality open spaces within subdivisions (often without play equipment or seating/water stations); and the need to improve the architectural merit of the buildings within the recreation areas. The community supported Council's efforts in the development of the Mount Panorama motor racing precinct, new sporting facilities and the ongoing maintenance of the heritage parks such as Machattie Park and King's Parade.</p>
Shopping:	<p>Having access to quality shopping services creates a vibrant community and a strong local economy. The digital economy will change the traditional CBD shopping precinct and it needs to be carefully planned to maintain its social role and continue to be vibrant. The community raised issues such as the importance of the shopping areas as being social spaces, rather than just for shopping, keeping the Bathurst CBD vibrant, allowing the suburbs to be supported by smaller centres, parking within the CBD can be difficult and attracting a range of new types of shops to Bathurst.</p>
Environment:	<p>The natural environment and rural landscape is a major drawcard for the Bathurst Region. The community said that they want it protected and enhanced. They also identified the following challenges that need to be addressed: rural waste options; protection of the Region's waterways; climate change and extreme weather events; the need to balance developing land against the retention of the natural character of the Region; and reducing the carbon footprint of the Region. Council will need to balance population growth with the need to respect the environment, support agriculture and build on the Region's local fresh food production and other rural activities.</p>
Jobs Growth:	<p>There are a variety of job opportunities locally, with over 87% of employed workers living in the Bathurst Region. Council is aware of the challenges within the food manufacturing industries. The community also identified a number of additional challenges including the desire to work and live in the Region, concerns with the decline of small business, casualisation of the workforce, focus on filling the empty spaces by attracting new businesses, and attract new industry to the Region.</p>

Top messages:

Council continues to undertake consultation with respect to the development of a range of land use planning studies. Consultation undertaken as part of the development of these studies and strategies has also been considered in the preparation of the Local Strategic Planning Statement.

A range of issues were raised by the community in each of the categories as outlined above. The top messages Council heard from the consultation were:

1. Water security.
2. Housing choice and affordability.
3. Health and education services for the Region.
4. Jobs growth.
5. Fostering the agricultural land uses.
6. Resilience to climate change, including the protection of the environment.
7. Manage growth to protect the Region's heritage and maintain local character.

These messages have been incorporated into the development of Vision Bathurst 2040, the Local Strategic Planning Statement for the Bathurst Region.



Themes and Planning Priorities

Vision Bathurst 2040 provides:

- a 20 year land use vision for the Bathurst Region;
- an overall structure plan identifying the vision of the Bathurst Region community;
- planning priorities, including actions for each priority; and
- details on the implementation and monitoring of the Strategy.

Nineteen planning priorities have been identified and grouped into four themes. The planning priorities will help shape the land use future of the Bathurst Region.

1. Infrastructure and transport

Planning Priority 1 - Plan for water security

Planning Priority 2 - Align development, growth and infrastructure

Planning Priority 3 - Connect the Bathurst Region

2. Diverse and strong economy

Planning Priority 4 - Maintain a thriving local business and retail economy

Planning Priority 5 - Ensure a suitable supply of employment and urban services land

Planning Priority 6 - Protect Mount Panorama (Wahluu) as a motor sport and event precinct

Planning Priority 7 - Leverage new opportunities

Planning Priority 8 - Become a Smart city

3. Heritage and sustainable environment

Planning Priority 9 - Protect Indigenous cultural heritage

Planning Priority 10 - Protect European and non-Indigenous heritage

Planning Priority 11 - Maximise the Region's tourism opportunities

Planning Priority 12 - Enhance environmentally sensitive land and biodiversity

Planning Priority 13 - Protect primary production land

Planning Priority 14 - Create a sustainable Bathurst Region

Planning Priority 15 - Improve resilience to natural hazards and extreme weather events

4. Dynamic and healthy communities

Planning Priority 16 - Provide new homes

Planning Priority 17 - Create vibrant and sustainable local villages and rural settlements

Planning Priority 18 - Deliver open space and recreation

Planning Priority 19 - Deliver social, community and cultural infrastructure

The identified actions for each of the planning priorities have been grouped into three category areas:

Strategic documents and studies – What additional information should Council be obtaining?

Land Use Planning:

- Immediate actions – changes that need to be made in the short term (up to 4 years);
- Ongoing actions – actions and policy directions that are relevant over the life of the Statement.

Collaborate with partners – Where does Council or the community need help from other partners?

The actions are supported by the Local Strategic Planning Statement structure plan maps:

Figure 2 – Bathurst Region structure plan map

Figure 3 – City of Bathurst structure plan map

Combined, they represent the vision to work to achieve the land use future.

Vision Bathurst 2040 will inform land use and development decisions. Relevant planning priorities and the structure plan maps will need to be addressed when evaluating growth, planning proposals or changes to land use in the Bathurst Region.

The Bathurst Region Structure Plans

The Bathurst Region Structure Plan maps on the following pages, illustrate a land use and infrastructure plan to guide development of the Bathurst Region over the coming 20 years. They set out the intended future spatial structure of the Region and the City, detailing broad land uses and infrastructure outcomes to be achieved as growth and change occurs. Together with the broader land use strategies that support the LSPS and the actions in this Statement, the Bathurst Region Structure Plan (**Figure 2**) and the Bathurst City Structure Plan (**Figure 3**) are an important part of the Bathurst Region Local Strategic Planning Statement.

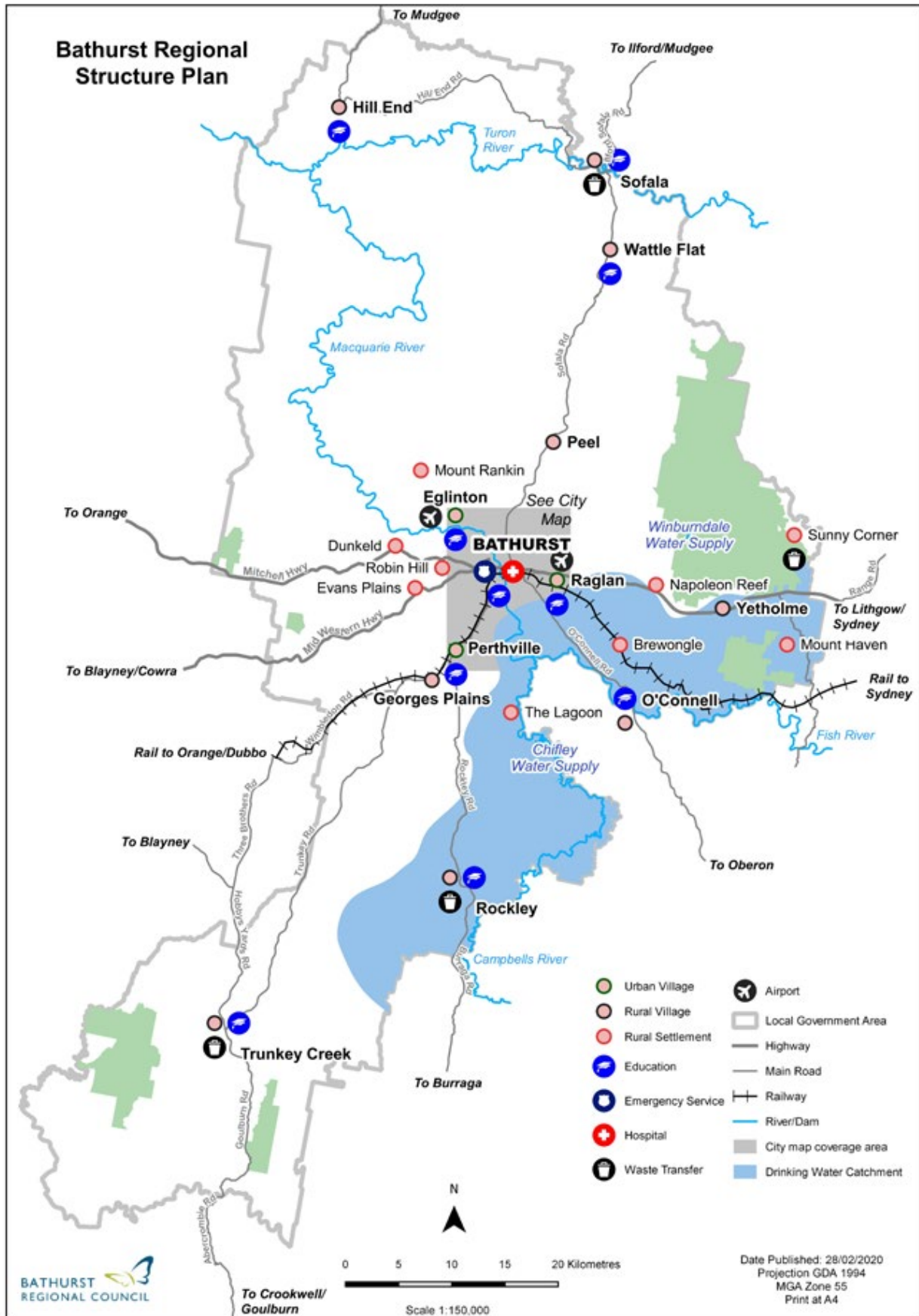


Figure 2: Bathurst Region Structure Plan

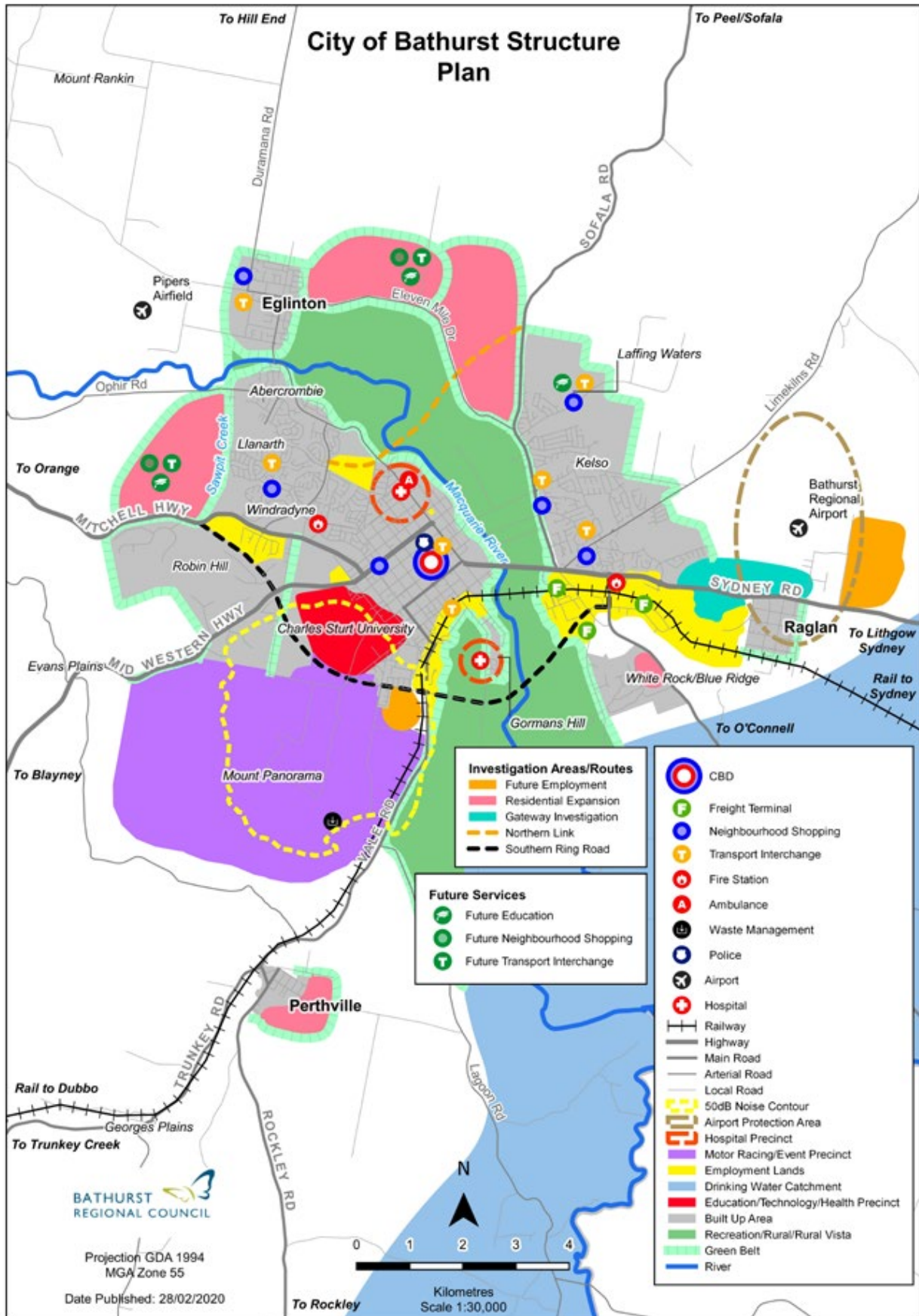
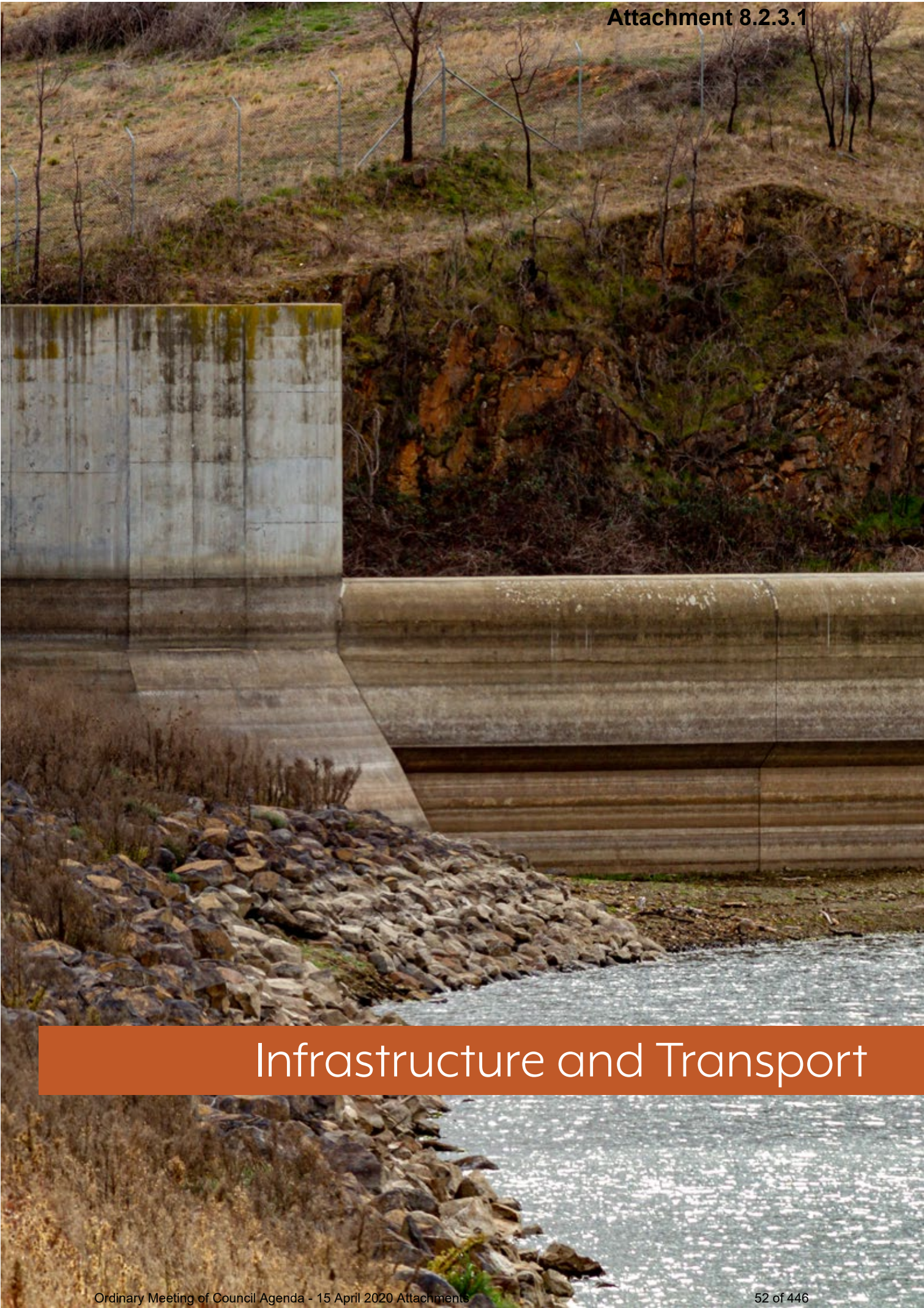


Figure 3: City of Bathurst Structure Plan



Infrastructure and Transport

Planning Priority 1

Plan for water security

Why is it important?

A sustainable and equitable supply of water is needed to meet the increasing demand from urban, environmental and industry uses, and to respond to pressures from a changing climate. Land use planning helps secure water supplies by appropriately locating, monitoring and managing development. Coordinating and managing water requirements across business, industry, communities and the environment requires a better understanding of local water use.

Protecting water catchments and sustaining high quality and dependable water supplies is essential for the well-being of both the community and the environment. Inadequately treated sewage from failing septic systems poses a significant threat to drinking water and human health. Septic systems that are properly sited, working properly and that have been maintained regularly will effectively and efficiently remove disease-causing bacteria.

Growing demands, uncertain climate impacts and shifting community expectations means Council needs to plan and invest in improved long-term regional water security. Water security is at the heart of thriving regional communities.

At the time of writing this Local Strategic Planning Statement, Bathurst was under extreme water restrictions. Water security was the number one priority raised by the community in the visioning consultation.

What is Council going to do?

Council will continue to advocate to maintain control and ownership of the Region's water supply. Council will adopt an integrated approach to water cycle management across the Region that considers climate change, water security, sustainable demand and growth, and the natural environment.

Four different water catchments could be utilised to serve the Region, Chifley Dam being one of those. There are opportunities to use the other catchments with additional infrastructure. Council has identified the following opportunities to improve water security for the Region:

- stormwater harvesting;
- pipeline upgrade from Winburndale Dam;
- regional pipeline connection to Wyangala Dam;

- raising the Chifley Dam wall;
- pipeline from Chifley Dam to the Water Filtration Plant;
- effluent reuse from the Wastewater Treatment Plant; and
- reducing the outflow requirements from Chifley Dam.

Council will continue to promote waterwise practices to the community. Council will protect the region's water catchments and develop education programs for septic tank system owners and work with the community to improve the proportion of compliant systems.

Actions

Strategic documents and studies

- 1.1 Explore opportunities for multiple sources of water to meet the Region's needs.
- 1.2 Review the studies already completed (e.g. Climate Change and Water Security Plan).
- 1.3 Review Council's Drought Management Plan.

Land Use Planning

Immediate

- 1.4 Explore opportunities to amend Council's Planning Instruments and Guidelines for Engineering Works to increase on-site stormwater storage and the implementation of Water Sensitive Urban Design principles.
- 1.5 Identify and address any planning barriers to the new infrastructure projects to improve water security for the region.

Ongoing

- 1.6 Continue to master plan new suburban locations to improve Water Sensitive Urban Design and stormwater harvesting opportunities.
- 1.7 Do not rezone lands for rural residential or rural lifestyle purposes (reliant on on-site sewerage) within the Chifley dam drinking water catchment.

Collaborate with partners

- 1.8 To include Council's water projects in the Schedules of the Water Supply (Critical Needs) Act 2019.
- 1.9 To implement opportunities to improve water efficiency with high water users.

- 1.10 To reduce industry's reliance on potable water where possible.
- 1.11 To develop a regional water pipeline from southern NSW dams to facilitate inter-catchment transfers of water.
- 1.12 To promote water-wise practices.
- 1.13 To retain Council control and ownership of the Region's water supply.

Planning Priority 2

Align development, growth and infrastructure

Why is it important?

Based on current population forecasts, by 2036 the Bathurst Region is expected to have a population of 55,250 (NSW Planning and Environment 2016), an increase of 12,600 persons. Council has had population forecasts completed by .id Consulting which were updated in January 2014 and are based on the 2011 Census data, together with local knowledge of anticipated development projections. Id Consulting predict that the Bathurst region will have a population of 52,851 in 2036. The NSW Department of Planning, Industry and Environment in 2019 projected a slightly lower population of 50,050 by 2041. Whilst the forecasts for the population of the Bathurst Region vary, they predict strong growth within the region.

The provision of infrastructure to support new growth is critical including:

- Water and sewer (see planning priority 1 in relation to water security)
- Transport – air, road and rail (see planning priority 3)
- Gas and electricity
- Stormwater
- Health and education (see planning priority 19)
- Community and cultural facilities (see planning priority 19)
- Waste management (see planning priority 14)
- Communications (see planning priority 8)

Infrastructure can be funded by each of the three levels of government. Local infrastructure is often provided directly by developers, including new streets, water, sewer, electricity, telephone lines, stormwater pipes as new subdivisions are created. It may be provided through development contributions or via a planning agreement for facilities that are managed by Council, the NSW or Federal Governments, such as schools, hospitals, public transport and tertiary education facilities are generally provided by State or Federal Government.

The Bathurst Region Urban Strategy 2007 identified the following key urban expansion areas to cater for future growth and recommended them for further investigation.

Residential:

- Eglinton – zoned in 2011, with development well underway. Duramana Road Master Plan completed to guide development of the new Eglinton Neighbourhood Shopping Centre.

- East of Kelso – zoned in 2014, water infrastructure now available. Laffing Waters Master Plan completed to guide future residential development and the new Laffing Waters Neighbourhood Activity Centre.
- North of Eleven Mile Drive – investigations have not commenced.
- West of Sawpit Creek – investigations have not commenced.
- East of Perthville - investigations have not commenced.

Employment Lands:

- East of the Bathurst Regional Airport (industrial) - investigations have not commenced.
- Former Army depot (industrial) - investigations have not commenced.
- Sydney Road (service business and business enterprise) – Gateway Enterprise park zoned in 2014. Land between the Gateway Enterprise park and Raglan - investigations have not commenced.
- The expansion of the Service Trade Centre to the West – investigations have not commenced.

The Bathurst Housing Strategy 2036 identified opportunities to increase living densities within the existing city footprint and this may place pressure on infrastructure into the future.

The Region's villages also require appropriate levels of infrastructure to ensure that they remain the focus of new settlement growth in the Region's rural locations.

What is Council going to do?

The City of Bathurst Structure Plan (**Figure 3**) identifies the residential expansion areas, gateway investigation area, and future employment areas that require future investigation before zoning can be considered.

Residential expansion areas

Council needs to commence investigations to determine the preferred 'next' location for residential expansion. Expansion of the city in all possible locations at the same time (as shown on the City of Bathurst Structure Plan) will not be viable and will not be able to be appropriately serviced with infrastructure. The ability to effectively and efficiently provide all relevant infrastructure to a location will be a critical factor in determining the order of residential expansion. The 'next' location must then be appropriately master planned.

Gateway investigation area

Lands along the Sydney Road at the Gateway to the city, both north and south of Sydney Road have been under consideration, or pressure for urban development. Whilst the Bathurst Region Urban Strategy 2007 identified the possibility of a business enterprise zoning along the southern side of Sydney Road (to the east of the Gateway Enterprise Park), no detailed investigations have been undertaken. Ongoing enquiries are being received for a residential use of the land on the northern side of Sydney Road. These lands have been identified on the City of Bathurst Structure Plan (**Figure 3**) as the “Gateway Investigation Area” and require detailed investigations as to their suitability for urban purposes, whether infrastructure is available to service the lands and how the scenic quality of the gateway to the city can be preserved and enhanced.

Future Employment areas

Council will need to prepare an industrial lands strategy to determine the need and timing for the future supply of industrial lands and the suitability of the land east of the airport and at the former army depot at Lloyds Road (as identified in the Urban Strategy) for industrial purposes. Intensification of the former army depot at Lloyds Road is dependent upon transport improvements including the southern ring road route (see planning priority 3).

As the city grows, Council will need to revise its water and sewer management plans and associated contributions plans to provide additional water and sewer reticulation and treatment facilities, as well as its waste management and stormwater management strategies. Note that planning priority 1 discusses water security in greater detail.

Council will review the Village Plans to update infrastructure needs and priorities in each of the rural villages.

Council will continue to collaborate with State and Federal government for higher level infrastructure and seek funding assistance to secure the delivery of major local infrastructure projects such as the southern ring road, river crossings and major new water reservoirs (see also planning priority 19 in relation to community and cultural infrastructure).

Actions

Strategic documents and studies

2.1 Undertake relevant infrastructure planning, associated environmental assessment and

cost benefit analysis to determine:

- the 'next' major residential expansion area;
- the suitability of the “Gateway Investigation area” for urban development; and
- the suitability of land to the east of the airport and the former Army depot at Lloyds road for future industrial (or other) purposes.

2.2 Complete a review of the Village Plans.

Landuse Planning

Immediate:

2.3 Ensure all planning proposals adequately consider infrastructure provision and are consistent with the LSPS structure plan maps.

2.4 Ensure new greenfield rezoning planning proposals are supported by a master plan.

Ongoing:

2.5 Ensure water and sewer, waste management, and stormwater plans and strategies are reviewed and updated in line with city growth.

2.6 Review and update Council's developer contribution and water and sewer contribution plans in line with city growth.

2.7 Identify land requirements (e.g. transport corridors, road widenings, land acquisitions) required for future infrastructure provision and amend Council's planning instruments, where required to secure these lands.

Collaborate with partners

2.8 To ensure appropriate provision of higher-level infrastructure (emergency services, education, health, main roads, and so on).

2.9 To identify funding opportunities to support the provision of major new local infrastructure projects (southern ring road, new river crossing, water reservoirs and so on).

Connect the Bathurst Region

Why is it important?

Transport opportunities are important for the Bathurst community, and planning for these connections should take place well ahead of the time they are needed to ensure sufficient land is reserved for roads, cycleways and emerging transport options. The community has said an accessible footpath and cycleway network to enhance liveability and provide safe and efficient access to all areas of the City and region.

Active transport

The Bathurst Community Access and Cycle Plan (2011) proposes an integrated shared pathway network throughout the City, linked to public open space, schools, shops, community facilities and public transport. Council has over 120 km of existing footpaths and cycleways and is continuing to deliver, in conjunction with developers, over \$16 million of improved pathways.

Public transport

Bathurst Buslines provides a network of local bus route services within Bathurst and intercity services between Bathurst and Orange and Bathurst and Lithgow. A number of bus operators provide school bus services within the Bathurst Region. Along with taxi and community transport services public transport is critical to reducing road congestion and ensuring equity of access to all. A key challenge for the Bathurst Region is the limited success that traditional forms of public transport provision have in reducing private car usage and the demand for parking in the CBD.

Rail and bus services to Sydney and Orange support the community's need for access to business and health services outside of Bathurst. The Bathurst Bullet provides two daily return rail passenger services to Sydney and has been highly successful.

Parking

The Bathurst CBD Car Parking Strategy (2013 & 2015) considered the use of public on and off street car parking spaces within the CBD. Whilst the growth of the CBD has seen an ongoing increase in the availability of public car parking spaces there has also been an increase in demand with continued pressure to convert all day parking to restricted parking and therefore diluting its availability.

Council undertakes yearly parking surveys to monitor the demand and supply of public car parking and has in place developer contribution plans to provide additional supply into the future.

Council also has in place development standards for the supply of parking for cyclists as new developments are approved.

Road transport

Most of the journeys within the Bathurst Region rely on the road network. Bathurst has a network of distributor/arterial roads into and out of the region which distributes traffic between residential areas and the CBD and education and employment areas.

Key challenges for the City are improving access to the residential expansion areas, particularly at Laffing Waters and Eglinton and planning transport corridors, including new river crossings, for the city's new growth areas (see planning priority 2).

Freight

Good freight transport connections by air, road and rail are critical. The Bathurst region is an important area for outbound containerised freight from the Central West accessing Sydney and Newcastle ports. The Parkes Hub will also impact on freight movements through the Central West into the future.

Access to the Sydney airports is essential for the ongoing provision of air services to the city.

What is Council going to do?

Council will commence the development of an integrated transport plan for the City focussing on linkages to and from the CBD. The plan will consider road, pedestrian, cyclist and public transport opportunities as well as CBD parking. Council will also work with the State Government in the implementation of the 2056 NSW Transport Plan.

Council also needs to manage city growth and ensure new developments and /or urban rezonings that may be sensitive to transport noise are not located in areas that may impact on the operations of the airport, rail services or major road transport routes. Height restrictions also apply in close proximity to the Bathurst airport.

Active Transport

Council will continue to plan for the construction of an accessible footpath and cycleway network and will review and update the Bathurst Community Cycling and Access Plan (2011) as the Region grows.

Council will continue to require new residential release areas to be master planned to ensure appropriate connections (5 to 10 minute walk) are provided to local open space and neighbourhood activity centres.

Public Transport

Council will continue to work with the State Government and advocate for improved public transport services. Improvements to the public transport interchange is needed in the CBD and new interchanges need to be planned for the existing and new neighbourhood activity centres.

Park and ride opportunities (just outside of the CBD) need to be considered as a means to supplement CBD parking supply. The park and ride facilities at the Bathurst railway station need to be maintained.

Council will:

- Investigate opportunities for less traditional forms of public transport to embrace changes in transport technology such as electric vehicles, autonomous transport and ride-sharing.
- Advocate for the retention of the Bathurst Bullet services and the electrification of the rail line to Bathurst and/or faster rail services between Bathurst and Sydney.
- Seek improved intercity bus services and community transport services to the region's villages, particularly to increase access to health services.

Parking

Council will undertake regular parking patrols of the CBD to ensure that there is sufficient turnover of both on and off street parking to enhance the availability of parking. Council needs to identify the most appropriate location for additional parking supply in the CBD as part of the Integrated Transport Plan.

The Bathurst Town Centre Master Plan will provide a new strategic framework for the Town Centre. Its recommendations may impact the provision of existing parking and identify opportunities for new parking and how that supply might best be provided should technological

changes reduce car usage into the future.

Council will continue to apply development standards within its Planning Instruments to ensure that new development provides adequate parking on site and continue to work with developers to ensure they are making a fair contribution towards the future provision of car parking.

Road Transport

The RMS, in partnership with Council, developed a transport model for the urban areas of Bathurst. The model is a tool that will be used to interrogate increases in traffic volumes and various changes to the road network, such as intersection changes or new roads.

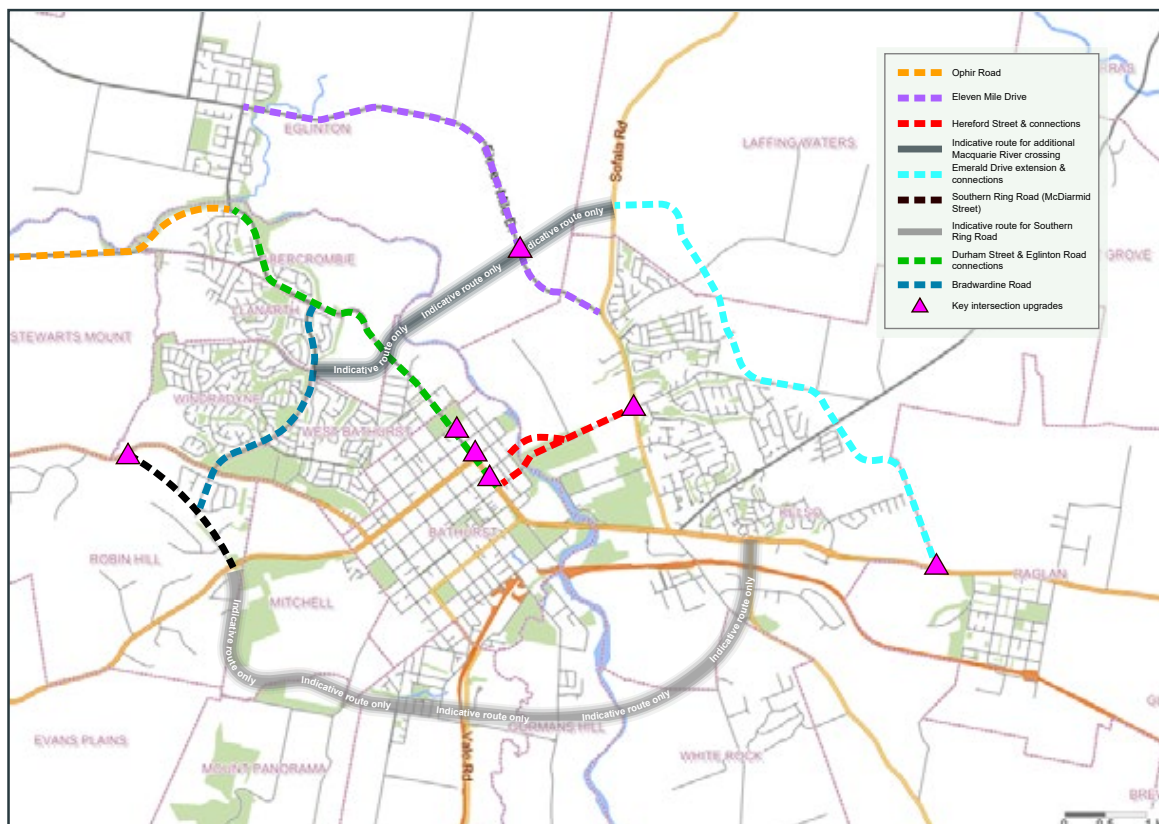


Figure 4: Key road network improvements required

Figure 4, highlights the key distributor/arterial network improvements identified by the Traffic Model as being important for existing and possible future urban expansion including:

1. An additional river crossing, particularly if the City expands to the north of Eleven Mile Drive (see planning priority 2).
2. Southern ring road route to link the city's employment areas and provide a heavy vehicle bypass of the City centre.
3. Widening of Hereford Street and improvements to connections and intersections at George Street and Gilmour Street, including the widening or raising of the George Street low level bridge, and possible new connection between Hereford and Rankin Streets, to service growth at Kelso and Laffing Waters.
4. Improvements to the Durham/Stewart Street intersection, the widening of Durham Street and the widening and extension of Eglinton/Ophir Roads to service growth at Windradyne and Eglinton.
5. Widening and improvement of Eleven Mile Drive to improve the City's northern linkages, particularly if the City expands north of Eleven Mile Drive.
6. Provision of an extension to Emerald Drive to link Kelso/Laffing Waters to the Great Western Highway (new highway connection).
7. Bradwardine Road – widening and connection to McDiarmid Street/southern ring road route and possible extension north/east through to a new river crossing.
8. New Mitchell Highway connection to Windradyne and Robin Hill residential growth areas.

It is important to note that the proposed southern ring road route and additional river crossing as shown on **Figure 4** are indicative only. Detailed investigations will need to be undertaken to determine appropriate routes.

Solutions to key intersections or routes, inclusive of those outlined above, will be expensive and will require collaboration with the NSW Government to identify and secure funding towards upgrades and new major road and bridge infrastructure.

Council will continue to ensure that new urban release areas are master planned to provide connectivity with the rest of the City and review its developer contributions plans and work with developers to ensure they are making a fair contribution towards the provision of new transport infrastructure.

Freight

The Bathurst Southern Ring Road Route Study (2008) identified the need for a southern ring

road route to link the City's employment areas and to provide a heavy vehicle bypass of the City centre. The importance of this link both to the city and the Central West region is acknowledged in the Central West and Orana Regional Plan. Council will need to seek assistance from the NSW Government to secure a route and a plan for its detailed design and construction.

Council will continue to advocate for upgrades to the Great Western, Mitchell and Mid-Western Highways and Bells Line of Road. Council will seek improvements to rail freight access and services.

Council will continue the implementation of the Bathurst Airport Master Plan and advocate for continued access to the Sydney airports.

Actions

Strategic documents and studies

- 3.1 Prepare an Integrated Transport Plan for the City of Bathurst focussing on linkages to and from the CBD.
- 3.2 Maintain an up-to-date Community Cycle and Access Plan.
- 3.3 Maintain up-to-date statistics on CBD carparking occupancy rates.

Landuse Planning

Immediate:

- 3.4 Amend Council's planning instruments to:
 - implement active transport, public transport and vehicular traffic connections as recommended by the Laffing Waters and Duramana Road master plans;
 - reserve land and secure corridor protection for new transport improvements/ corridors as soon as they become known; and
 - remove sensitive landuses that may have a negative impact on the operations of the Bathurst airport and the functioning of the western rail line and highways in and out of the City.
- 3.5 Plan for new public transport interchanges at the existing Westpoint, Trinity Heights and Centrepoint neighbourhood activity centres and at the proposed new centres at Eglinton and Laffing Waters.
- 3.6 Plan for improvements for the CBD transport interchange.
- 3.7 Plan for upgrades and the reservation of land for improvements to the existing distributor

road network inclusive of:

- Widening of Hereford Street and improvements to connections and intersections at George Street and Gilmour Street, including the widening or raising of the George Street low level bridge, with a potential for a new road connection between Hereford and Rankin Streets.
- Improvements to the Durham/Stewart Street intersection, the widening of Durham Street and the widening and extension of Eglinton/Ophir Roads.
- Widening and improvement of Eleven Mile Drive.
- Provision of an extension to Emerald Drive to the Great Western Highway (new highway connection).
- Bradwardine Road – widening and connection to McDiarmid Street/southern ring road route.
- McDiarmid Street – construction of the road to link the Mid-Western and Mitchell Highways.

Ongoing:

- 3.8 Investigate, plan and reserve land for the future distributor road network inclusive of:
- New river crossing and possible extension of Bradwardine Road to the river crossing.
 - Southern ring road route.
 - New Mitchell Highway connection to the Windradyne and Robin Hill residential growth areas.
- 3.9 Review developer contributions plans to reflect current transport priorities and updated cost estimates.
- 3.10 Ensure that greenfield subdivisions are master planned with contemporary public and private transport and active transport connections to open spaces and community services.
- 3.11 Restrict new development and urban rezonings that may have a negative impact on:
- the operations of the Bathurst airport;
 - the western railway line;
 - all major road corridors; and
 - the three key freight distribution nodes (see **Figure 3**: City of Bathurst Structure Plan).
- 3.12 Implement the recommendations of the Bathurst Town Centre Master Plan (when completed) to improve linkages and thoroughfares within the Bathurst CBD.

Collaborate with partners

- 3.13 To implement the 2056 NSW Transport Plan and the Connecting the Central West and

Orana Program, and in particular to:

- promote active transport;
- improve intercity transport services to support access to health services; and
- explore opportunities to introduce changes in transport technology such as electric vehicles, autonomous transport and ride-sharing.

3.14 For continued access to the Sydney airports.

3.15 To secure upgrades to the Great Western, Mitchell and Mid-Western Highways and the Bells Line of Road.

3.16 To achieve improvements to the Main Western Rail line, including electrification of the network to Bathurst and/or faster rail services between Bathurst and Sydney.

3.17 For the retention of the Bathurst Bullet services.

3.18 To achieve improvements to intercity bus services and community transport services to the region's villages, particularly to support access to health services.

3.19 To identify funding opportunities and assistance to secure:

- new river crossings;
- the southern ring road route;
- a new connection to the Mitchell Highway to service the Windradyne and Robin Hill residential growth areas; and
- a new connection to the Great Western Highway as a result of the extension to Emerald Drive.



Diverse and strong economy

Planning Priority 4

Maintain a thriving local business and retail economy

Why is it important?

The Bathurst CBD is the hub of retailing and office space within the Region. Bathurst is an important regional city in the Central West Region of NSW. It serves a regional retail catchment with a population of over 146,000. It is supported by a range of neighbourhood and local centres which provide the community with services and convenience shopping to meet their day to day needs and out of town bulky goods precincts.

Some ninety percent of core retail goods and services are located in the Bathurst CBD, with a similar pattern for office floorspace. The CBD is made up of a number of important functionally based precincts. The core precinct is focussed on the four city blocks within 200 metres of the intersection of Howick and William Streets. This is the pre-eminent shopping district anchored by three inter-related shopping centres. It contains the highest concentration of national chain stores and plays a regional retail role.

The other CBD precincts provide a critical complementary supporting role to the Core precinct. These precincts play a dominant role in relation to food and drink premises, office, community and social services as well as retaining a significant role in relation to bulky goods and services that have not relocated to suburban locations.

The Bathurst CBD is supported by a series of neighbourhood activity centres (refer **Figure 3:** City of Bathurst Structure Plan). Centrepoin, Trinity Heights and Westpoint shopping centres are the current neighbourhood activity centres which are supported by smaller shopping services on Stewart Street, Suttor Street and Sydney Road, Kelso. Council has planned for new neighbourhood activity centres in Laffing Waters and Eglinton to support the growth of the city in those areas. The Region's rural villages are generally not serviced with convenience shopping.

The Bathurst CBD is supported by out of town bulky goods and retail trade centres located east of the city on Sydney Road (Stockland Drive locality and Gateway Enterprise Park) and west of the city (Bathurst Trade Centre) on the Mitchell Highway.

What is Council going to do?

The Bathurst CBD and Bulky Goods Business Development Strategy (the Retail Strategy) 2011 is the cornerstone of the current retail and centres policy of Council. It provides the policy framework and development initiatives to:

- Maintain, consolidate and strengthen the regional retail role of the Bathurst CBD.
- Enable neighbourhood activity centres and convenience retailing in suburban locations to support but not compete with the Bathurst CBD.
- Enable bulky goods development to establish in precincts outside the Bathurst CBD again without competition to the Bathurst CBD.

The community identified, as part of the retail strategy's development, that the Bathurst CBD should have the following characteristics:

- Choice and diversity
- Relaxed and invigorating
- The heartbeat of country life and living.

Retailing particularly is undergoing significant change, with a shift to on-line sales and reduced consumer spending. Notwithstanding the current occupancy rate of the Bathurst CBD of over 90% (BRC survey 2019), the future floor space estimates outlined in Council's retail strategy may now overstate future demand pressures. The Strategy identified the George Street carpark located behind the RSL Club, as the best location for the next regional level shopping centre into the longer term, should that remain a viable proposition.

Bathurst Regional Council and Charles Sturt University are collaborating on a joint Master Plan for the Bathurst Town Centre for a knowledge led transformation of the city centre of Bathurst and its CBD to:

1. Strengthen the Bathurst Town Centre as a regional level business and commercial centre.
2. Activate the Bathurst Town Centre as the civic, community and cultural hub of the city.
3. Strengthen Bathurst's position as a regional education hub, including through a potential presence of Charles Sturt University in the Bathurst CBD.

Council needs to ensure particularly that the Bathurst CBD is positioned to achieve the vision of its community and remain a place where the community wants to come together despite changes in retailing patterns. As the world emerges from the current COVID-19 (Coronavirus) crisis, this will be even more important.

Bathurst Regional Council, the Western NSW Local Health District and Charles Sturt University are collaborating on a Health and Knowledge Master Plan which will focus on the delivery of health services to the Bathurst community. It will also focus on clustering allied health services in close proximity to the Bathurst Hospital and the Charles Sturt University campus. In giving effect to the Bathurst Health and Knowledge Master Plan, Council will need to ensure that an appropriate zone is used to facilitate the clustering of allied health services, without compromising the strength and viability of the Bathurst CBD.

Council has also recently completed Master Plans for two new residential release areas, in Laffing Waters and Eglinton. These master plans include provision for 'main street' neighbourhood activity centres. The master plans have taken a place-based approach with each mixed use centre having clear connections to the existing and future communities.

Actions

Strategic documents and studies

- 4.1 Complete the Bathurst Town Centre Master Plan.
- 4.2 Complete the Bathurst Health and Knowledge Master Plan.
- 4.3 Review the Bathurst Retail Strategy, particularly in light of:
 - changing trends in retailing, and the need for an additional major regional retail shopping centre; and
 - recommendations of the Bathurst Town Centre Master Plan.
- 4.4 Undertake a review of the Village Plans for the Region's rural villages in relation to opportunities for appropriate convenience shopping.

Land Use Planning

Immediate

- 4.5 Update provisions in Council's planning instruments to implement the recommendations of:
 - the Laffing Waters Master Plan, which provides for the new Laffing Waters Neighbourhood Activity Centre;
 - the Duramana Road Master Plan, which provides for the new Eglinton Neighbourhood Activity Centre;
 - the Bathurst Town Centre Master Plan (when completed);
 - a revised Retail Strategy (when completed); and

- the revised Village Plans (when undertaken).
- 4.6 Prepare detailed designs for the Laffing Waters and Eglinton neighbourhood activity centres and work with industry to deliver the neighbourhood activity centres in a timely way to meet the needs of the Eglinton and Laffing Waters communities.
- 4.7 Review provisions in Council's planning instruments to ensure there are no barriers to enable convenience shopping in the Region's villages.

Ongoing

- 4.8 Maintain Council's existing retail centres policy that:
- consolidates and strengthens the regional retail role of the Bathurst CBD;
 - enables neighbourhood activity centres and convenience retailing in suburban locations to support but not compete with the Bathurst CBD; and
 - enables bulky goods development to establish in suburban precincts again without competition to the Bathurst CBD.
- 4.9 Undertake master planning for any future new neighbourhood activity centres as part of the wider master planning of new suburbs to ensure they are appropriately located.
- 4.10 Maintain up-to-date statistics on CBD premises occupancy rates.

Collaborate with partners

- 4.11 To protect Council's retail centres policy and the primacy of the Bathurst CBD as the regional retail hub of the Bathurst region.

Planning Priority 5

Ensure a suitable supply of employment and urban services land

Why is it important?

Industrial lands are currently located within the city at the Kelso Industrial Park, Vale Road, and at the Alpha/Carlingford Street area. Long standing industrial businesses, such as Simplot, are located in other areas surrounded by new urban growth. The Gateway Enterprise Park on the Sydney Road, currently under construction, will provide new opportunities for warehousing, distribution and freight.

Bathurst currently supports two freight intermodal sites, Grainforce in Stockland Drive and Asciano Properties in Lee Street. They play an important role, particularly in the containerising of forestry and agricultural products for export. A third intermodal site within the Gateway Enterprise Park has been planned, however construction is yet to commence. The major rail lines across the Central West are operated and maintained by three separate network managers. Numerous privately owned rail sidings, spur lines and loops are connected to the major networks. The Central West Line, which runs through Bathurst and connects to the Port of Botany, is managed by John Holland Rail.

Throughout Australia, large scale manufacturing plants continue to come under global pressures. Bathurst's manufacturing industry is not unique in that sense. To maintain their competitiveness, change is needed through collaboration, supply chain development and innovation. The manufacturing industry, like many businesses, faces increased costs associated with energy, labour, freight and raw material costs. The food manufacturing plants in Bathurst are heavily reliant on water. Council has assisted food manufacturing businesses invest in water saving measures to improve the efficiency of water use through the process.

In addition to the traditional forms of industrial uses, such as manufacturing, freight and logistics, the term 'urban services' describes a range of land uses that are increasingly locating in traditional industrial estates that provide land suitable for large floor areas (and often less amenable) services and businesses. This evolving and diversifying nature of industrial lands is an important trend that needs to be monitored and managed in Bathurst. Council needs to ensure that business and services that should be more appropriately located in business zones do not inappropriately locate into industrial areas.

What is Council going to do?

It is important that any future industrial and urban services areas are planned to have appropriate transport connectivity and minimal impact on surrounding residential and sensitive land uses. Council will develop an industrial and urban services strategy to assess the Bathurst Region's short and long-term supply and demand balance of industrial and urban services land; the functionality and capacity of existing industrial areas; and existing or future impacts on surrounding areas. Importantly, this strategy needs to assess the appropriateness of lands to the east of the Bathurst Regional Airport and the former army depot at Lloyds Road for future industrial/urban service purposes (refer **Figure 3**: City of Bathurst Structure Plan). It is important that Bathurst's industrial and urban service areas are recognised and evaluated for their long-term economic, operational and functional contribution to the local and regional economy.

Council has identified the need for a southern ring road route to link the City's key employment lands. This route is critical for the future intensification of the former army depot site on Lloyds Road. Council needs to identify funding opportunities to progress the southern ring road route.

Council needs to determine the suitability or otherwise of lands along the southern side of Sydney Road (between Raglan and the Gateway Enterprise Park) as a future Enterprise Corridor (refer to Gateway Investigation Area on **Figure 3**: City of Bathurst Structure Plan) and in particular how the Gateway to the city can be protected and enhanced by future development.

Actions

Strategic documents and studies

- 5.1 Develop an industrial and urban services strategy to:
- assess the demand and supply of industrial land into the future;
 - assess the best location for future supply;
 - investigate the appropriateness of land east of the Bathurst Regional Airport and the former army depot land at Lloyds Road for future industrial purposes;
 - assess the appropriateness of the southern side of Sydney Road (between Raglan and the Gateway Enterprise Park) as a future Enterprise Corridor;
 - investigate opportunities to attract new industry to the Bathurst Region; and
 - investigate opportunities to attract new light industry and aero related industry in the vicinity of the airport .

Land Use Planning

Immediate

5.2 Review provisions in Council's planning instruments to:

- Protect key industrial and urban service lands from sensitive lands uses.
- Provide appropriate buffers to major roads, the Main Western Railway line and competing land uses.
- Implement the recommendations of the industrial and urban services strategy (when completed).

Ongoing

5.3 Limit opportunities for offensive or hazardous industry and storage establishments to locate within the Bathurst Region.

5.4 Protect and enhance the scenic quality of the City gateway entrances along O'Connell Road, Sydney Road, Sofala Road, Mitchell Highway and Mid-Western Highway.

Collaborate with partners

5.5 To identify funding opportunities to secure the planning and construction of the southern ring road route to link the city's employment areas.

Planning Priority 6

Protect Mount Panorama (Wahluu) as a motor sport and event precinct

Why is it important?

Mount Panorama (Wahluu) is indisputably the mecca for motor racing fans all over Australia and has become the spiritual home of Australian motorsport. Beginning as a dirt-track/tourist drive carved out of the bald hills around the city in the mid-1930s, the Council at the time had a vision for a premier motor racing circuit. Support through a national employment relief scheme saw this vision become a reality with the Mount Panorama Scenic Drive open on 17 March 1938. On 16 April 1938 the Mountain attracted some 20,000 spectators to its first race, the Australian Tourist Trophy. Arguably the biggest motorsport race in the country, the Bathurst 1000 is now one of the most iconic, and internationally recognised, sporting events in Australia.

The Bathurst 1000 attracts some 200,000 spectators over the 4 main days of the event with many spectators arriving well before the event starts. In excess of 50,000 persons are at the circuit on the Sunday for the main event.

The Western Research Institute, Economic Impact of Mount Panorama 2009, identifies the economic impact of motor sport events (full track events) at that time (2008/09) as follows:

- \$69 million expenditure in Bathurst Local Government Area
- the four events contributed \$29.3 million in value – added to the Bathurst economy
- the four events contributed \$33 million to the Gross State Product
- the four events create approximately 330 + full time equivalent jobs.

The Mount Panorama circuit continues to be home to four major events each year with a fifth event announced for 2020. Partners include: Supercars – Bathurst 1000, Supercars – 12 hour race, Yeehah! Events - Challenge Bathurst, Australian Racing Group - Bathurst 6 Hour and the recently announced Australian Racing Group - Bathurst International, commencing in 2020.

Mount Panorama also hosts a variety of other events including:

- motor sport activities such as hill climbs and Bathurst Autofest;
- Mount Panorama Punish, a one lap running event around the circuit; and
- Inland Sea of Sound; a festival of music, arts and culture.

Mount Panorama is home to a range of community sporting clubs including: motocross; light car club; rifle range, pistol range and clay pigeon target range; archery and the Bathurst Bike

Park and the Bathurst Harness Racing Club are located nearby.

The Mount Panorama precinct has the facilities and services to meet the sophisticated needs of a growing motor sport competitor and spectator market. The vision for the motor sport precinct, complete with a second world-class circuit and associated business park, inclusive of research and development industries, will ensure Bathurst is able to host the best motor sport and corporate events the world has to offer.

What is Council going to do?

Council's goal within the Mount Panorama precinct is to foster a strong and diverse economy, acting as an advocate, facilitator, coordinator and service provider to lead and enable continued economic prosperity, infrastructure, innovation, investment, job generation and new motor sport business development. Key to achieving this goal is working in partnership with motor sport industry stakeholders and these relationships will help continue to strengthen Bathurst's economy and the Region's economic prosperity into the future.

Council's long-term goal is to protect Mount Panorama as an international motor racing venue and to foster further economic growth through the delivery of a motor sport precinct inclusive of a second world class circuit and associated research & development business park. Preparation of the Environmental Impact Statement (EIS) for the development of a second motor racing circuit at Mount Panorama (Wahluu) is well underway. Council will seek development consent from the NSW Government for the second motor racing circuit in the short term, prior to construction works commencing.

Council remains committed to ensuring Aboriginal cultural heritage is appropriately managed at Mount Panorama (Wahluu). Council has made a significant investment in understanding the cultural significance, storylines and history of Wahluu with the production of the Aboriginal Cultural Heritage Assessments undertaken to date. Council continues to undertake, identify and assess the significance of the Mount Panorama (Wahluu) precinct and in particular the likely impacts new developments at Mount Panorama may have on Aboriginal cultural heritage.

Council remains committed to ongoing engagement with the local Aboriginal community in the implementation of the Bathurst Region Aboriginal Heritage Study and the Bathurst Region Aboriginal Interpretation Strategy and in particular the opportunities to interpret the Wahluu story as part of the Mount Panorama boardwalk project (new pathway across the top of Mount Panorama).

Actions

Strategic documents and studies

- 6.1 Update the economic impact reports for racing events at Mount Panorama.
- 6.2 Update noise impact assessments from motor racing at Mount Panorama.

Land Use Planning

Immediate

- 6.3 Update provisions in Council's planning instruments to protect Mount Panorama as an international motor racing venue, particularly with respect to new noise impact assessments.
- 6.4 Complete and lodge the development application (State Significant) and associated Environmental Impact Statement in relation to the second circuit development.

Ongoing

- 6.5 Do not rezone lands for residential or rural residential within the 50 dBa noise contour as shown on **Figure 3: City of Bathurst Structure Plan**, and other identified lands that may be affected by noise exposure from the Mount Panorama motor racing precinct.
- 6.6 Minimise or reduce, where possible, the permitted residential density in South Bathurst over those existing residential lands within the 50 dBa noise contour and other identified land that may be affected by noise exposure from the Mount Panorama motor racing precinct.
- 6.7 Manage city growth and the encroachment of incompatible land uses to protect the Mount Panorama motor racing precinct.

Collaborate with partners

- 6.8 To protect Mount Panorama from inappropriate development to ensure it can continue to operate as an international motor racing venue.
- 6.9 For innovative technology use and research and development of the Mount Panorama motor sport precinct (e.g. e-vehicles and drone racing).

Leverage new opportunities

Why is it important?

The Bathurst Region is in a unique position, being the first major centre west of the Blue Mountains. As the Sydney basin grows, the availability of land becomes increasingly scarce, particularly for those industries which require a large development footprint. Bathurst is also ideally located for those wanting to make a 'tree change' out of metropolitan Sydney.

Air services are an ever-increasing market, particularly with the growing ability for some agricultural products to be air freighted to domestic and international destinations. The proximity of the Bathurst Regional Airport to Sydney, Canberra and Parkes provides opportunities for air freight services. Land available at the Bathurst Regional Airport for hanger leases provides an attractive location for private hanger space especially for those connected with motor racing events at Mount Panorama. The Bathurst Regional Airport is also home to the Australian Air Cadet Glider Operations with accommodation facilities located at the airport.

The Great Western Highway and the Main Western Rail line link Bathurst and western NSW to the eastern seaboard and are important access routes for industrial and agricultural goods as well as passengers. The development of the Parkes Hub (rail) and the inland rail project will increase freight movements through the Central West into the future with the potential of Bathurst supporting additional freight and logistics businesses.

The weight limitations of the Great Western Highway through the Blue Mountains restricts the size and types of vehicles that can effectively use the transport corridor. Bathurst's location, particularly on the confluence of the Mitchell and Mid-Western highways, allows Bathurst to leverage on load consolidation/distribution industries, particularly for freight. Thus, having sufficient land adjacent to transport corridors will be an important factor for the success of this industry.

Charles Sturt University is investigating a potential presence in the Bathurst CBD in addition to their existing campus. A CBD based university campus would offer new opportunities for the evening and night-time economy. Many cities recognise the contribution that an evening (6.00pm to 8.30pm) and night-time (after 8.30pm) economy make in building identity and culture within a city. It is important that Council can support a diverse mix of evening and night-time activities including restaurants, cafes, live music and entertainment. These activities draw people who may not have otherwise come into the city and provides an opportunity to expose

other businesses to new customers. Evening and night-time activation can be generated by encouraging other businesses that would traditionally close at the end of the afternoon, to stay open for longer. This has added benefits for the local economy.

What is Council going to do?

Existing businesses are the foundation of any economy in providing local jobs and services. Engaging with local businesses will help Council understand their industry, challenges and opportunities. Council continues to help support local businesses through regular engagement and support programs, by advocating for and promoting innovation; and by providing opportunities to showcase the Bathurst Region and its local products through festivals and events. As the Region emerges from the COVID-19 (Coronavirus) crisis this support will be critical. Council will investigate opportunities to develop and enhance the evening and night-time economy, particularly as part of the Bathurst Town Centre Master Plan.

Council will undertake an industrial and urban services strategy to enable the expansion of high employment generating industrial opportunities in specific locations in the Region with ready access to rail and highway linkages.

Council will manage growth and the encroachment of incompatible land uses within the height limitations and noise exposure forecasts for the Bathurst Regional Airport (refer 'Airport Protection Area' on **Figure 3: City of Bathurst Structure Plan**). Council will also investigate the potential for establishing air freight services at the Bathurst Regional Airport to service domestic and international customers.

Council will implement the key land use actions of the Bathurst Region Economic Development Strategy inclusive of the following actions:

- advocating for improvements to transport links including the Bells Line of Road, Great Western Highway and improvements to Higher Mass Limit (HML) bridges;
- pursuing the adaptive reuse of the former TAFE site (Bathurst Town Centre Master Plan);
- continuing Council's land development program to ensure adequate supply of residential, service trade & industrial land;
- ensuring that the Regions' strategic planning and land use strategies accommodate long term business and residential needs;
- work with Village Progress Associations and businesses to investigate Place Activation in key precincts, inclusive of villages, industrial parks, Keppel Street, William Street, and

George Street; and

- ensure the Mobile Black Spot database is up-to-date and seek funding to upgrade mobile base stations to address mobile black spots, especially in the villages and along transport routes.

Council will also continue to advocate for:

- improved transport connections to Parkes;
- a southern ring road route and link between Mid Western and Mitchell Highways; and
- access to Sydney airport and second Sydney airport.

Through its planning controls, Council will protect the Bathurst airport surrounds and the rail corridor from inappropriate development.

Actions

Strategic documents and studies

- 7.1 Maintain an up-to-date Destination Management Plan and Economic Development Strategy.
- 7.2 Implement the Bathurst Airport Master Plan.
- 7.3 Develop an industrial and urban services strategy to:
 - investigate opportunities to attract new industry to the Bathurst Region;
 - investigate opportunities to attract new light industry and aero related industry in the vicinity of the airport; and
 - identify land suitable for industrial purposes adjacent to freight and transport corridors.

Land Use Planning

Immediate

- 7.4 Review and update the provisions in Council's Planning Instruments in response to the Bathurst Town Centre Master Plan (when complete).

Ongoing

- 7.5 Identify, in partnership with industry, desirable land characteristics for freight operators.
- 7.6 Ensure a suitable supply of industrial and business land is zoned and available.
- 7.7 Do not rezone lands for residential or rural residential purposes that may be affected by

noise exposure from either Mount Panorama motor racing, the Bathurst Regional Airport or the Main Western Railway Line.

- 7.8 Manage the growth of the City and minimise the encroachment of incompatible land uses in the vicinity of the Bathurst Regional Airport and the Main Western Railway Line.

Collaborate with partners

- 7.9 For improvements to the Bells Line of Road, Great Western Highway; higher mass limit bridges, and access to Parkes.
- 7.10 For ongoing access to Sydney's airports.

Become a Smart city

Why is it important?

A smart city is one that embraces new ways of thinking and doing things informed by data processes. A smart city is not an IT hub, but one that is technologically enabled.

The Bathurst Region is recognised in NSW as an emerging Smart Community. Council intends that the Bathurst Region is a Smart Community, one where technology, data and people are used to drive economic activity, improve connectivity, meet the changing needs of the community, accelerate innovation and better manage resources, energy and services.

The rollout of NBN services to the Bathurst Region has improved the ability for the community to be connected to the world. There are some businesses which have an increased demand for connectivity, beyond the capability of the existing NBN connections. Improved internet connectivity will assist those businesses perform on an international stage or in innovative ways. Improved internet connectivity is also increasingly important as the region deals with the COVID-19 (Coronavirus) crisis.

What is Council going to do?

Bathurst, as a smart city, has adopted the Smart Community Strategy to inform and apply knowledge in innovative ways for the betterment of the community. Being a smart city, Council will use smart city technology to better collect and use data to inform and promote improved urban decision-making processes and outcomes for the Bathurst Region.

The world's ever-expanding use of Information and Communication Technology (ICT) is creating unprecedented demand for data storage, especially data centres. As Australia's ICT capital, NSW offers unrivalled advantages for companies looking to establish data centres in the Asia Pacific. Bathurst, and its proximity to Sydney, is an affordable regional location for the establishment of a data centre, technology hub or the like. Council has identified a parcel of land within the education/knowledge/technology precinct shown on **Figure 3**: City of Bathurst Structure Plan that is adjacent to a number of education facilities, government departments and Council facilities. Council has made significant investments in being a smart city, and the establishment of a data centre or technology hub within the Bathurst Region has significant synergies.

Council will advocate for improved internet connectivity beyond the services of NBN, particularly for special precincts, including the education, knowledge, technology precinct, the health precincts, employment and commercial areas, Mount Panorama and the Bathurst Regional Airport precincts (refer **Figure 3**: City of Bathurst Structure Plan) where innovation can be improved with internet connectivity.

Council will continue to advocate for improved mobile phone connectivity throughout the region, particularly in the rural villages and along transport routes through the mobile black spot program. Council will continue to support the progressive installation of electric vehicle charging stations within the region's villages.

Bathurst is home to over 60 educational institutions. Charles Sturt University is investigating the potential for a CBD based campus through the Bathurst CBD Town Centre Master Plan. It is important that Council support the identification of new opportunities for Charles Sturt University's presence in Bathurst.

Actions

Strategic documents and studies

8.1 Maintain an up-to-date Smart Community Strategy.

Land Use Planning

Immediate

- 8.2 Implement the Bathurst Smart Community Strategy particularly in respect of:
- Investigating opportunities to use new technologies for managing stormwater at a residential level.
 - Implementing smart technology within new community buildings.
- 8.3 Use of smart technology to better understand the local environment through the use of sensors, cameras and smart metering.
- 8.4 Use of the open data and locational analytics data to make better informed land-use decisions and prioritisation of works schedules.
- 8.5 Identifying the required infrastructure for the establishment of a data centre or technology hub within the Bathurst Region.
- 8.6 Review Council's planning instruments to ensure there are no barriers to the establishment of a data centre or technology park in the Region.

- 8.7 Review Council's planning instruments and engineering guidelines to ensure Smart technology is an integral part of subdivision and development design.

Ongoing

- 8.8 Use smart technologies to gain a better understanding of community behaviours such as commuting patterns, parking habits, pedestrian movements and water consumption and time of use, to inform planning decisions.
- 8.9 Partner with the business community to use open data to assist in better use of their resources.

Collaborate with partners

- 8.10 To support Charles Sturt University's investigations into a potential CBD based campus and identify new opportunities for the existing campus.
- 8.11 For improved communication infrastructure and funding particularly to support communication improvements in the village and rural areas of the Region and along key transport routes.
- 8.12 For Mobile Blackspot funding and external funding to improve mobile reception throughout the Region.
- 8.13 For funding and improved internet connectivity to the knowledge, education and technology precinct, the health precincts, employment and commercial areas, and the Mount Panorama and Bathurst Airport precincts.



Heritage and sustainable environment

Planning Priority 9

Protect Indigenous cultural heritage

Why is it important?

The Wiradjuri people are the Traditional Owners and Custodians of the Bathurst Plains. Their occupation of the area extends thousands of years to the time of Gudyiin ('the beginning', time immemorial).

The Wiradjuri people continue to have a spiritual and cultural connection to the land. This connection long pre-dates European settlement, and despite modification of the land through urban development, many places of significance remain.

The Wiradjuri are the largest Aboriginal nation in New South Wales, who, to this day, enjoy a rich and diverse cultural life that is based on the foundations of their Ancestors. They are the people of the three rivers, the Wambuul (Macquarie), the Galari (Lachlan), and the Marrambidya (Murrumbidgee).

Governor Macquarie's proclamation of Bathurst as the first European inland settlement in 1815, signalled the dispossession of the Wiradjuri of their ancestral lands, many were forced to relocate, and many were killed or injured in what has become known as "the Frontier Wars". The shared history and storylines created from that point onwards are complex and often confronting, however the Bathurst Region community acknowledges all Aboriginal First Nations people who now call the Bathurst Region home.

Traditional life across the plains of Bathurst was almost completely broken as a result of the arrival of colonists to Wiradjuri lands. It is because survivors continued to observe ancient customs and ceremonies, that these significant cultural traditions exist today. Passed down through the knowledge holders since that time they are now celebrated as part of the Wiradjuri Nation that flourishes and contributes extensively to all sectors of society throughout the Region.

What is Council going to do?

Council has completed extensive studies and investigations about the Region's Aboriginal Cultural Heritage. The Bathurst Region Aboriginal Heritage Study was completed in 2015 and includes Aboriginal cultural heritage sensitivity mapping which is being used to inform development decisions. Extensive site investigations have also been completed at Mount

Panorama (Wahluu).

Council will work with the Bathurst Local Aboriginal Land Council (LALC), Traditional owners and local knowledge holders to map culturally sensitive areas to identify, protect and maintain objects and places of Aboriginal cultural significance. Council will continue to protect Aboriginal cultural heritage by completing Aboriginal Cultural Heritage Assessments, as required, to investigate and inform development activities. Council will continue to learn about the Region's Aboriginal cultural heritage through ongoing conversations with the Local Aboriginal Land Council, Traditional owners and local knowledge holders.

Actions

Strategic documents and studies

9.1 Continue to identify and investigate sites of Aboriginal cultural heritage.

Land Use Planning

Immediate

- 9.2 Support the Bathurst Local Aboriginal Land Council should they choose to prepare a Development Delivery Plan in accordance with State Environmental Planning Policy (Aboriginal Land) 2019.
- 9.3 Review Council's planning instruments to implement the recommendations of the Bathurst Region Aboriginal Heritage Study 2015.

Ongoing

- 9.4 Engage with the Local Aboriginal Land Council, Traditional owners and local knowledge holders in relation to planning decisions under the Bathurst Regional Community Participation Plan.
- 9.5 Continue to require Aboriginal Cultural Heritage Assessments to be prepared as required to support and inform development activities and new urban zonings.
- 9.6 Engage with the Local Aboriginal Land Council, Traditional owners and local knowledge holders to determine whether there are any local sites of high cultural heritage value to be listed within the Bathurst Regional Local Environmental Plan.
- 9.7 Continue to use the Aboriginal Cultural Heritage Sensitivity Mapping to inform development decisions and the need for Aboriginal Cultural Heritage Assessments.

- 9.8 Continue to monitor the Aboriginal Heritage Information Management System (AHIMS) database to ensure new site cards within the Bathurst Region are considered in the development process.

Collaborate with partners

- 9.9 For improved notification procedures for sites listed on the AHIMS database for the Bathurst Region.
- 9.10 For the appropriate management of sites of Aboriginal Cultural Heritage.
- 9.11 To promote the importance of the Region's Aboriginal Cultural Heritage.

Planning Priority 10

Protect European and non-Indigenous heritage

Why is it important?

Bathurst is the first inland European settlement on mainland Australia. The settlement of Bathurst by the Europeans has been integral to the development of Australia from a small coastal colony to a continental country. Heritage is the building and places, the natural environment, people and objects, and their embedded stories valued by the community.

The Bathurst Region has over 340 listed heritage items and 10 heritage conservation areas. There are well over 1000 places throughout the Region that have been identified as having some level of European or non-indigenous heritage significance. The heritage assets of the Bathurst Region include items of natural and cultural heritage and each contributes to the unique history of the Region. The variety of the Region's cultural landscapes illustrate how places have evolved to reflect the values and the needs of its inhabitants. Consequently, levels of significance must also be adjusted over time as new meanings and uses are discovered for places.

Periods of oscillating growth have influenced the city's architectural development, resulting in the creation of a wealth of buildings from the late 19th century and their subsequent preservation during the quieter times of the first half of the 20th century. The more rapid and continuing increase in population since the 1970s has placed Bathurst's 19th century architectural heritage under pressure. A key challenge is to improve the ways in which new development can offer better architectural merit.

Bathurst and the villages of the Region are of great importance in shaping the heritage character of the Region. The history of their origins and development, indeed their very locations, reflect the history of the Bathurst area. There can be no argument in stating that the buildings and streetscapes in Bathurst and the Region's villages offer significant heritage value.

What is Council going to do?

Bathurst's rich history has shaped the character of many places including its villages and the Bathurst CBD. The Bathurst Region Heritage Plan establishes the key strategic priorities and actions to be implemented by Council and the Bathurst community in relation to heritage management. The Plan arranges the strategic priorities and actions into five themes:

- A community that respects;
- A community that manages the future;
- A community that adds value;
- A community that shares stories; and
- A community that values the past.

The Bathurst Region Heritage Plan provides the detail as to how Council and the community will protect, enhance and promote heritage buildings and places, the natural environment, people and projects and their embedded stories.

Council will continue to update its heritage plan and undertake investigative studies, such as the review of the Bathurst and West Bathurst Heritage Conservation Area in 2018, to identify places of heritage value so that new development in and around these places maintain or enhance their unique character.

Council will move towards a place-based approach to localities within the heritage conservation areas to identify their unique local character and plan for it. Local character statements will be prepared for the historic villages and for precincts within the City's heritage conservation areas to identify:

- What is important about each locality;
- How it is best managed into the future; and
- To improve the ways in which new developments can compliment the existing neighbourhood and special heritage character of each area.

Council will complete the Bathurst Town Centre Master Plan in partnership with Charles Sturt University and seek to identify and support adaptive reuse opportunities for key heritage sites such as the former TAFE site. Council will also undertake a comprehensive review of its Village Plans.

Actions

Strategic documents and studies

- 10.1 Maintain an up-to-date Heritage Plan.
- 10.2 Introduce a place based approach to heritage management within the Region's villages and for localities within the Region's Heritage Conservation Areas to improve overall urban design outcomes through the development of local character statements for each

locality.

- 10.3 Continue to review the extent of heritage conservation areas within the Bathurst Regional LGA and the identification of new heritage items.
- 10.4 Continue to research and record information in relation to the Bathurst Region Heritage assets within the State Heritage Inventory database.

Land use planning

Immediate

- 10.5 Implement the Bathurst Heritage Conservation Area Review 2018.
- 10.6 Undertake a review of the heritage and urban design provisions within Council's planning instruments.
- 10.7 Implement the inclusion of local character statements within Council's planning instruments.

Ongoing:

- 10.8 Ensure that impacts on heritage are given significant consideration in the development assessment process through Council's heritage advisory service and pre-Development Application processes.
- 10.9 Provide a heritage advisory service and local heritage management incentives.

Collaborate with partners

- 10.10 To identify and list heritage items of State Significance.
- 10.11 To engage with heritage interest groups as outlined in the Bathurst Regional Community Participation Plan.
- 10.12 To promote the importance of the Region's unique heritage.

Planning Priority 11

Maximise the Region's tourism opportunities

Why is it important?

Tourism is a highly significant industry for the Bathurst Region. The readily identified value of tourism and hospitality has increased significantly in the five years to 2018 from a total economic output of \$146.2 million (value add of \$76.8 million) to total output of \$203.3 million (value add of \$101.8 million) (National Institute of Economic and Industry Research). The combined industries directly employ 820 with indirect employment of an additional 249 representing 5.2% of total industry in the LGA.

Bathurst, like many regional areas, is facing economic challenges, competing for residents, business and visitors to maintain viable, healthy communities. With the transition to a service-based economy, tourism and events will play a greater role in regional development by attracting new money, supporting jobs and by contributing to the attractiveness of the Region as a special place to 'live, work and play'.

The Destination Management Plan (DMP) aims to plan for and build a visitor economy. It focuses on:

- Enhancing community awareness
- Building the experience base
- Capacity building and collaboration
- Enhanced visitor services

The DMP involves a range of sectors, stakeholder groups and delivery partners across all levels of government, agencies, communities and business groups.

Tourism has immediate effects, creating employment and driving investment. Tourism provides an increased scale of activity that enables the viability of other businesses, as well as improved services and amenities that contribute to the diversity and attractiveness of the area.

Tourism provides an economic return on public assets, including built infrastructure and parks, and investment in arts and culture. For a destination such as the Bathurst Region, tourism is different from many other industries, in that it utilises a wide range of public and private investment and infrastructure. Tourism is a means by which public assets and the Region's natural and cultural assets can make a strong contribution to the wellbeing of the community and support part of the rationale for public investment in the industry. The base infrastructure

and core amenities that are enjoyed in the Region by visitors are largely the product of the work of Council, whether it is through placemaking assets, accessibility, natural and cultural environment, or the provision of visitor services.

At the time of preparing this LSPS, Council hosted an Elton John concert at Carrington Park. Council's ongoing investment in this type of infrastructure enabled it to host an event with a 20,000 strong audience of both locals and visitors to the Bathurst Region.

What is Council going to do?

Council adopted a new Destination Management Plan in December 2019, which includes the following key actions:

- Develop a coordinated approach to attracting and managing sports tourism, including motor racing at Mount Panorama;
- Use the iconic status of Mount Panorama (Wahluu) and its flagship recognition value;
- Support and enhance food and wine tourism;
- Activate the Bathurst Region's rich heritage;
- Maximise the potential of the Region's arts and cultural infrastructure, events and activities;
- Support the attraction or development of new events and the growth of existing events with brand alignment; and
- Grow and promote the range of accessible tourism experiences and businesses in the Bathurst Region.

Within the Bathurst Region there are a number of areas and assets that are already or can develop into tourism hubs in their own right including Mount Panorama, Ben Chifley Dam, the Region's museums and the Macquarie River. Numerous civic, cultural, natural and sporting spaces provide the platform for the events sector to grow. Council will build on these assets for tourism and event opportunities.

Council will ensure opportunities are available for development that support the visitor economy, such as appropriate land zoned to permit a range of visitor accommodation, food and hospitality and events. Council will protect the Mount Panorama (Wahluu) precinct as an international motor racing venue and event precinct (refer to planning priority 6).

A key opportunity for the Bathurst Region is the positive effects that the protection of natural landscapes, vistas and heritage qualities of the Region have on the visitor economy (refer to

planning priorities 9, 10 and 12).

Actions

Strategic documents and studies

- 11.1 Maintain an up-to-date Destination Management Plan and Economic Development Strategy.

Land Use Planning

Immediate

- 11.2 Review Council's planning instruments to ensure there are no barriers to:
- the establishment of tourism and tourism accommodation; and
 - the use of appropriate private and public assets for events.

Ongoing

- 11.3 Implement the range of other priorities of this LSPS concerning the Region's landscapes, vistas and heritage assets, and the protection of the Mount Panorama motor racing precinct.

Collaborate with partners

- 11.4 To support tourism activities and public infrastructure that will contribute to the visitor experience.

Planning Priority 12

Enhance environmentally sensitive land and biodiversity

Why is it important?

The Bathurst Region is rich with biodiversity assets and is home to thousands of animal and plant species as well as a great diversity of terrestrial and aquatic ecosystems. Widespread clearing, land use change and habitat modification since European settlement has put pressures on many ecosystems in the Region causing their degradation or in some cases their virtual disappearance. Biodiversity is valued by the community at a species level, from an ecosystem function and service perspective and for the aesthetic appeal provided by natural landscapes. Council is the steward of approximately 532 ha of open space and an estimated 18,364 ha of natural areas and is able to influence biodiversity conservation on private land through the strategic planning and development control process.

Important biodiversity assets in the Bathurst Region include Box Gum woodlands, natural wetlands, Purple Copper butterfly habitat and koala habitat. Humans, domesticated animals as well as the built environment impact on the Region's biodiversity. Actions such as firewood collection, invasive weeds and pest animals, altering natural flows of creeks, and vegetation removal has a negative impact on biodiversity. The community has told us that they value the natural environment, street trees and open spaces. Our sense of cultural identity is closely linked to the Regions unique environmental biodiversity.

The community has told us that the Macquarie, Abercrombie and Turon Rivers and their tributaries are valuable environmental assets. Waterways and riparian zones provide fresh water, habitat and support biodiversity and form a critical part of the natural cycles. We need healthy river systems to support agricultural and commercial industries. Many of our recreation and cultural activities incorporate rivers and their parkland settings.

The Bathurst Region enjoys a range of important landscapes and vistas. The gateways into the urban areas of the city, particularly along the Great Western Highway and Mitchell Highway, have undergone new plantings under Council's Vegetation Management Plan to achieve a strong unified landscaped environment that recognises the transition between the rural and urban landscapes with natives merging to exotics. The Bathurst streetscapes play a strong role in providing a comfortable living environment, contributing to the visual amenity of the city and villages, and help to define the character of the Bathurst Region.

The Macquarie River floodplain, with its patchwork of market gardens and remnant wetlands, further enhances the City's unique identity, especially on the eastern approach from Kelso and

Raglan. The floodplain also allows for an unobstructed line of sight to Mount Panorama from the Great Western Highway.

The Bathurst Vegetation Management Plan (BVMP) identifies that the landscapes surrounding the city give it a sense of containment and provide a backdrop to the views from within and into the city. The landscapes provide for visual amenity and valued vistas into and out of the city. The floodplain and the rural ridges surrounding Bathurst contribute to the unique rural identity of the city.

The guiding principles of the Bathurst Vegetation Management Plan are to:

- Retain the slopes and hilltops as much as possible.
- Contain the urban edge.
- Preserve the ridges and hills running generally to the north, south and west of Bathurst.
- Protect the gentler slopes to the north, east and southwest.
- Maintain and enhance the European significance of the streetscape tree plantings in the Heritage Conservation Areas of the Bathurst Region, the City's heritage parks and gardens, and its gateway entrances.

Some State Environmental Planning Policies have had an adverse impact on parts of the City's rural edges, including the Macquarie River floodplain, where urban growth, such as seniors housing, has been permitted to encroach onto otherwise rural land in an unplanned way.

What is Council going to do?

Council will continue the implementation of the Biodiversity Management Plan, Bathurst Vegetation Management Plan, Urban Waterways Management Plan and Roadside Vegetation Management Plan. Council will assess applications for development and take into consideration the need to protect biodiversity and minimise habitat fragmentation. Council will encourage the enhancement and management of the Region's biodiversity on public and private land. Council will seek opportunities to work with community partners and State Government to enhance biodiversity assets.

Council maintains a complex system of stormwater drains which carry stormwater from streets to the Macquarie River, Raglan Creek, Hawthornden Creek, Sawpit Creek and Jordan Creek. Council will update the relevant stormwater developer contribution plans to reflect current industry practices and aim to improve the removal of litter and sediment from stormwater before it reaches the waterways. Council will also maintain its stormwater assets, to ensure

they function effectively in the long term. Managing the impacts from stormwater on natural systems is important. Council will implement rehabilitation projects which enhance the water quality and habitat value of rivers and creeks. Council will plan new release areas to provide adequate protection and access opportunities along natural creeks and waterways.

Council will continue to incorporate biodiversity conservation into its strategic planning processes, including:

- Improved mapping and identification of important biodiversity assets for conservation.
- Master planning of urban release areas – protect and enhance biodiversity by retaining connectivity of waterways and native vegetation through the landscape.
- Improved environmentally sensitive area mapping in Council's planning instruments.
- Retention of native vegetation and the enhancement of linkages between remnant vegetation particularly on Council managed land and roadsides.
- Biodiversity Certification of future development land, where applicable.

Actions

Strategic documents and studies

- 12.1 Maintain up-to-date studies in relation to biodiversity, urban waterways and the Region's vegetation.
- 12.2 Complete the review of the Stormwater Developer Contribution Plans.
- 12.3 Prepare a Koala Management Plan for the Bathurst Regional Council area in accordance with State Environmental Planning Policy.

Land Use Planning

Immediate:

- 12.4 Review provisions in Council's planning instruments and Engineering Guidelines to reduce impacts of stormwater on waterways and aquatic biodiversity by including:
 - water sensitive urban design elements;
 - recommendations of the Urban Waterways Plan; and
 - identification and protection of scenic and cultural landscapes.
- 12.5 Update the Developer Contribution Plans to reflect current industry practices and current estimated cost of works.
- 12.6 Implement actions of the Biodiversity Management Plan, Urban Waterways Management Plan, Vegetation Management Plan and Bathurst Roadside Vegetation Management

Plan.

- 12.7 Review Council's Planning Instruments to ensure development at the interface of areas of significant biodiversity or environmental sensitivity has minimal environmental impact and is protected from the encroachment of sensitive land uses.

Ongoing:

- 12.8 Manage threats to biodiversity on Council controlled land including clearing, grazing, weeds and feral species.
- 12.9 Protect views to and from the Macquarie River Floodplain through no new urban rezonings and limiting new built development along the western side of Gilmour Street, the southern side of Eleven Mile Drive and east of Eglinton Road (shown as recreation/rural/rural vistas on **Figure 3**: City of Bathurst Structure Plan).
- 12.10 Improve the scenic quality of the Region by limiting urban and rural lifestyle development in areas of high biodiversity, on hilltops and ridges and provide a green edge between the urban and rural environment.
- 12.11 Improve and enhance the city's gateways by:
- controlling built form;
 - providing screening between fences and arterial roads; and
 - providing appropriate buffers to screen urban growth.
- 12.12 Ensure the protection of the Sydney Road gateway is a key priority in planning for the 'gateway investigation area' as shown in **Figure 3**: City of Bathurst Structure Plan.
- 12.13 Continue to Master Plan the urban environment to identify opportunities to rehabilitate environmentally sensitive areas, particularly waterways and to protect scenic and cultural landscapes and areas of remnant vegetation.
- 12.14 Protect natural assets and ensure the biodiversity of the Bathurst Region is identified and preserved.
- 12.15 Consider creation of stewardship sites under the Biodiversity Conservation Act.
- 12.16 Undertake improved mapping to identify and protect:
- natural assets;
 - environmentally sensitive areas; and
 - areas of significant biodiversity or opportunities to connect remnant vegetation.

Collaborate with partners

- 12.17 To deliver projects that rehabilitate waterways to a more natural condition.
- 12.18 To promote community stewardship of the natural environment to ensure its vitality into the future.

12.19 To protect rural lands at the City's edges from inappropriate development and urban landuse encroachment such as seniors housing that is enabled by State Environmental Planning Policies.

12.20 To obtain and fund improved environmental mapping for the Bathurst region.

Protect primary production land

Why is it important?

Agricultural land is a finite resource and most agricultural enterprises are only suitable on certain soil types, climatic conditions and landscapes. Some areas of the Bathurst Region where agriculture has had a long history are under pressure from competing land uses such as housing, rural residential and lifestyle development and fragmentation of land holdings. These pressures lead to rural land use conflicts and may reduce the ability for the land to be used for agriculture and other primary production purposes, including mining and forestry, and create uncertainty for ongoing investment in primary production.

Agriculture within the Bathurst Region is diverse with key agricultural activities including:

- Sheep (wool and prime lambs) and cattle
- Wheat, oats, sweet corn and lucerne
- Orcharding (apples, pears and stone fruit)
- Vegetables (cauliflower, asparagus, carrots, tomatoes, lettuce and broccoli)
- Dairying
- Honey production
- Seedling production
- Aquaculture
- Nurseries
- Vineyards and wineries
- Stud animal raising and breeding – sheep, cattle, horses, goats and greyhounds
- Pasture production for grazing and haymaking

In 2015/16, agriculture contributed \$59 million to the local Bathurst economy (economy.id.com.au 2019) and is also an important employment sector. Livestock, vegetable production and wool production were the top 3 contributors to the value of agricultural production in the Bathurst Region.

Within the Central Tablelands region forestry activities encompass the growing and harvesting of timber products, particularly pine plantations, and the operation of sawmills and timber treatment plants. NSW Forests has indicated that the timber industry in the Central Tablelands area annually produces approximately:

- \$525 million in output

- \$226 million in gross regional product
- \$91 million in household income
- 2,000 full-time equivalent jobs

Forestry represents 5.8% of the Central Tablelands gross regional product (Western Research Institute, 2005. “The Economic Impact of Rural Subdivision and the Forestry Industry with particular reference to the Central Tablelands Region and the Oberon Shire of NSW”).

Key mining activities within the Bathurst Region include gold mining and quarrying for sand, gravel, slate and limestone extraction, contributing \$18 million to the local economy. Mining has had a close and historic association with the development of the Region and in particular with localities such as Hill End, Sofala, Sunny Corner, Wattle Flat, Cow Flat and Trunkey Creek.

What is Council going to do?

Council adopted its Rural Strategy in 2008 to guide the future long term land management and development of rural lands, villages and settlements of the Bathurst Region. The strategy seeks to protect the productive capacity of rural land, maintain and promote primary production activities and uses and provide opportunities for a greater variety of agricultural uses and activities in the future through:

- Concentrating rural settlement adjacent to the existing rural villages and rural lifestyle locations;
- avoiding fragmentation of rural lands for rural lifestyle purposes;
- maintaining appropriate minimum lot sizes on rural lands; and
- encouraging the consolidation of small holdings.

Notwithstanding the aims of the Strategy, agricultural lands remain under pressure from:

- climatic and economic factors affecting their viability;
- rural lifestyle development and ongoing pressures to subdivide rural lands for housing and lifestyle lots;
- land-use conflicts between primary production uses and other sensitive land uses; and
- conversion of productive land for renewable energy installations, such as wind and solar farms.

The Bathurst Region Rural Strategy 2008 recommended changes in the minimum lot size to:

- 40 hectares for the market garden lands; and
- 300 hectares for the primary production land.

Council implemented the 40 hectare lot size in the RU4 Primary Production Small Holdings zone as part of the Bathurst Regional Local Environmental Plan 2014. However, at the time the NSW Government enabled council's to maintain the status quo in relation to minimum lot size under the State Environmental Planning Policy (Rural Lands). Council resolved at the time to maintain the status quo in the RU1 Primary Production zone (ie 100 hectares for the former Evans Shire LGA and 200 hectares for the former Bathurst City LGA).

Actions

Strategic documents and studies

- 13.1 Review the Bathurst Region Rural Strategy and, in particular:
- review the minimum lot size for rural zones through a strategic analysis of agricultural land and practices;
 - identify and protect important agricultural land from urban sprawl and incompatible land uses;
 - examine the ongoing relevance of and demand for rural lifestyle housing in the Bathurst Region; and
 - identify opportunities to value add and diversify agricultural product.

Land Use Planning

Immediate:

- 13.2 Implement the Master Planning for the Laffing Waters and Duramana residential areas inclusive of minimum green belts/buffers to reduce land use conflicts at the urban/rural interface.
- 13.3 Review Council's planning instruments to:
- Ensure there are no barriers for value-adding and the diversification of agricultural product.
 - Remove incompatible land use provisions.
 - Implement recent Government advice on minimum land use buffers.

Ongoing:

- 13.4 Maintain an appropriate minimum lot size within the rural zones (note: a 300 hectare minimum lot size was recommended for the RUI Primary Production zone in the Bathurst Region Rural Strategy 2008, but has not been implemented).
- 13.5 Manage city growth, rural settlement, and the encroachment of incompatible land uses to minimise the loss of primary production lands and to plan for minimum appropriate buffers.
- 13.6 Plan for and maintain a minimum 50 metre wide green belt between the urban and rural interface.
- 13.7 Do not rezone lands for rural residential or rural lifestyle purposes on holdings greater than 100 hectares or on lands classed as land suitability class 1 or capability class 1 or 2.
- 13.8 Protect the market garden lands of the Macquarie River from further fragmentation and loss from urban landuses.

Collaborate with partners

- 13.9 To protect rural land from inappropriate development and urban landuse encroachment such as seniors housing.

Planning Priority 14

Create a sustainable Bathurst Region

Why is it important?

An efficient Bathurst uses, and reuses, resources wisely and manages its urban footprint. It understands the emissions it generates and embraces technologies and innovations to continually improve.

Using resources more wisely has both economic and environmental benefits. Supporting communities to use fewer disposable products, divert waste from landfill, adopt water efficient habits and use energy more efficiently all contribute to reducing the region's energy and environmental footprint.

By 2036 the Bathurst region is expected to have a population of 55,250 (an additional 12,600 people). This will see the City expand its footprint on the urban fringes, and so further encroach on surrounding productive agricultural lands. Educating and persuading the housing market to reduce the dispersed character of housing supply both within the city and through rural lifestyle housing will minimise the growth of the City's urban footprint.

The NSW Government has set a target of achieving net-zero emissions by 2050, by expanding renewable energy, addressing transport emissions and helping households and businesses save energy. Supporting the community to be less reliant on cars and embracing active transport options and changes in transport technology will reduce emissions from commuter travel.

What is Council going to do?

Council will use a place based approach to create an efficient Bathurst region. This allows targeted initiatives to provide the best outcomes and an opportunity to understand which pathways will have the greatest benefit.

Education of the community through delivery of leading sustainability programs will continue to be important. Programs such as the Sustainable Living Expo, Waterwise, Wastewise and various school programs aim to improve the region's sustainability.

Waste

Council's current waste management centre has a life of approximately 30 years with an

additional 15 years on adjacent land. Currently 21% of waste collected or delivered to the Waste Management Centre is diverted through recycling and composting activities as a result of Council's three-bin system. Increased participation of the community in kerbside recycling, container deposit scheme and green waste will extend the lifespan of the waste management centre. Council will continue its membership with the Netwaste Alliance to secure its waste collection contracts.

Waste collection at unmanned transfer stations in the rural areas remains problematic. Council will need to identify ways to improve waste management outside of the urban areas.

Energy

Council will continue to support the installation of energy saving options in both public and private assets to offset energy use. Council will ensure its planning instruments incorporate energy saving options into subdivision and building design, e.g. LED street lights. Legislative requirements for new housing to meet the minimum standards of BASIX limits the capacity for local planning controls to encourage more sustainable housing and environmental outcomes beyond BASIX.

Emissions

Potential pathways towards net-zero emissions in the Bathurst region include:

- reducing vegetation removal and increasing urban tree canopy;
- working towards more sustainable transport options;
- implementing sustainable design guidelines for subdivision and housing design;
- reducing waste and increasing recycling; and
- increasing the availability and use of renewable energy sources.

Council will continue to plan for the construction of an accessible footpath and cycleway network and will review and update the Bathurst Community Cycling and Access Plan (2011) as the Region grows. Council will continue to work with the State Government and advocate for improved public transport services. Council will also investigate opportunities for less traditional forms of public transport to embrace changes in transport technology such as electric vehicles, autonomous transport and ride-sharing (see planning priority 3).

Again, legislative requirements for new housing to meet the minimum standards of BASIX limits the capacity for local planning controls to encourage more sustainable housing design.

Urban Sprawl

Council will implement its Housing Strategy which aims to manage population growth and the impacts of urban sprawl by seeking an increase in living densities and lot yields in appropriate locations and enabling urban renewal (see planning priority 16).

Actions

Strategic documents and studies

- 14.1 Maintain an up-to-date Waste Management Plan and plan for the future of Council's Waste Management Centre.
- 14.2 Prepare and adopt a Renewable Energy Action Plan for Council's operations.
- 14.3 Develop an emissions reduction plan for the Bathurst region.
- 14.4 Consider sustainable transport options as part of the Bathurst Integrated Transport Plan.
- 14.5 Develop a Cooling the City Strategy as a likely outcome of the Bathurst Town Centre and new land release area Master Plans to reduce the impacts from the heat island effect.

Land Use Planning

Immediate:

- 14.6 Review provisions in Council's planning instrument and Engineering Guidelines to deliver:
 - subdivisions and development that are more energy, waste and water efficient;
 - reduced urban sprawl (Bathurst 2036 Housing Strategy recommendations); and
 - improved building performance and sustainable development initiatives.

Ongoing:

- 14.7 Continue to Master Plan the urban environment to identify opportunities to create new subdivisions and neighbourhood activity centres that are energy, waste and water efficient.

Collaborate with partners

- 14.8 To identify ways to increase the energy and water efficiency targets under BASIX or enable Council to set higher targets beyond BASIX and require adherence to basic sustainable design principles.

Improve resilience to natural hazards and extreme weather events

Why is it important?

Australia's climate is changing. AdaptNSW have undertaken research to predict the impact of climate change on NSW, and the Central West and Orana Region. The climate projections for the Central West and Orana Region include:

- Mean temperatures are projected to rise by 2.1°C by 2070 across all seasons. The increases will occur throughout the Region. All models show there are no declines in mean temperatures across the Central West and Orana.
- Cold nights are projected to decrease across the state by an average of 17 fewer days per year by 2070. Changes in cold nights can have considerable impacts on native ecosystems and agricultural crops reliant on cold winters.
- Annual rainfall will continue to vary across the Central West and Orana Region by 2070. Increases in rainfall for summer, autumn and winter are projected. A decrease in rainfall across the Region is projected in spring with the greatest decreases near Orange.
- Severe fire weather is projected to increase across the Region by 2070 primarily during summer and spring. The increases are greatest in the west of the Region during spring. These increases are being seen during the peak prescribed burning season (spring) and peak fire risk season (summer).
- Hot days are projected to increase across the Region by an average of 27 days per year by 2070.

Over the coming years, the Bathurst Region is likely to experience higher temperatures, fewer frosts, altered rainfall patterns, and changes in the frequency and intensity of natural hazards like bushfires, flooding and heatwaves. These hazards and extreme weather events have the potential to impact not only built assets such as roads, stormwater drains and buildings, but also increase demand for services such as water supply, energy use and the need for community support. In planning for a sustainable and liveable Region, it is important that Council identifies the potential risks associated with a changing climate. By better understanding these risks, Council can work to establish a framework to manage climate risk and increase resilience.

The Macquarie, Abercrombie and Turon Rivers, their tributaries and associated floodplains are a predominant feature of the Bathurst Region. Flooding along these waterways impacts upon properties within the floodplain to varying degrees. Council has a responsibility to manage development within floodplains to ensure the safety of residents.

Planning for resilience in the Bathurst Region needs to address existing vulnerabilities, shocks and stresses and ensure that future development is in areas which minimise potential impacts from bushfire, flooding or other natural hazards. Residential, village and rural residential intensification should be avoided in those parts of the Region which are bushfire prone, subject to flooding or have limited accessibility.

What is Council going to do?

Council is required to maintain a Bushfire Prone Land Map. Council will work with the NSW Rural Fire Service to update the map consistent with the requirements of Planning for Bushfire Protection 2019.

Council, over the past two decades, has been protecting Bathurst and Perthville from the effects of flooding with the construction of flood levees and the voluntary acquisition of properties on the Macquarie River floodplain. The construction of the recommended flood levees are nearing completion. It is appropriate that Council's Floodplain Management Plan, and associated planning controls are updated and revised in line with current climate data.

Rebuilding after a natural disaster can often be a difficult time for those residents affected. To assist in the expedient approval process, Council will undertake a review of its planning controls to ensure there are no barriers to the reinstatement of legal developments and develop a factsheet to outline the process for waste disposal, consent processes and appropriate building standards.

Council is undertaking a number of place-based master plans including master plans for Laffing Waters, Bathurst Town Centre and Duramana Road, Eglinton. A place-based approach to planning will enable Council to consider how the urban environment can be delivered differently, for example:

- Water Sensitive Urban Design (WSUD) approach to stormwater management;
- Greening streets to cool the urban environment; and
- Reduction of the urban heat island effect.

Actions

Strategic documents and studies

15.1 Review and update the Bathurst Floodplain Management Plan.

- 15.2 Finalise the updated Bushfire Prone Land Map.
- 15.3 Maintain an up-to-date Local Emergency Management Plan.
- 15.4 Review, update and adopt Council's Climate Change Risk Assessment and Adaptation Plan.
- 15.5 Develop a Cooling the City Strategy.

Land Use Planning

Immediate

- 15.6 Investigate opportunities to streamline rebuilding activities during post-disaster events, e.g. bushfire, flooding or storm events.
- 15.7 Identify priority routes to assist in the orderly movement of the community throughout the Region following a disaster event.
- 15.8 Review provisions in Council's planning instrument to ensure planning controls relating to bushfire hazard and flooding are up-to-date.

Ongoing

- 15.9 Ensure Council's planning controls enable community preparedness and resilience against natural hazards and weather extremes.
 - Continue to master plan the urban environment to identify opportunities to improve stormwater management and harvesting, and the minimisation of the urban heat effect.
 - Investigate opportunities for waste disposal (putrescible waste – spoilt food, asbestos, building materials) during post-disaster events, e.g. bushfire, flooding or storm events.
 - Require appropriate supporting documentation with Development Applications in bushfire prone and flood prone land.
 - Do not rezone flood prone lands for urban purposes without an appropriate assessment against Council's flood plain management plan.

Collaborate with partners

- 15.10 To obtain funding for and review the Bathurst Floodplain Management Plan.



Dynamic and
healthy communities

Planning Priority 16

Provide new homes

Why is it important?

The Bathurst region has historically seen an annual growth rate of approximately 1.4%. This growth is expected to continue. By 2036 the Bathurst region is expected to have a population of 55,250 (an additional 12,600 people) requiring an estimated 5,245 new dwellings (Bathurst 2036 Housing Strategy). The Bathurst region is attracting families and young adults from the surrounding council areas and from the fringe of Western Sydney.

A number of demographic trends will affect future housing provision including:

- a reduction in household size from 2.5 persons to 2.32 persons by 2036;
- an increase of over 42% in the population of retirement age;
- an increase of over 22% in the population under working age;
- an increase of over 19% in the population of working age; and
- lone person households becoming more common.

On average, 250 new homes are built in the Bathurst region each year. Detached housing currently dominates, with dwellings of four or more bedrooms making up most of the new housing market in Bathurst. This appears to be out of sync with current trends towards a reduction in household size.

Improving housing choice and diversity will be one of the most significant issues for the future, particularly as the population ages. Changes in housing choice will also have a direct impact on housing affordability. The Bathurst region, like most other centres, experiences housing stress, where 40% or more of household income is spent on rent or mortgage repayments.

A key challenge remains the community's acceptance of different styles of housing and particularly accepting lower cost housing and smaller lot sizes in suburban locations. Interestingly, in the first half of 2019, secondary dwellings (granny flats) were becoming increasingly common.

The key messages from the community for its vision for housing (Bathurst Housing Strategy 2036) include: maintaining and improving existing amenity and liveability; improving housing choice and density; and increasing sustainability. Importantly the people of Bathurst want to limit urban sprawl but at the same time maintain the rural feel of Bathurst and ensure Bathurst does not become 'just like Sydney'. The community want to respect the heritage significance

of Bathurst's streetscapes, buildings and sites and take development pressures off the City's key heritage assets.

What is Council going to do?

Council adopted the Bathurst 2036 Housing Strategy in 2018.

The Housing Strategy identifies:

- the existing and future housing needs of the City of Bathurst and how a range of housing types (choice and diversity) can be encouraged; and
- the actions that Council could implement to better utilise the existing residential zoned land to cater for the expected population increase.

Key opportunities identified by the Housing Strategy that Council will seek to implement include:

- Increasing living densities and lot yields in appropriate locations, particularly those locations within 400 to 800 metres of the Bathurst CBD, Westpoint Shopping Centre, Trinity Heights Shopping Centre, Kelso Centrepont and the new neighbourhood activity centres planned for Eglinton and Laffing Waters (see **Figure 3**: City of Bathurst Structure Plan).
- Encouraging higher lot yields at the city's greenfield localities of Laffing Waters/Kelso, Windradyne and Eglinton, whilst retaining amenity, character and open space.
- Encouraging the adaptable reuse of larger heritage sites and vacant lands in the Bathurst heritage conservation area, particularly close to and within the Bathurst CBD.
- Investigating and enabling urban renewal of appropriate lands outside of the Bathurst Heritage Conservation Area but within proximity to the CBD at Stanley Street, West Bathurst, Gormans Hill and lower Havannah Street (refer to Bathurst 2036 Housing Strategy).
- Investigating the options identified in the Urban Strategy for future residential expansion (refer **Figure 3**: City of Bathurst Structure Plan) north of Eleven Mile Drive, west of Sawpit Creek and east of Perthville.
- Requiring the master planning of new residential precincts. Council has recently completed Master Plans for the Laffing Waters and Duramana Road, Eglinton residential precincts. Both localities include new neighbourhood activity centres and provide an opportunity for increased living densities.

- Ensuring the development of quality access to the neighbourhood activity centres and the CBD through walking and integrated public transport.
- Developing high quality urban design principles to:
 - manage increased living densities;
 - manage change between the old and new housing stock;
 - maintain and improve neighbourhood character; and
 - improve sustainability, accessibility, affordability and ageing in place.
- Maintaining the existing open space and planning for new open space.

The Housing Strategy acknowledged the limitations to provide new or intensified housing:

- within 400m of the sewerage treatment plant;
- at South Bathurst, where lands may be exposed to noise from the Mount Panorama motor racing circuit; and
- on the Macquarie River floodplain.

Council needs to commence investigations to determine the preferred 'next' location for residential expansion. Residential expansion of the city in all possible locations (refer **Figure 3: City of Bathurst Structure Plan**) at the same time will not be viable. In addition, ongoing enquiries are being received for a residential use of the land on the northern side of Sydney Road. These lands have been identified on the City of Bathurst Structure Plan (**Figure 3**) as part of the "Gateway Investigation Area" and require detailed investigations as to their suitability for urban purposes and the effect this may have on the City's gateway.

The master planning (and associated economic analysis) completed for the Laffing Waters precinct identified that the cost of producing a larger house is not so significant as to warrant producing smaller housing product. Both the Laffing Waters and Duramana Master Plans identified the opportunity to produce small lots to improve housing diversity and affordability within the Bathurst region. A key challenge for Council will be:

- the introduction of the R3 Medium Density zone at these locations (close to the new neighbourhood activity centres); and
- educating and persuading the market to produce a new product on smaller lots. In this regard, Council is prepared to consider a demonstration project to raise community awareness.

The Bathurst 2036 Housing Strategy identified four key areas in close proximity to the Bathurst CBD that may be suitable for renewal and possible increases in residential density

(Stanley Street, West Bathurst, Gormans Hill and lower Havannah Street). Investigations of opportunities to renew these areas might reduce the development pressures on the more historic sites in the Bathurst Heritage Conservation Area, provide opportunities for increased living densities closer to the CBD and delay the need to rezone new urban expansion areas and therefore reduce urban sprawl. Council acknowledges that before urban renewal can occur in these areas, assessments such as social impact, local character, infrastructure capacity and a revision of the Bathurst Floodplain Management Plan need to be completed.

The State Government is seeking to elevate the consideration of local character in NSW planning decision making through the development of local character statements. Local character statements will assist Council to identify existing character and set expectations for desired character and how change can be managed. Council will aim to use the local character statement process to guide the implementation of its housing strategy and the management of change in existing and new residential areas and to achieve alternative approaches to some of the existing one size fits all State Housing Codes that may have a detrimental impact on local housing character.

Actions

Strategic documents and studies

- 16.1 Maintain an up-to-date Housing Strategy.
- 16.2 Prepare Local Character statements for the new greenfield locations, urban renewal locations and precincts within the Bathurst heritage conservation area to:
 - establish new neighbourhood character for new locations;
 - manage changed living densities;
 - manage change between old and new housing stock;
 - maintain and improve neighbourhood character; and
 - improve sustainability, accessibility, affordability and ageing in place.
- 16.3 Undertake a social impact assessment of the potential loss of low cost housing in lands identified by the Bathurst 2036 Housing Strategy as possible locations for urban renewal.
- 16.4 Update the Bathurst Floodplain Management Plan and determine the appropriateness of rezoning flood protected lands for residential purposes and/or increasing the living densities of existing flood protected residential lands.

Land Use Planning

Immediate:

16.5 Review provisions in Council's planning instrument to:

- implement the Laffing Waters and Duramana Road Master Plans, including guidelines for a new R3 Medium Density zone;
- enable an increase in living densities near the existing Westpoint, Trinity Heights and Kelso Centrepoint shopping centres;
- minimise the opportunity for an increase in existing residential density of areas that are flood prone, within 400m of the Bathurst sewerage treatment plant and within the 50dBA noise contour at Mount Panorama; and
- implement Local Character Statements, as they are prepared.

Ongoing:

16.6 Undertake further investigations and review provisions in Council's planning instrument to enable the urban renewal of locations identified in the Bathurst 2036 Housing Strategy near Stanley Street, West Bathurst, Gormans Hill and lower Havannah Street, where appropriate.

16.7 Implement the Heritage Conservation Area Review 2018 to protect those areas that should not be subject to urban renewal.

16.8 Undertake relevant infrastructure planning and associated environmental assessment and cost benefit analysis (and an associated review of the Bathurst Region Urban Strategy) to determine the 'next' major residential expansion area and residential rezoning program, including consideration of lands to:

- north of Eleven Mile Drive;
- west of Sawpit Creek;
- east of Perthville; and
- north of Sydney Road (as part of the Gateway investigation area).

16.9 Ensure master plans are prepared for new major residential urban release areas.

16.10 Do not permit new residential zonings of land and the intensification of existing residential densities within:

- the Bathurst Airport precinct and environs;
- the Macquarie River Floodplain;
- 400 metres of the sewerage treatment plant; and
- the 50dBA noise contour for the Mount Panorama motor racing circuit.

Collaborate with partners

- 16.11 To develop local character statements to achieve alternative approaches to some of the existing one size fits all State Housing Codes.
- 16.12 To promote the provision of new housing products that provides greater housing choice.

Create vibrant and sustainable rural villages and settlements

Why is it important?

The Bathurst region boasts nine rural villages; Georges Plains, Hill End, Peel, Rockley, Sofala, Sunny Corner, Trunkey Creek, Wattle Flat and Yetholme (note that Sunny Corner is not a zoned village). The region also encompasses a range of historic scattered rural residential lots and settlements and zoned rural residential/ lifestyle localities such as Mount Haven, Mount Rankin, Robin Hill, The Lagoon and White Rock/Blueridge. **Figure 2: Bathurst Region Structure Plan** highlights the rural village and settlement pattern.

Each village and many of the rural settlement areas have a unique identity and history linked to the region's pastoral, grazing and mining history. Most of the villages are of local, state or national significance for their aesthetic, historic, scientific and social values to past, present and future generations of Australians.

As part of the consultation for the Bathurst Region Rural Strategy, the village communities identified village viability as the key priority. The community sought a strong village system that includes housing choice, viable business and tourism opportunities, adequate transport systems and a concentration of community services. The physical size and population of the villages and settlements has remained relatively static. The community identified the need for some planned growth to occur to maintain the viability of the villages and to ensure the retention of the current levels of community services, in particular the village schools.

The region's visitor economy is an important economic driver for the villages. Council's Destination Management Plan aims to prioritise increased tourism investment and visitor numbers to the Bathurst region. The promotion of Bathurst, the region and its villages will drive investment, visitor expenditure and job creation. The Bathurst Region Destination Management Plan makes reference to existing opportunities in the villages including:

- village events such as The End Festival, the Marmalade Festival Peel Jam; the Wattle Flat Bronze Thong; Rockley Garden Festival; Rebellion on the Turon (Sofala) and Sunny Corner Sunday; and
- self-drive touring routes of both the northern and southern villages.

The Destination Management Plan also identifies a number of actions for the villages including:

- support for the development of attractions in the villages;

- increasing the profile and growth of the Village events; and
- improving the visitor experience and visitation rates.

The Region's villages are located in scenic rural and environmental settings. This is an important quality that should be retained as it reflects their histories and provides 'breaks' between one village and the next. It is also important that the rural use or potential rural use of the surrounding land is not undermined by encroaching development.

As a result of the recommendations of the Bathurst Region Rural Strategy, Council rezoned (in 2014) additional lands to enable village expansion in each of the rural village locations, excluding Sunny Corner due to past land use issues. Demand for this additional land has been modest, particularly in the outer villages, however Peel has seen some growth.

Infill development, i.e. development within the existing village footprint, is an appropriate way to provide for additional residents without sprawling into the surrounding rural land or bushland. It is also a way to take advantage of the capacity in existing infrastructure and support local facilities. Infill development should occur in villages where the cumulative impacts of septic tanks can be managed. Other factors including heritage conservation, environmental constraints such as flooding and bushfire need to be considered in determining which villages can accommodate infill development.

The Bathurst Region Rural Strategy, 2008, considered the provision of rural lifestyle/rural residential/hobby farm development in the Region. The Strategy recommended that any future supply of rural lifestyle living be in an appropriate form to minimise its impacts on agriculture. It recommended rural lifestyle lots be within planned 'estates' and be sited, as far as possible, in locations that maximise the concentration of population at existing village and settlement locations.

The Strategy recommended that future provision be concentrated at:

- Robin Hill and Wentworth Estate, Mitchell Highway, - zoned pre 2014, within City footprint, serviced by on-site sewerage and limited reticulated water.
- Coolibah/Warrabindi/Eskdale, Mitchell Highway - zoned in 2014, within the City footprint, new development not yet commenced but will be fully serviced.
- White Rock Road/Blueridge - O'Connell Road, part zoned pre 2014, 30 hectares zoned in 2019, 18 hectares still to be considered for rezoning, within City footprint, some on-site sewerage and residual fully serviced.
- Sutherland Drive, Georges Plains - not yet investigated, dependant upon water and sewer

reticulation upgrades.

- Trunkey Creek – zoned in 2014, onsite water and sewer, development has not occurred.
- The Lagoon – zoned in 2014, onsite water and sewer, development underway.
- Wattle Flat – zoned in 2014, onsite water and sewer, development has not occurred.
- Mount Rankin – zoned in 2014 onsite water and sewer, development underway.

Each site has been zoned R5 Large Lot Residential with different lot sizes depending upon whether the land has reticulated water and sewer services. The lack of a rural residential zone under the State Government's Standard Instrument Local Environmental Plan for unserviced land further away from the City has been problematic.

What is Council going to do?

A major review of the Village Plans will be undertaken to support sustainable growth and vitality of each location. A high level of village and rural amenity is important for each location. Enhanced community facilities, smart technology, viable business and tourism opportunities and adequate access to transport and community services will ensure strong and viable communities.

Council will encourage and promote innovative approaches to the adaptive reuse of heritage places and buildings. Council will continue to protect and promote the region's villages and heritage to strengthen the local identity through the preparation of Local Character Statements.

The Bathurst Region Rural Strategy identified the following constraints to the future provision of land for rural lifestyle/rural residential/hobby farm purposes:

- Land within the City footprint that cannot currently be serviced and may have strategic urban purposes into the future.
- Lands that are:
 - restricted by the Mount Panorama 50dBa noise contour;
 - within 400m of the sewerage treatment plant;
 - within the vicinity of the Bathurst airport;
 - flood prone;
 - within 500 metres of existing forestry or mining lands;
 - of high biodiversity conservation value;
 - on hilltops and ridges or are part of important landscapes;

- within the Ben Chifley Dam catchment;
- of a slope greater than 15 degrees; or
- bushfire prone that may have difficulty in meeting Planning for Bushfire Protection guidelines.

In addition, the Rural Strategy recommended that holdings greater than 100 hectares and/or agricultural lands classed as suitability class 1 or capability class 1 or 2 not be further fragmented for rural lifestyle purposes. The Strategy also acknowledged the limitation of the lower classes of agricultural lands (suitability class 5 and capability class 8 - the poorer agricultural lands and lands of greater environmental sensitivity) to support rural lifestyle development.

Council needs to undertake a major review of the Rural Strategy to determine whether it is desirable for the Region to produce more rural lifestyle lots in terms of the protection of the Region's agricultural and environmentally sensitive land.

Actions

Strategic documents and studies

- 17.1 Undertake a major review of the existing Rural Village Plans.
- 17.2 Review the Bathurst Region Rural Strategy in terms of rural lifestyle settlement to determine:
 - whether it is desirable for the Region to produce more rural lifestyle lots in terms of the protection of the Region's agricultural and environmentally sensitive lands;
 - what future demand there is for rural lifestyle development and in what form; and
 - if new supply is to be provided, where is it best located.
- 17.3 Develop local character statements for the Region's villages.

Land Use Planning

Immediate:

- 17.4 Review provisions in Council's planning instrument to:
 - ensure that there are no planning barriers for appropriate economic and tourism growth in the rural village locations;
 - implement the revised village plans (when completed);
 - implement Local Character Statements for each village (when completed); and
 - implement the Bathurst 2040 Open Space Strategy recommendations for each village.

Ongoing:

- 17.5 Concentrate future rural settlement at the existing zoned villages of: Hill End; Sofala; Wattle Flat; Georges Plains; Rockley; Trunkey Creek; Peel and Yetholme (see **Figure 2:** Bathurst Region Structure Plan).
- 17.6 Do not support the rezoning of land for rural lifestyle/rural residential purposes on lands:
- restricted by the 50dBa noise contour;
 - within 400m of the sewerage treatment plant;
 - within the vicinity of the Bathurst airport;
 - that are flood prone;
 - within 500 metres of existing forestry or mining operations;
 - of high biodiversity conservation value;
 - on hilltops and ridges or which are part of important landscapes;
 - within the Chifley Dam catchment;
 - of a slope greater than 15 degrees; or
 - that may have difficulty in meeting the planning for bushfire protection guidelines.
- 17.7 Do not support the rezoning of land for rural lifestyle/rural residential purposes of:
- existing rural holdings of 100ha or more;
 - lands classed as suitability class 1 or capability class 1 or 2; or
 - lands classed as suitability class 5 and capability class 8.
- 17.8 Do not support the rezoning of land for rural lifestyle/rural residential purposes of land within the City footprint that cannot currently be serviced and/or that may have strategic urban purposes as shown on **Figure 3:** City of Bathurst Structure Plan.

Collaborate with partners

- 17.9 For contemporary telecommunication services within the local villages.
- 17.10 For improved health service delivery in the local villages.
- 17.11 For the retention of the existing schools in the villages.
- 17.12 To improve private and public transport opportunities between Bathurst and the Region's villages.
- 17.13 To investigate opportunities for the inclusion of a rural residential zone in the Standard Instrument Local Environmental Plan.

Planning Priority **18**

Deliver open space and recreation

Why is it important?

The Bathurst Region has a wide range of informal, active, passive and natural open spaces to cater for the recreation, sporting, community, cultural and social needs of its population. There is approximately 370 ha of open space in the Local Government Area, or about 8.6ha per 1,000 people.

Open space plays an important role in society, including providing places of diverse activities such as exercise, quiet reflection, children's play and organised sport. As the Bathurst community grows and changes, greater attention needs to be placed on the planning of open spaces to ensure they are able to respond to current and future needs.

Council's open space supports a range of sporting pursuits with the provision of clubhouses, fields and infrastructure including AFL, BMX, cycling & mountain biking, cricket, croquet, football (soccer), swimming, hockey, motor racing, rugby league, rugby union, netball, trail running, triathlon and tennis. There are also a range of recreation and sporting activities that take place in conjunction with existing facilities or on private land.

It is important to note that all open space areas may not be used for active recreation purposes. Natural areas, such as bushland reserves and no-mow areas, offer habitat opportunities for native flora and fauna species within the urban environment as well as more passive recreation pursuits. The open space areas provide opportunities to mitigate the impacts from the heat island effect.

What is Council going to do?

The Bathurst 2040 Open Space Strategy sets out the rationale for planning and provision of open space to meet the needs of the Bathurst Region community over the next 20 years. It identifies that the provision of land for local and district community parks currently and into the future will fall below the minimum recommended level of service by 2036. The provision of sporting land will fall below the current rate of provision but will remain above the recommended minimum level of service by 2036.

The Strategy's recommendations seek to ensure that:

- Most residents will have safe walking and cycling access to recreation parks and informal

outdoor recreation and local play opportunities.

- Public parks and community facilities will be located and designed to maximise visual and physical access and allow for a wide range of potential uses and user groups.
- Public parks will be complemented by a walk and ride pathway network which adds value to the accessibility of parks and contributes to the diversity of outdoor recreation opportunities available to a community.
- Public parks will contribute to the strengthening of community by providing spaces and places for physical activity, social interaction, expression of community culture (including youth) and the activities of community based groups.

The Open Space Strategy also identifies Council's long term strategic goal for the Macquarie River corridor to be come a major open space corridor with public access, pathways and recreation nodes from Gormans Hill to Eglinton.

A key challenge for Council and the community will be to address the financial constraints in relation to the ongoing provision and maintenance of quality parks, playgrounds, reserves and open space, (and associated tree and vegetation plantings) particularly as the city grows and resident's expectations of parks, playgrounds, reserves and open space changes. Council will also continue to work in partnership with sporting organisations to upgrade facilities as required.

Actions

Strategic documents and studies

- 18.1 Maintain an up-to-date Open Space Strategy.
- 18.2 Undertake a review of the Bathurst Access and Cycling Plan to ensure existing and future open space areas are accessible and form part of a walking/cycling network.
- 18.3 Undertake a sporting facilities strategy.

Land Use Planning

Immediate:

- 18.4 Review provisions in Council's planning instruments to implement the Bathurst 2040 Open Space Strategy, and in particular to establish minimum levels of development/embellishment of open space, including preferred size, service access radius, minimum road frontage, usable area for main purpose, slope and topography, flooding and other

hazards, paths and access, and other design criteria (e.g. facilities and lighting).

- 18.5 Review provisions in Council's planning instruments to implement the recommendations of the Laffing Waters and Duramana Master Plans with respect to their recommendations for the provision of open space.
- 18.6 Review Council's developer contribution plans in light of the findings from the Bathurst 2040 Open Space Strategy.

Ongoing:

- 18.7 Ensure future land development delivers a minimum level of supply of open space:
 - 3 hectares per 1,000 residents for community parks, i.e. formal parkland settings providing non-organised outdoor recreation at local and destination levels.
 - 1.5 hectares per 1,000 residents for formal sporting and organised public recreation activity.
- 18.8 Plan for a community park opportunity within 400-500 metres safe walking distance in urban areas. For rural villages, access is desirable within 1,000 metres.
- 18.9 Plan for most residents to have access to a large destination recreation park and/or sporting opportunity within 10-20 minutes via car.
- 18.10 Plan for a diversity of landscape settings across the network that define character through the inclusion of unique or notable landscape features.
- 18.11 Plan for open spaces that provide opportunities for physical activity, social inclusiveness, interaction, participation in outdoor recreation and engaging with nature.
- 18.12 Maintain a REI General Recreation Zone over existing open space areas to preserve those spaces as living densities increase.
- 18.13 Master Plan and implement quality new open space areas in greenfield locations.
- 18.14 Obtain, reserve and improve a corridor of 40 metres wide both sides of the Macquarie River from Gormans Hill to Eglinton for regional recreation/open space purposes.

Collaborate with partners

- 18.15 For funding to support the creation of new and embellishment of existing open space and sporting facilities.
- 18.16 To identify sufficient resources to perform the required level of maintenance and upkeep of open space and recreation facilities to meet the community's expectations.

Planning Priority **19**

Deliver social, community and cultural infrastructure

Why is it important?

As Bathurst grows, Council must ensure this growth is supported by necessary social, community and cultural infrastructure: health, education, social services and facilities, access and inclusion and cultural facilities.

One of the ways Council can support the delivery of new social, community and cultural infrastructure and improve existing facilities and services is through development contributions. These contributions are levied on new development to ensure the needs and aspirations of new communities are met without impacting on the existing community's access to the facilities and services already in place.

Health

Population forecasts indicate that between 2016-2036 there will be a 36.4% proportional increase in the Region's residents aged 60 and over. Bathurst's growth and this expanding ageing population will place pressure on the existing health services. Planning for ageing in place will become increasingly important. Further, Council must encourage a level of health services fitting to its regional city status.

Education

Notwithstanding the ageing community, the population forecasts continue to see growth in young people. Access to child care facilities, early education, schools, tertiary and vocational education, and training opportunities will remain important. Early planning for new or expanding school locations is critical. The community raised concerns about the need for a third public high school with Denison College, and particularly the Bathurst High campus, at or over capacity.

Social Services and Facilities

Local social support services, such as neighbourhood centres and community services and community development organisations and facilities such as community halls need to be located close to where people live. Co-location of social services with neighbourhood activity centres will improve access to services and better connect people.

Cemeteries and crematoria are changing from the historic provision of small, localised facilities

to larger sites inclusive of chapels, reception centres and function areas. Key challenges for Council include: ensuring enough cemetery space into the future; and preserving historic cemeteries no longer in use.

Access and Inclusion

Access is a fundamental requirement of the built environment. Key challenges for access include the adaptive reuse of historic sites and changes of use to existing second storey premises.

Council has in place a Disability Inclusion Action Plan for Council premises which seeks to deliver inclusive community spaces and facilities.

Planning for ageing in place will become increasingly important.

Cultural Facilities

Cultural infrastructure and creative spaces are an essential part of a community's social fabric and enhance local character and amenity whilst providing opportunities for residents to express themselves and to engage with the people around them.

Community events and public art enhance and create an exciting place for the community, as well as tell our stories.

Council manages the Bathurst Library, Bathurst Memorial Entertainment Centre, Art Gallery and a range of museums and supports community and cultural gatherings and events, display spaces, outreach programs, and hubs for the digital future, all important for lifelong learning, creativity and participation.

What is Council going to do?

Health

The State Government is responsible for health services in the Bathurst Region. Preparation of a Master Plan for the Bathurst Health and Knowledge Precinct is underway which seeks to:

- Define an appropriate health precinct for Bathurst, including hospitals, aged care and health-related education.
- Identify opportunities to support economic growth, with a focus on the growth of the

health services and health-related education sectors within the Bathurst Region.

- Provide a strategic direction for the management of competing land uses and development pressures within the identified health precinct.
- Identify and facilitate suitable reuse of buildings for health and allied health practices.
- Identify infrastructure constraints to development and health sector growth.
- Identify opportunities for services to support the Health and Knowledge Precinct by maximising complementary activities within the identified precincts.
- Identify transport linkages between the health services and health-related education precinct and existing and future services, including existing clusters and the CBD.
- Include a strategy for collaboration between the NSW Government, Charles Sturt University and Bathurst Regional Council to identify and convert opportunities for economic development in the health, health-related education or allied health sectors.

Council will continue to advocate for health service improvements and co-location of services close to where people live.

Education

Council's master planning seeks to identify future education requirements. However, Council remains frustrated on a clear plan for the Bathurst Region for both school expansion (e.g. Eglinton School) and the need for new or expanded high school services (e.g. third public high school). The Charles Sturt University campus offers an opportunity for a third high school campus or separate year 11 and 12 secondary college.

Council requires early advice from the NSW Department of Education and private school providers to achieve effective planning and delivery of new or expanded facilities as the city grows. Council will continue to reserve land in residential expansion areas for new school purposes as shown on **Figure 3: City of Bathurst Structure Plan**.

Social Services and facilities

Council will continue to monitor the need for social services and facilities, inclusive of those services that it supports through the Kelso Community Hub. Council has identified the need for an Ageing Strategy to explore the opportunities of older people to participate in, contribute to and be included in their community.

Access and Inclusion

Council will continue to investigate and support the adaptive reuse of historic buildings to

improve access and maintain heritage fabric, as well as requiring new development to meet its obligation for access under the Building Code of Australia.

Council will continue to implement and review its Disability Inclusion Action Plan inclusive of the incentive funding provided to private property owners to improve access to existing commercial and community premises.

Cultural and Community Facilities

Council has adopted a Cultural Vision. The Vision has identified that the current space allocated towards performing arts, library and art gallery are unlikely to meet the needs of the future population. Investigations will need to occur to determine how these spaces, or new spaces, can cater for a larger population. Council has commenced a Next Practice Performing Arts Review for BMEC which includes consideration of Art Gallery and Library spaces and which will support the Bathurst Town Centre Master Plan, also under preparation.

The Cultural Vision also encourages the long-term cultural development of the villages.

Actions

Strategic documents and studies

- 19.1 Research and develop an Ageing Strategy for the Bathurst Region.
- 19.2 Complete the Master Plan for the Bathurst Health and Knowledge precinct in partnership with the Western NSW Local Health District, NSW Department of Planning and Charles Sturt University.
- 19.3 Complete the Next Practice Performing Arts Framework.
- 19.4 Maintain an up-to-date Disability Inclusion Action Plan.
- 19.5 Complete the Bathurst Town Centre Master Plan.
- 19.6 Collaborate with the Primary Health Network to develop a Bathurst Region Health Snapshot.

Land Use Planning

Immediate

- 19.7 Review Council's planning instruments to:
 - ensure accessibility and ageing in place are supported;
 - investigate opportunities to require public art as part of major new development

proposals;

- incorporate best practice guidelines to achieve a healthy built environment; and
- ensure there are no barriers to appropriate social, community and cultural facilities locating in neighbourhood activity centres, villages and other appropriate locations.

19.8 Implement the recommendations and actions of the Bathurst Disability Inclusion Action Plan.

19.9 Identify the most appropriate zoning controls to secure the long term reservation of land for public purposes.

Ongoing

19.10 Review the development contributions plans to include planned community and cultural facilities and consider the timing of delivery and funding for these works.

19.11 Investigate the development of strategies aimed at specific demographic groups such as children and families and older people.

19.12 Master plan new suburban locations to include land reservation for education, community and cultural purposes.

Collaborate with partners

19.13 To attract and encourage the delivery of social services and infrastructure within the Bathurst Region.

19.14 For clear, up-front, education priorities to support the early planning of new suburbs and in particular the exploration of opportunities to create a third public high school campus.

19.15 For health service improvements, co-location of services close to where people live and improved transport access to health services.

19.16 To achieve appropriate accessibility outcomes for adaptive reuse of heritage assets.



Implementation and monitoring

Implementation of the Local Strategic Planning Statement

Council will monitor, review and report on the Local Strategic Planning Statement (LSPS) to ensure its implementation. The LSPS will be implemented through the Integrated Planning and Reporting (IP&R) framework under the Local Government Act 1993. Under the IP&R framework, Council is required to prepare a range of plans including the Community Strategic Plan, a Delivery Program and an Operational Plan to outline planned work and track progress on the commitments Council has made to achieve the community's vision for the Bathurst Region.

The actions of the LSPS are grouped into three categories; strategic documents and studies, land use planning and collaboration with partners. Actions from the LSPS will be incorporated into the relevant Delivery Program activities and the Annual Operating Plan actions. Council will not be able to achieve all the actions at once, due to resourcing and financial limitations, so Council must plan to implement them in stages. The following timeframes are proposed for implementation of the actions:

- **Strategic documents and studies:** These actions do not have a specific timeframe, however, subject to budget allocations and opportunities to attract external funding, it is hoped that most of these investigations can be achieved within the 20-year timeframe adopted for this LSPS.
- **Immediate:** Council will actively work towards achieving these actions within the life of this LSPS, likely to be reviewed in 2026. These actions address some of the community's greatest priorities and establish some significant strategic work to be completed to guide the City's future.
- **Ongoing:** These actions do not have a specified timeframe. Council will be working to achieve them over the long term. Many of these actions are generally where Council will be working in partnership with others, for example, with Transport for NSW, to deliver infrastructure upgrades. Other ongoing priorities are planning policy directions that will remain relevant over the life of the Strategy and will help determine the suitability of future planning proposals.
- **Collaborate with partners:** Most of these actions are ongoing and have no set end date, and outline where Council needs assistance from others.

Review of the LSPS

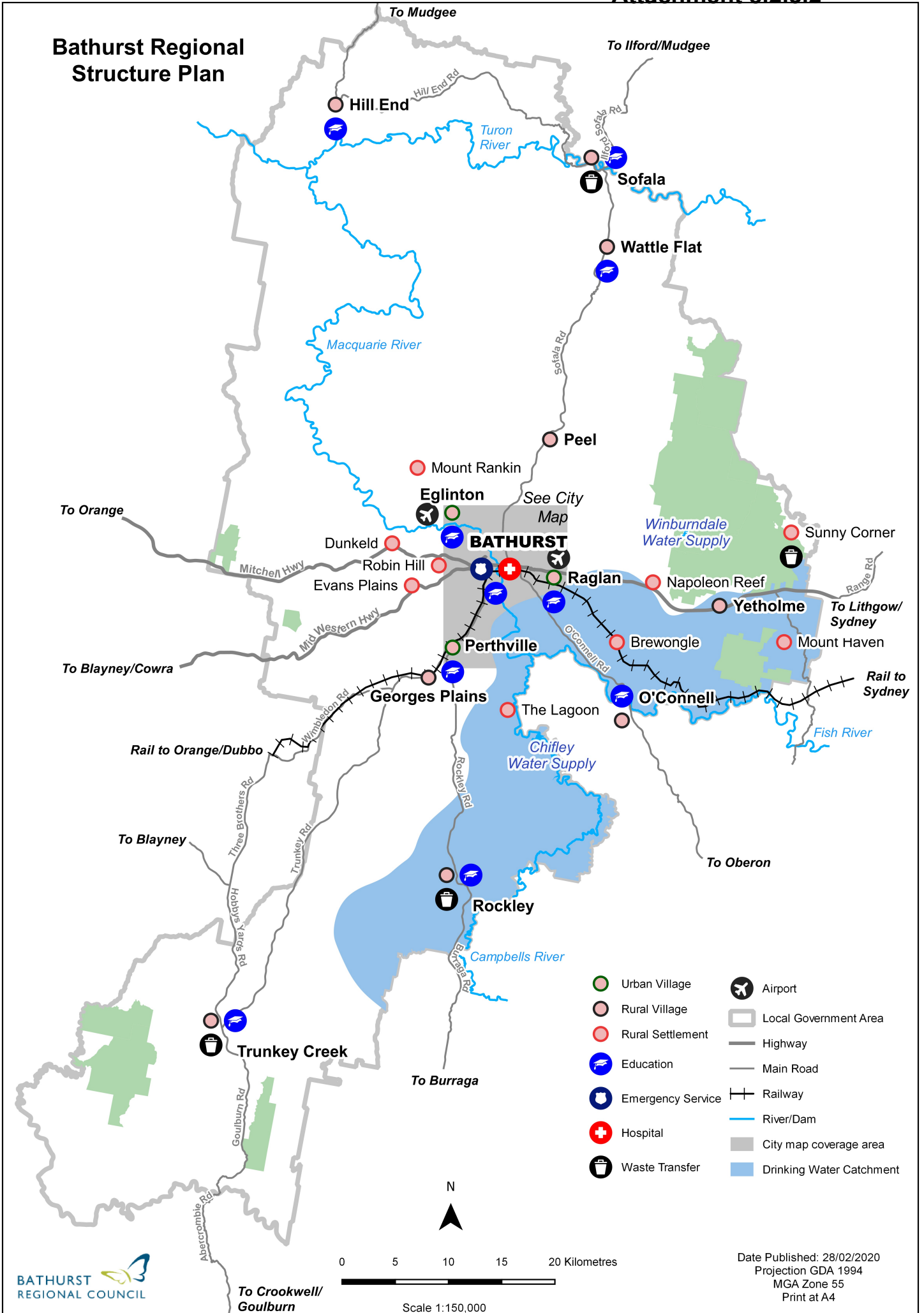
Council will regularly review the LSPS to ensure that it reflects the latest information and direction of the Bathurst Region. Council is required to review the LSPS every seven years.

Council has identified significant synergies between the objectives of the Bathurst Community Strategic Plan and this LSPS. Council plans to review its LSPS within 1 year following each new version of the Community Strategic Plan commencing in 2025. Council may also review its LSPS when new information comes to hand.

Monitoring of the LSPS

A separate Implementation and Monitoring Plan has been prepared and summarises the identified actions, their respective implementation program, and actions to date. Council will update the Implementation and Monitoring Plan annually.

**Bathurst Regional
Structure Plan**



- | | |
|-------------------|--------------------------|
| Urban Village | Airport |
| Rural Village | Local Government Area |
| Rural Settlement | Highway |
| Education | Main Road |
| Emergency Service | Railway |
| Hospital | River/Dam |
| Waste Transfer | City map coverage area |
| | Drinking Water Catchment |



0 5 10 15 20 Kilometres

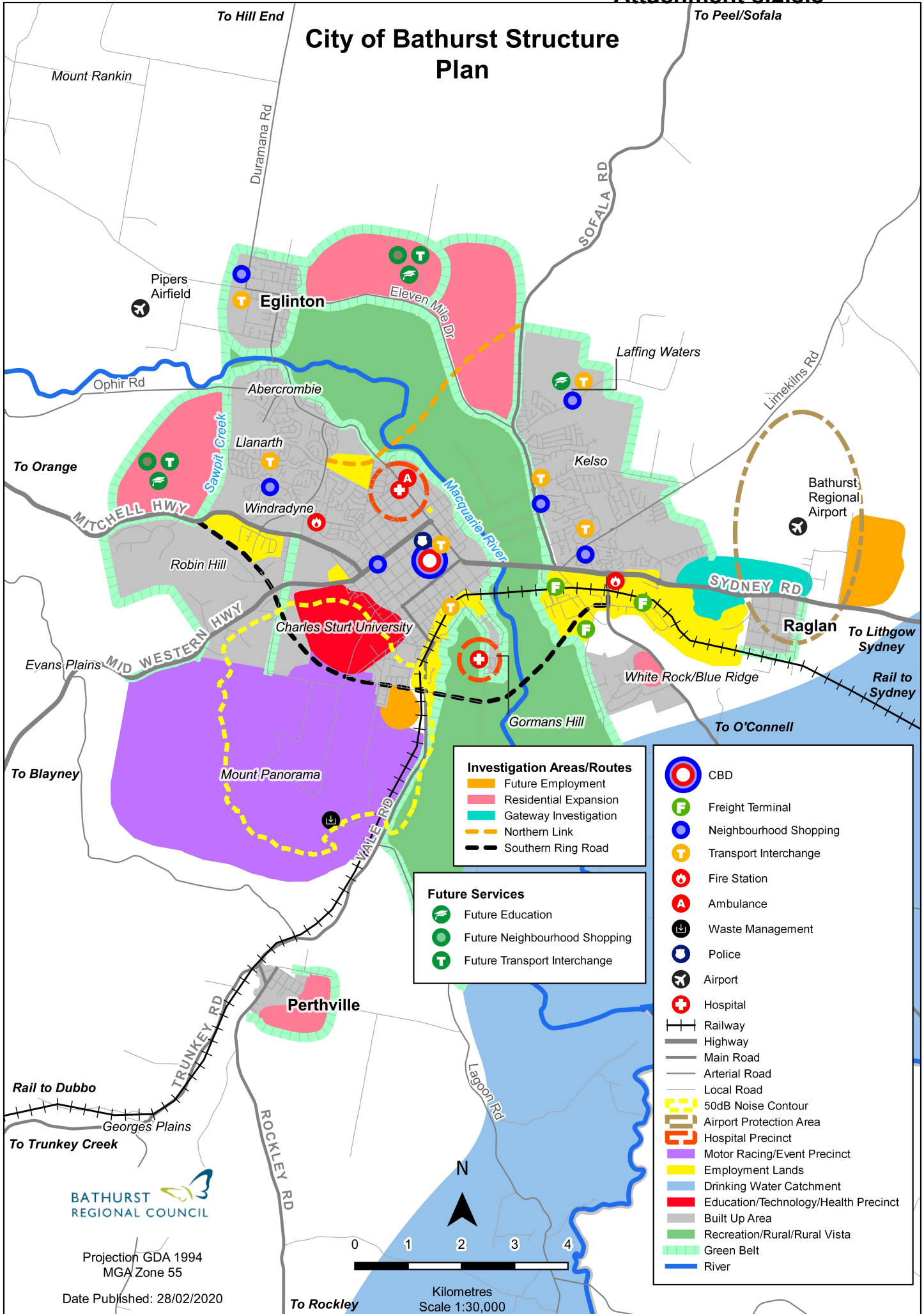


Scale 1:150,000

Date Published: 28/02/2020
Projection GDA 1994
MGA Zone 55
Print at A4



City of Bathurst Structure Plan



Investigation Areas/Routes

- Future Employment (Orange shaded area)
- Residential Expansion (Pink shaded area)
- Gateway Investigation (Cyan shaded area)
- Northern Link (Dashed orange line)
- Southern Ring Road (Dashed black line)

Future Services

- Future Education (Green circle with 'E')
- Future Neighbourhood Shopping (Green circle with 'S')
- Future Transport Interchange (Green circle with 'T')

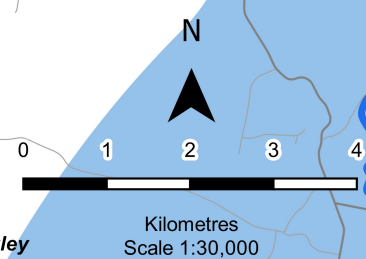
Legend

- CBD (Red circle with 'C')
- Freight Terminal (Green circle with 'F')
- Neighbourhood Shopping (Blue circle with 'S')
- Transport Interchange (Yellow circle with 'T')
- Fire Station (Red circle with 'F')
- Ambulance (Red circle with 'A')
- Waste Management (Black circle with 'W')
- Police (Blue circle with 'P')
- Airport (Black circle with 'A')
- Hospital (Red circle with '+')
- Railway (Black line with cross-ticks)
- Highway (Thick grey line)
- Main Road (Thin grey line)
- Arterial Road (Thin grey line)
- Local Road (Thin grey line)
- 50dB Noise Contour (Yellow and red hatched area)
- Airport Protection Area (Orange hatched area)
- Hospital Precinct (Red shaded area)
- Motor Racing/Event Precinct (Purple shaded area)
- Employment Lands (Yellow shaded area)
- Drinking Water Catchment (Blue shaded area)
- Education/Technology/Health Precinct (Red shaded area)
- Built Up Area (Grey shaded area)
- Recreation/Rural/Rural Vista (Green shaded area)
- Green Belt (Light green shaded area)
- River (Blue line)

BATHURST REGIONAL COUNCIL

Projection GDA 1994
MGA Zone 55

Date Published: 28/02/2020





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Important Notice!

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Drawn By: Wayne McDonald
Date: 12/03/2020
Projection: GDA94 / MGA zone 55
Map Scale: 1:2500 @ A4

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DA 04	Existing Dwelling - Proposed Plan	DA 44	Specification
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Attachment 8.2.4.2

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E BRETT@BMDD.COM.AU
12 MAXWELL DRIVE, EGLINTON NSW 2795



26/11/19	J	Amended balcony
25/11/19	H	Issued for approval
20/11/19	G	Issued for final comment
13/11/19	F	Issued for final comment
04/11/19	E	Issued for comment
02/10/19	D	Issued for comment
02/10/19	C	Issued for comment
16/09/18	B	Issued for comment
Date		Amendment



BRETT MOULDS
DESIGN & DRAFTING

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12 MAXWELL DRIVE, EGLINTON NSW 2795



Proposed Mixed-Use Development
Keith Tucker
505 Conrod Straight, Bathurst



Cover Page
DA 01

Issue: J
Date: 26/11/19
Project: BMD171883

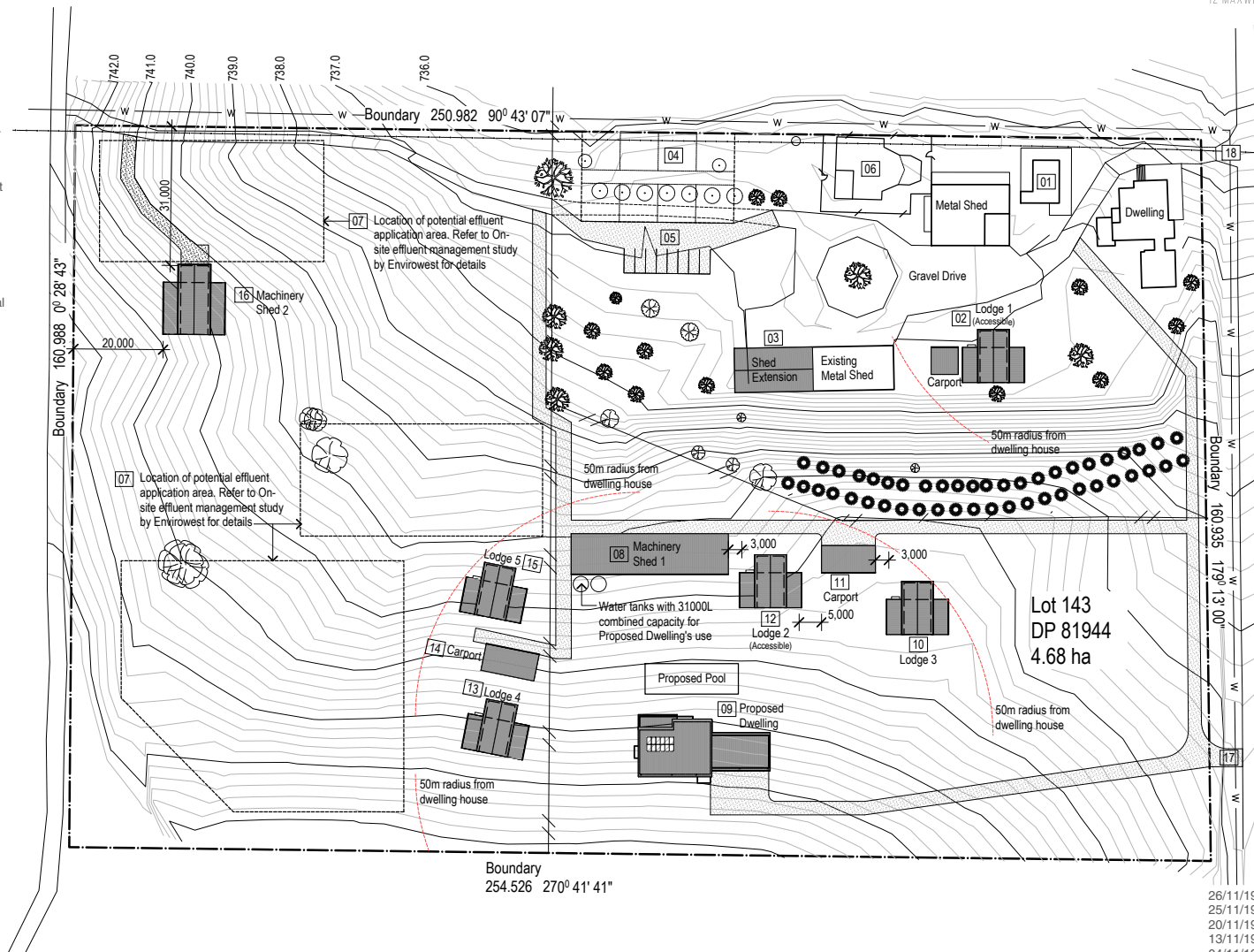


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01. Existing dwelling. Change of use to tourist accommodation including alterations and additions.
02. Construction of self contained accessible tourist accommodation with detached carport.
03. Additions to existing metal shed. Additions to include storage space and Primitive camping zone amenities.
04. Proposed Primitive Camping Zone 34 X 20m.
05. Proposed parking area for Primitive Camping Zone.
06. Additions to existing pool.
07. Possible effluent system locations, subject to engineer's input.
08. Construction of Machinery shed.
09. Construction of two storey, 4 bedroom dwelling.
10. Construction of self contained tourist accommodation
11. Construction of a carport (4 spaces).
12. Construction of self contained accessible tourist accommodation.
13. Construction of self contained tourist accommodation.
14. Construction of a carport (4 spaces).
15. Construction of self contained tourist accommodation.
16. Construction of Machinery Shed.
17. New driveway/entry location, subject to approval process
18. Existing driveway access to be removed. New driveway location proposed.

Proposed Construction Certificate Staging

- Stage 1: Items 01 - 07
 - Stage 2: Items 08 - 12
 - Stage 3: Items 13 - 15
 - Stage 4: Item 16
 - Stage 5: Items 17 - 18
- Appropriate documentation to be provided for approval at each stage



CONROD STRAIGHT

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



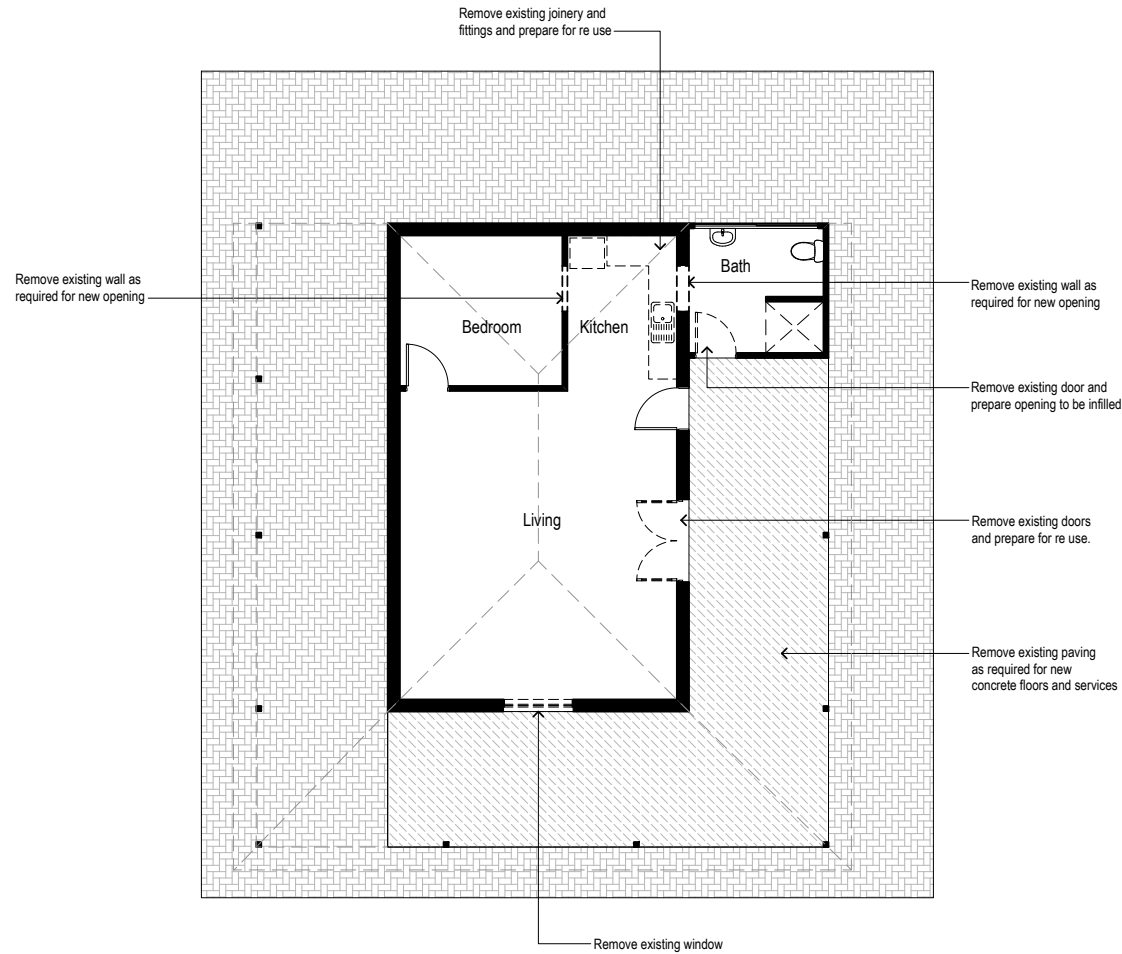
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 M 0424 156 450
 E BRETT@BMDD.COM.AU
 12 MAXWELL DRIVE, EGLINTON NSW 2795



Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Proposed Site Plan
 DA 02
 Issue: J Date: 26/11/19
 Scale: 1:1000 @ A3 Project: BMD171883



Area Schedule

Existing Building	61.4 m ²
Proposed Addition	42.4 m ²
Total Building Area	103.8 m²

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
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13/11/19	F Issued for final comment
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Proposed Mixed-Use Development

Keith Tucker
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Existing Dwelling - Existing Plan

DA 03

Issue: J
 Scale: 1:100 @ A3

Date: 26/11/19
 Project: BMD171883



Legend

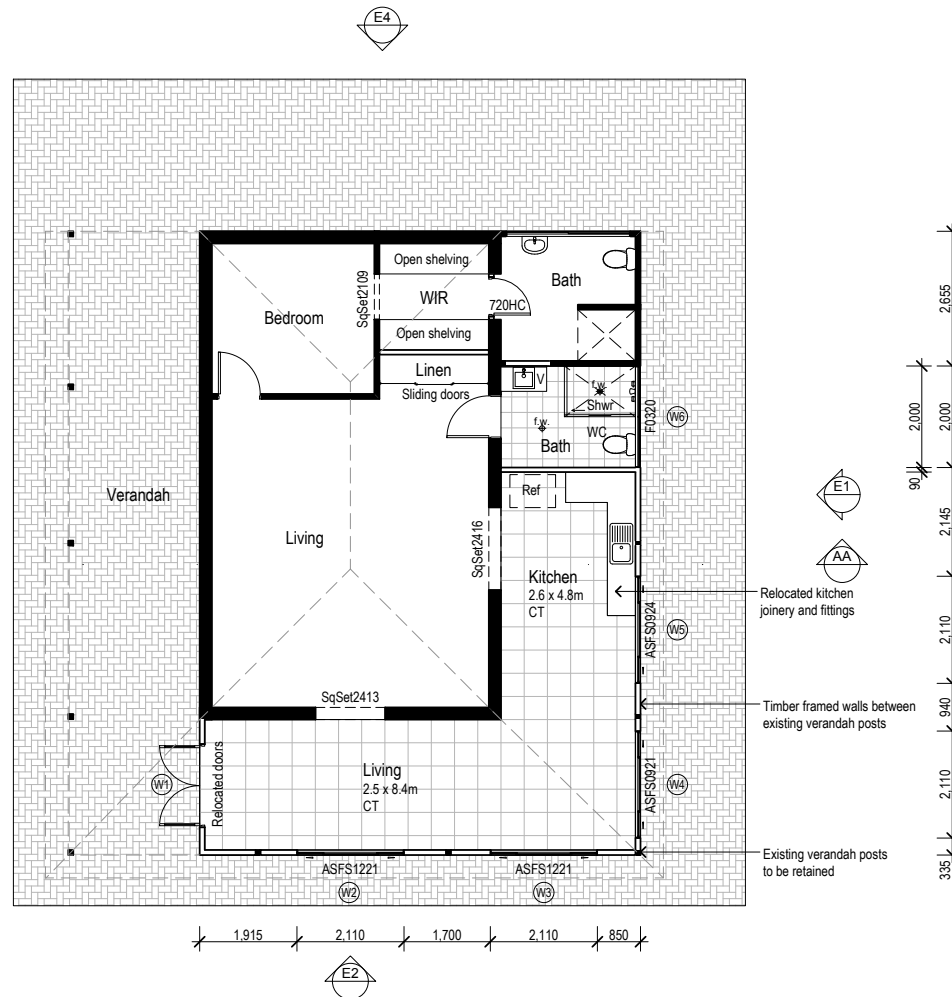
- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel

Glazing Requirments

Sliding Windows:
Aluminium Sliding Window - Single Glazed (5mm EnergyTech) U-value: 4.6, SHGC: 0.60
Fixed Window:
Aluminium Fixed Window - Single Glazed (6.38mm Comfort Plus Neutral) U-value: 4.1, SHGC: 0.46
Relocated Doors:
Timber Framed - Single glass (3mm Clear) U-value: 4.3, SHGC: 0.55

Area Schedule

Existing Building	61.4 m ²
Proposed Addition	42.4 m ²
Total Building Area	103.8 m²



Date	Amendment
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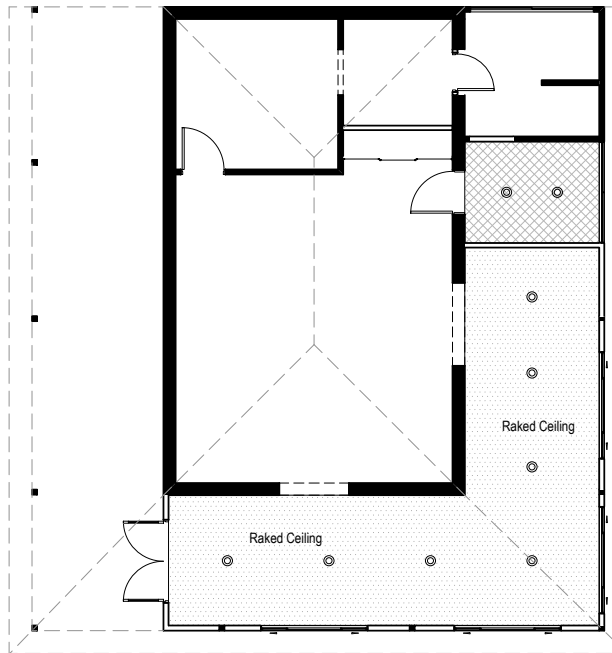


Existing Dwelling - Proposed Plan
DA 04
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883

-  Set plasterboard ceiling
-  Wet area set plasterboard ceiling
- ⊙ 15W LED down light

QTY	Total (W)
9	135

The maximum allowable illumination power density for the proposed building type is 535W. Refer to BCA Part J lighting calculator. A total of 135W is being proposed for this building type.



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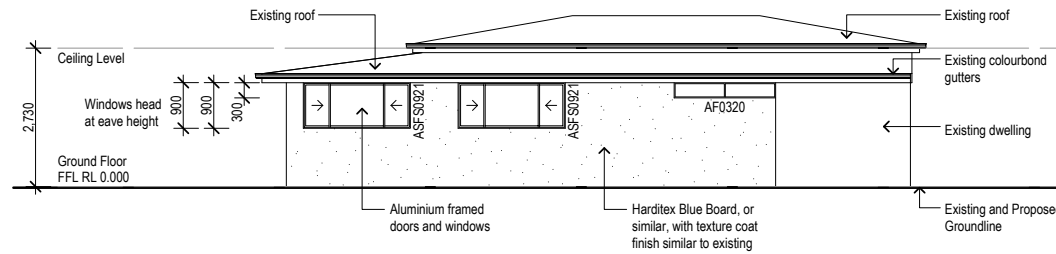


Existing Dwelling - Proposed RCP
 DA 05
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883

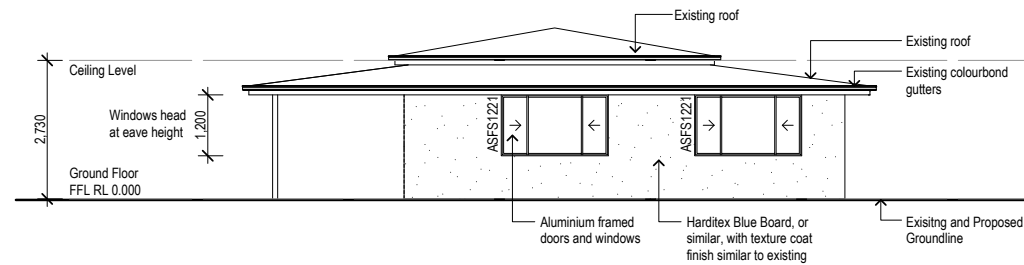


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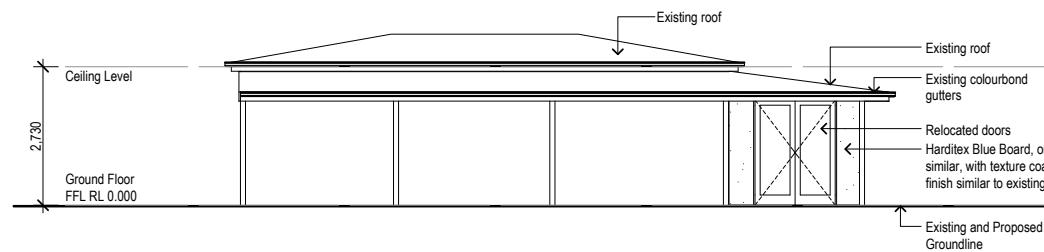
- A Aluminium
- B Basin
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- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
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- HWS Hot Water Service
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- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Elevation 1
Scale 1:100



Elevation 2
Scale 1:100



Elevation 3
Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
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02/10/19	C Issued for comment
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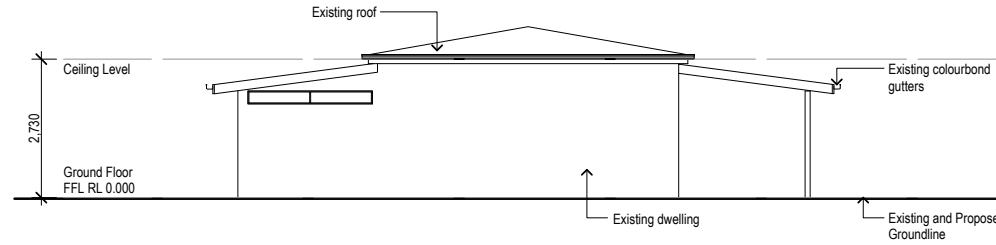
Existing Dwelling - Elevations
 DA 06
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883

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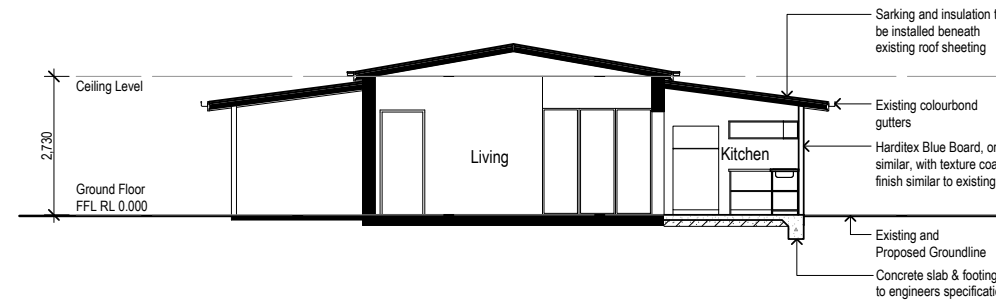


Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
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- SV Stone Veneer
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- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Elevation 4
Scale 1:100



Section AA
Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
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02/10/19	C Issued for comment
16/09/18	B Issued for comment



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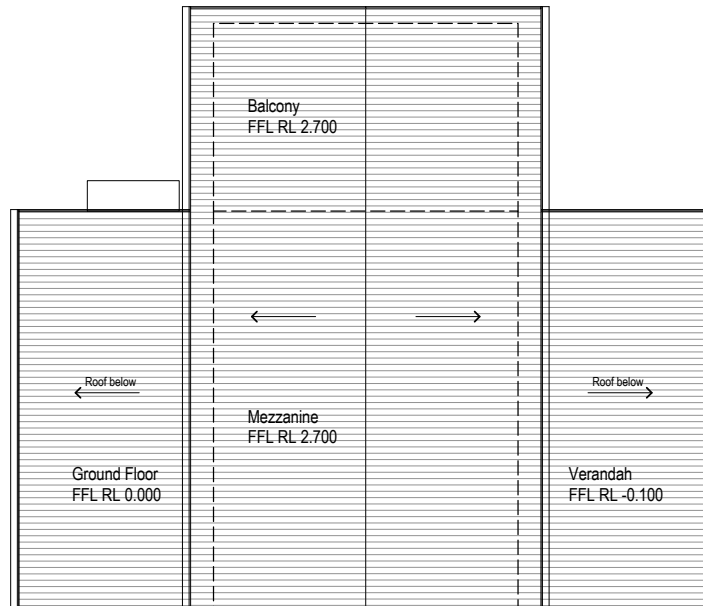


Existing Dwelling - Elevation & Section
DA 07
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
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- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Area Schedule

Ground Floor	73.2 m ²
Mezzanine	46.8 m ²
Total Building Area	120.0 m²
Alfresco	22.2 m ²
Verandah	26.4 m ²
Balcony	22.2 m ²

26/11/19	J	Amended balcony
25/11/19	H	Issued for approval
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13/11/19	F	Issued for final comment
04/11/19	E	Issued for comment
02/10/19	D	Issued for comment
02/10/19	C	Issued for comment
16/09/18	B	Issued for comment
Date		Amendment



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Proposed Mixed-Use Development

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Lodge Type 1 - Roof Plan

DA 08

Issue: J
 Scale: 1:100 @ A3

Date: 26/11/19
 Project: BMD171883



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Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
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- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel

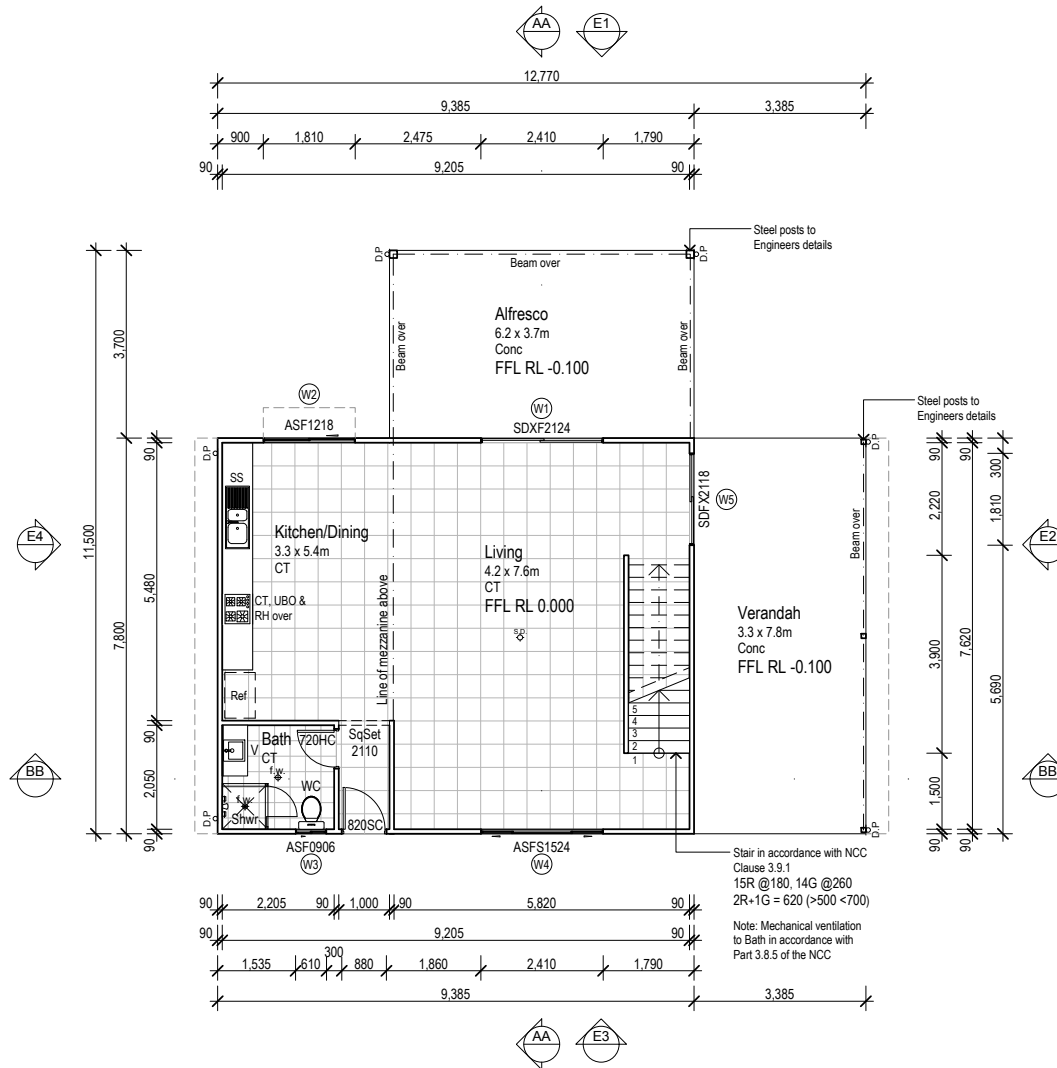
SD Smoke Detector
Installation to comply with Part 3.7.5 of the NCC

Glazing Requirements

Sliding Doors:
Aluminium Sliding Door - Single Glazed (5mm EnergyTech) U-value: 4.5, SHGC: 0.60
Sliding Windows
Aluminium Sliding Window - Single Glazed (4mm EnergyTech) U-value: 4.6, SHGC: 0.60

Area Schedule

Ground Floor	73.2 m ²
Mezzanine	46.8 m ²
Total Building Area	120.0 m²
Alfresco	22.2 m ²
Verandah	26.4 m ²
Balcony	22.2 m ²



Date	Amendment
26/11/19	J Amended balcony
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02/10/19	D Issued for comment
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Proposed Mixed-Use Development
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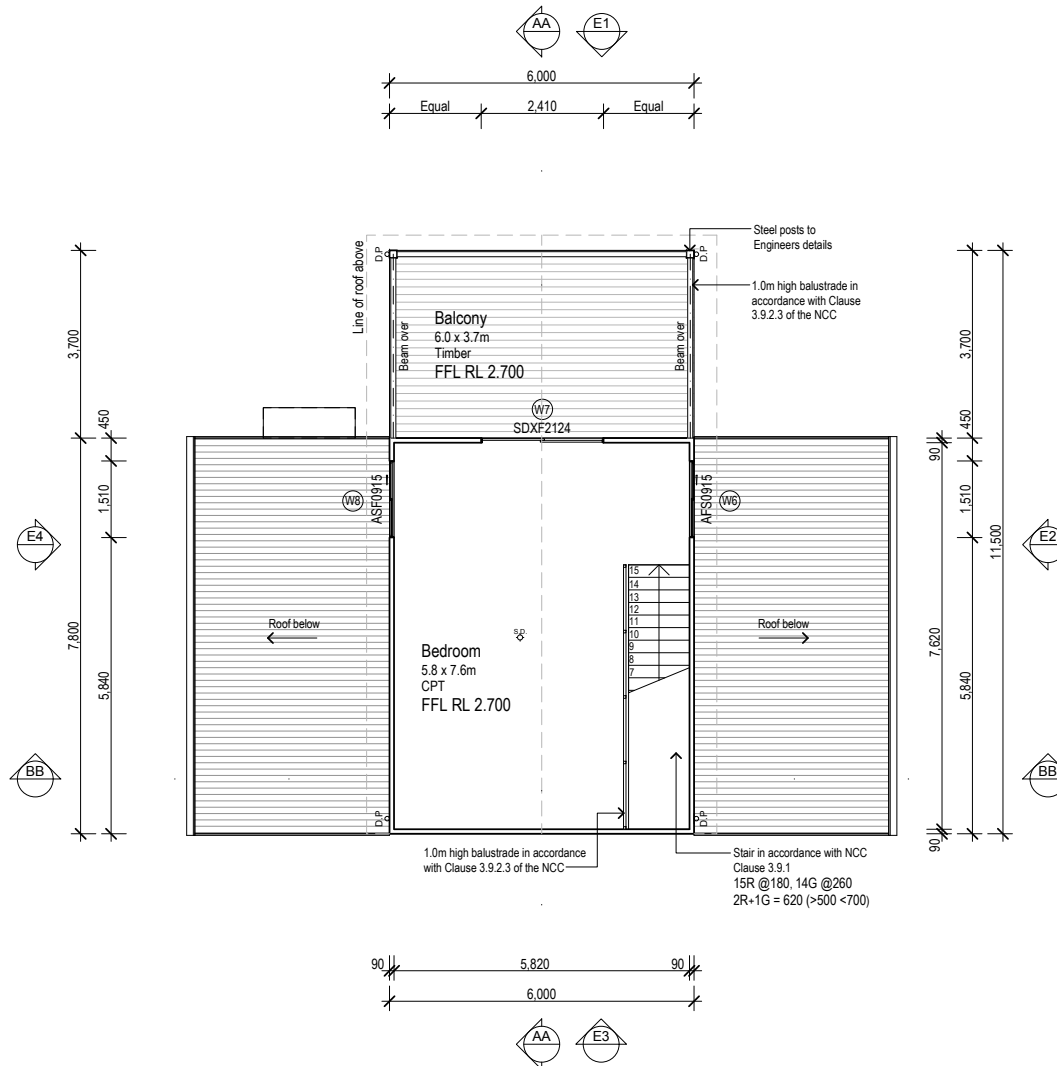


Lodge Type 1 - Ground Floor Plan
DA 09
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883



Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
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- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel
- SD Smoke Detector
Installation to comply with Part 3.7.5 of the NCC



Area Schedule

Ground Floor	73.2 m ²
Mezzanine	46.8 m ²
Total Building Area	120.0 m²
Alfresco	22.2 m ²
Verandah	26.4 m ²
Balcony	22.2 m ²

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Proposed Mixed-Use Development

Keith Tucker
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Lodge Type 1 - Mezzanine Floor Plan

DA 10
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883

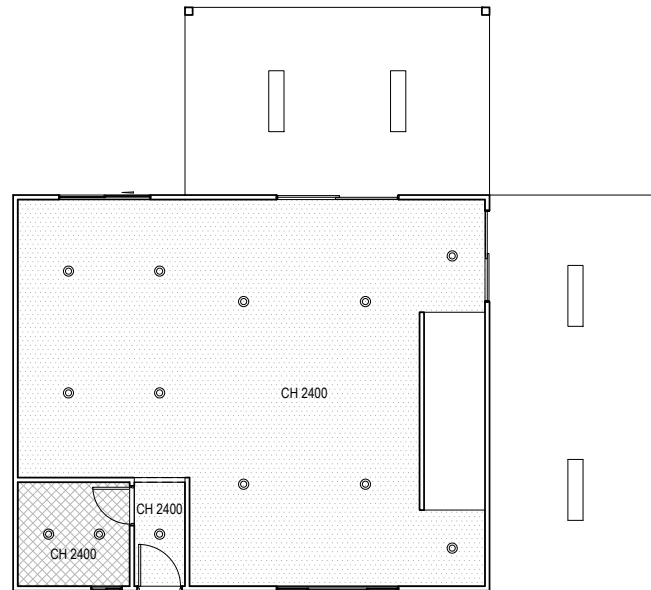



Legend

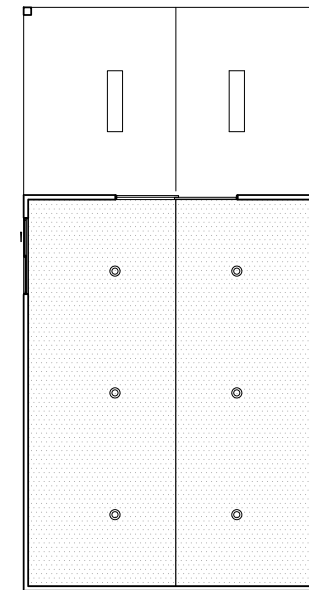
-  Set plasterboard ceiling
-  Wet area set plasterboard ceiling
-  15W LED down light
-  32W LED Diffused weather proof batters (external lighting not included in Part J calculation)


QTY	Total (W)
19	285
6	-

The maximum allowable illumination power density for the proposed building type is 1525W. Refer to BCA Part J lighting calculator. A total of 285W is being proposed for this building type.



 Ground Floor RCP
 Scale 1:100



 Mezzanine RCP
 Scale 1:100

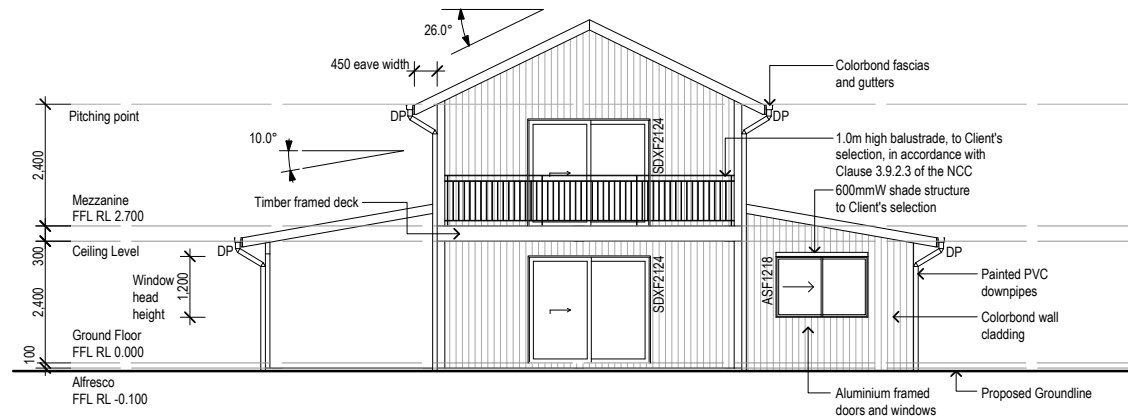
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13/11/19	F Issued for final comment
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02/10/19	C Issued for comment
16/09/18	B Issued for comment



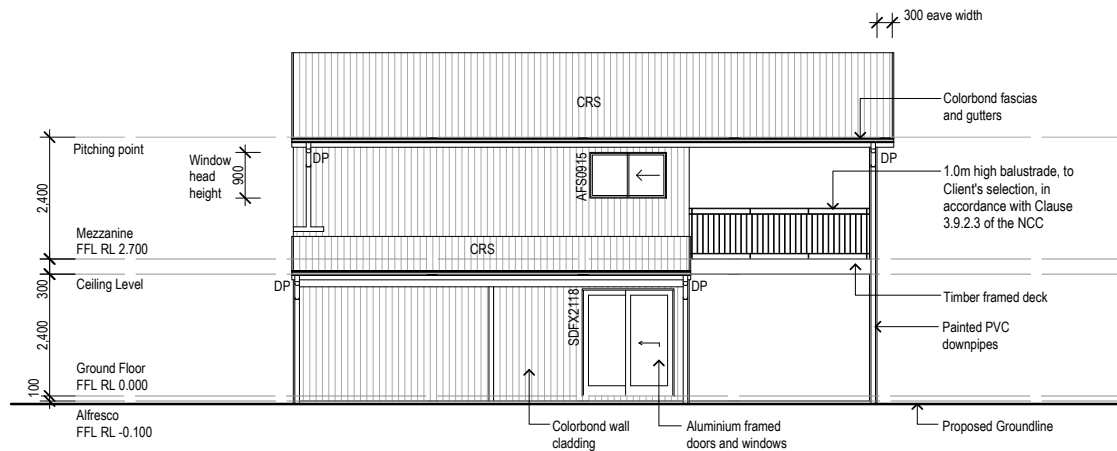
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Legend

- A Aluminium
- B Basin
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- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Elevation 1
Scale 1:100



Elevation 2
Scale 1:100

Date	Amendment
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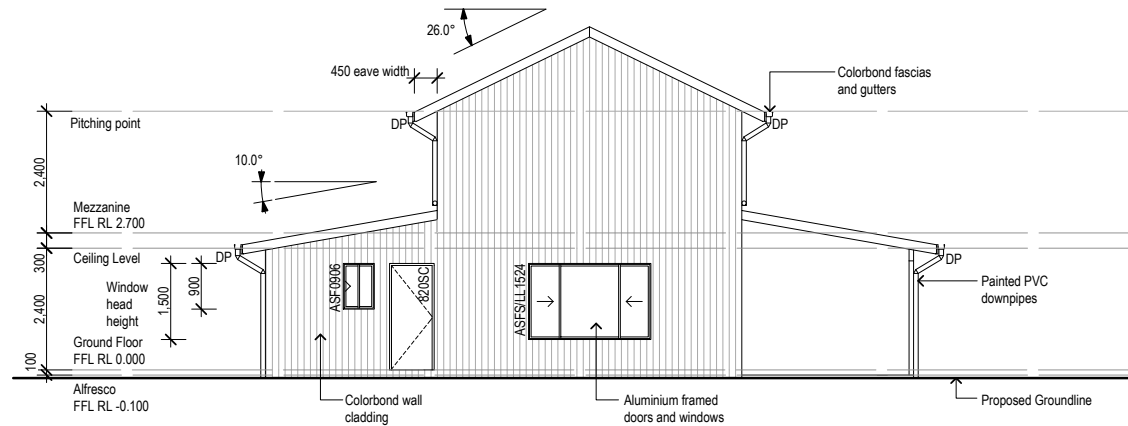


Lodge Type 1 - Elevations 1 & 2
 DA 12
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883

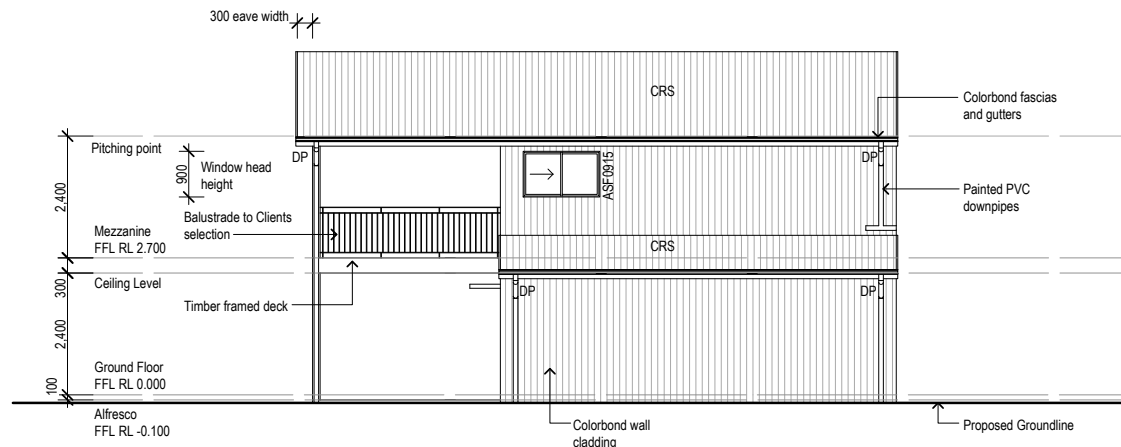


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- X Sliding panel



Elevation 3
 Scale 1:100



Elevation 4
 Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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 M 0424 156 450
 E BRETT@BMDD.COM.AU
 12 MAXWELL DRIVE, EGLINTON NSW 2795



Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



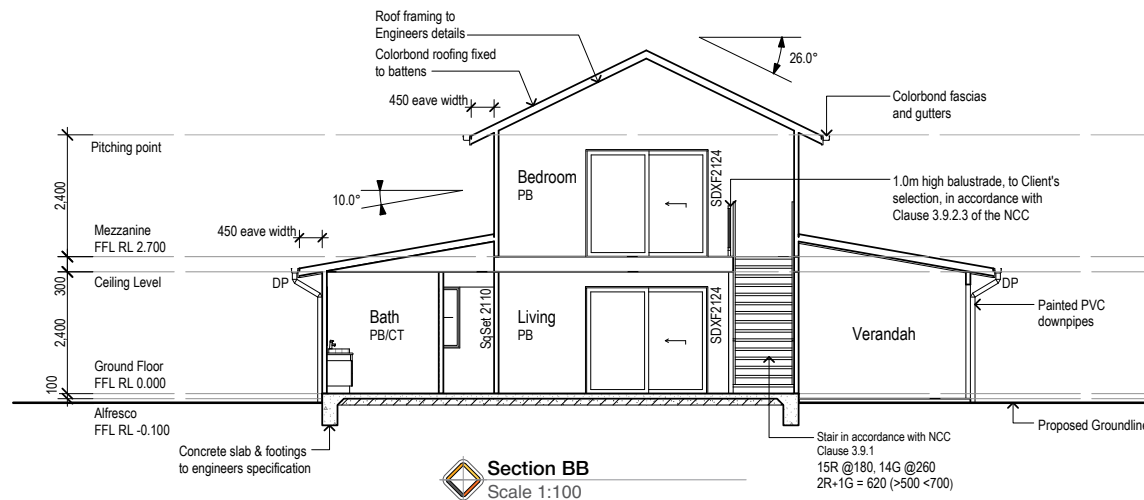
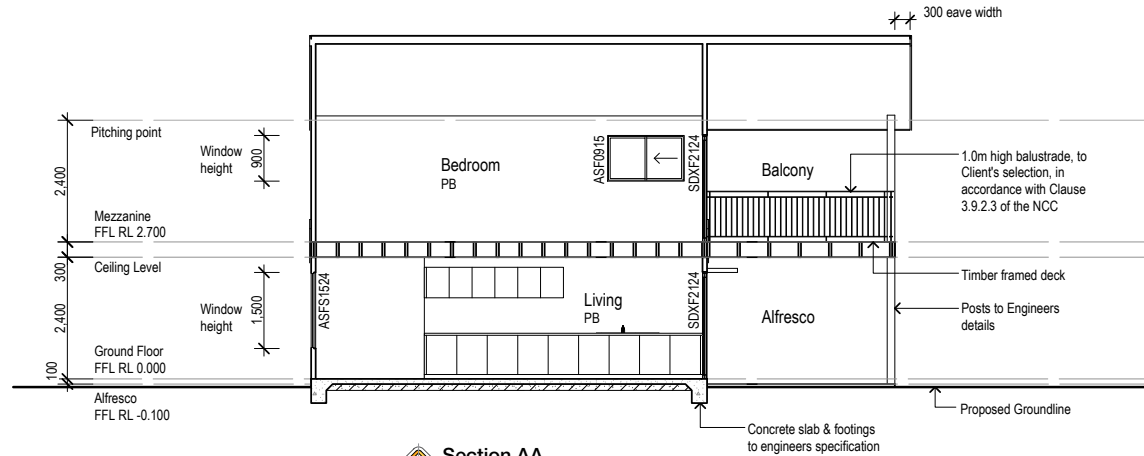
Lodge Type 1 - Elevations 3 & 4
 DA 13
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



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Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheeting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Date	Amendment
26/11/19	J Amended balcony
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20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
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02/10/19	C Issued for comment
16/09/18	B Issued for comment



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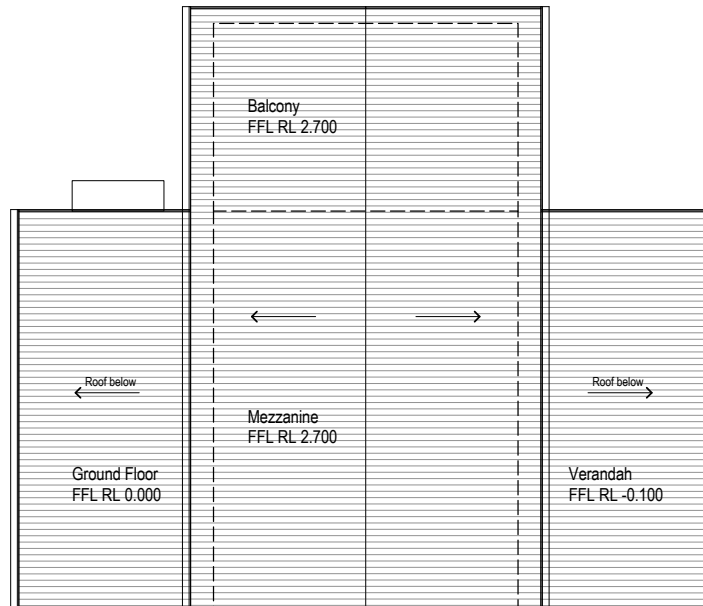


Lodge Type 1 - Sections AA & BB
DA 14
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883



Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
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- CP Concrete Paver
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- CRS Corrugated Roof Sheeting
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- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Area Schedule

Ground Floor	73.2 m ²
Mezzanine	46.8 m ²
Total Building Area	120.0 m²
Alfresco	22.2 m ²
Verandah	26.4 m ²
Balcony	22.2 m ²

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16/09/18	B	Issued for comment
Date		Amendment



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Proposed Mixed-Use Development
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Lodge Type 2 - Roof Plan
 DA 15
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



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Legend

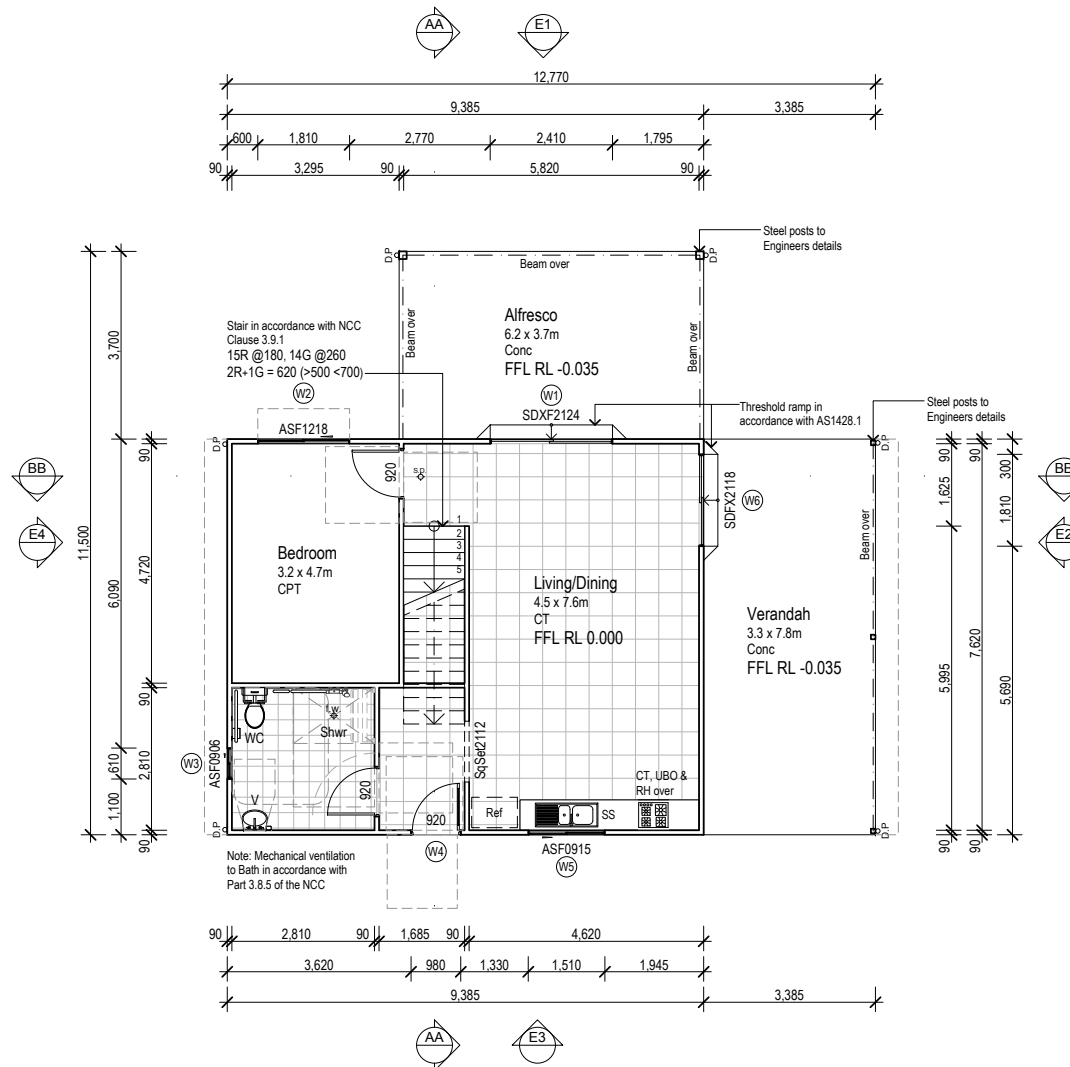
- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
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- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel
- SD Smoke Detector
Installation to comply with Part 3.7.5 of the NCC

Glazing Requirements

- Sliding Doors:
Aluminium Sliding Door - Single Glazed (5mm EnergyTech) U-value: 4.5, SHGC: 0.60
- Sliding Windows:
W3: Aluminium Sliding Window - Single glazed (3mm Obscured) U-value: 6.5, SHGC: 0.73
W2, W5, W7, W9: Aluminium Sliding Window - Single Glazed (4mm EnergyTech) U-value: 4.6, SHGC: 0.60
- Hinged Door:
Aluminium Hinged Door - Single Glazed (4mm Clear) U-value: 6.0, SHGC: 0.61

Area Schedule

Ground Floor	73.2 m ²
Mezzanine	46.8 m ²
Total Building Area	120.0 m²
Alfresco	22.2 m ²
Verandah	26.4 m ²
Balcony	22.2 m ²



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Proposed Mixed-Use Development

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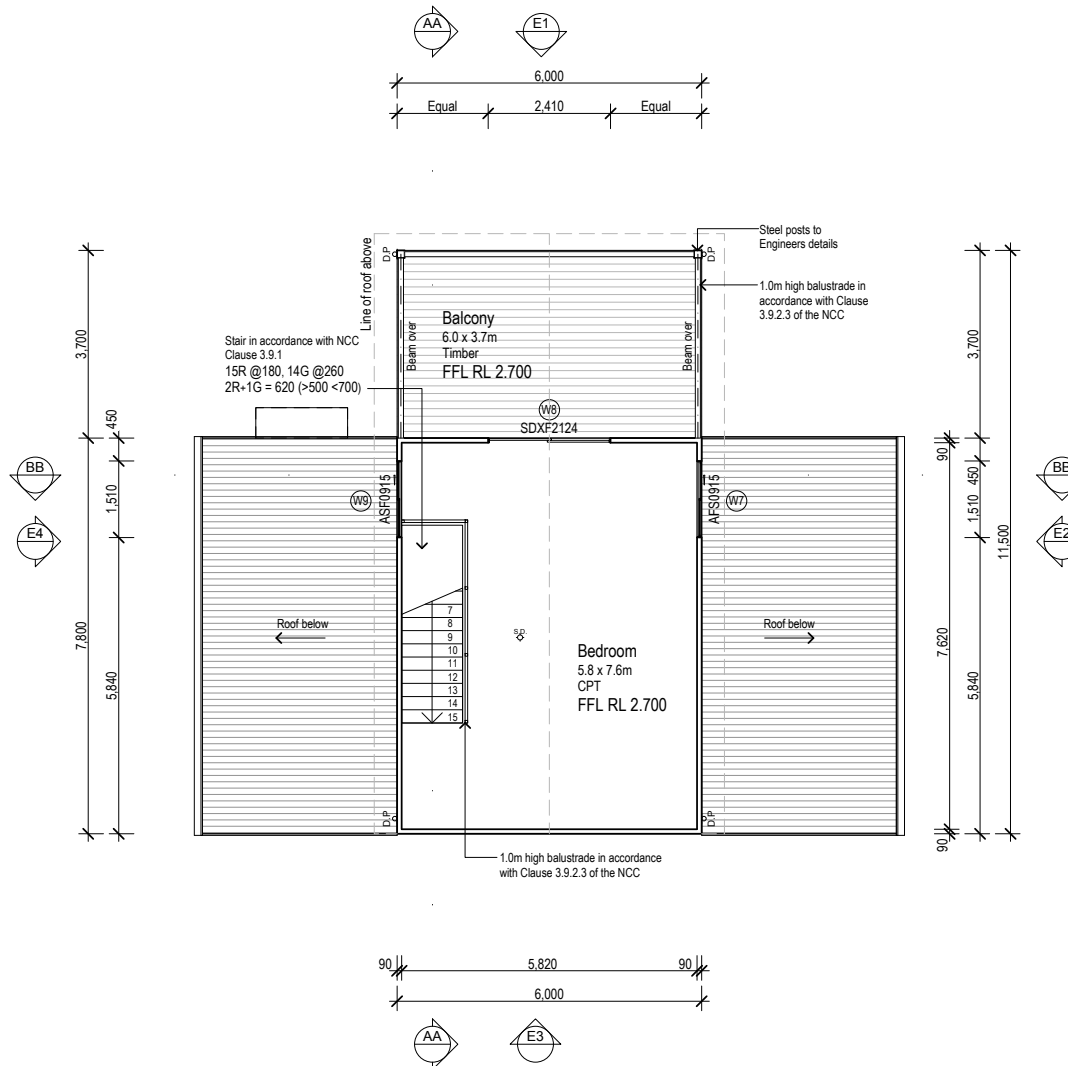
Lodge Type 2 - Ground Floor Plan

DA 16
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883



Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
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- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel
- SD Smoke Detector
Installation to comply with Part 3.7.5 of the NCC



Area Schedule

Ground Floor	73.2 m ²
Mezzanine	46.8 m ²
Total Building Area	120.0 m²
Alfresco	22.2 m ²
Verandah	26.4 m ²
Balcony	22.2 m ²

Date	Amendment
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Lodge Type 2 - Mezzanine Floor Plan
DA 17
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883

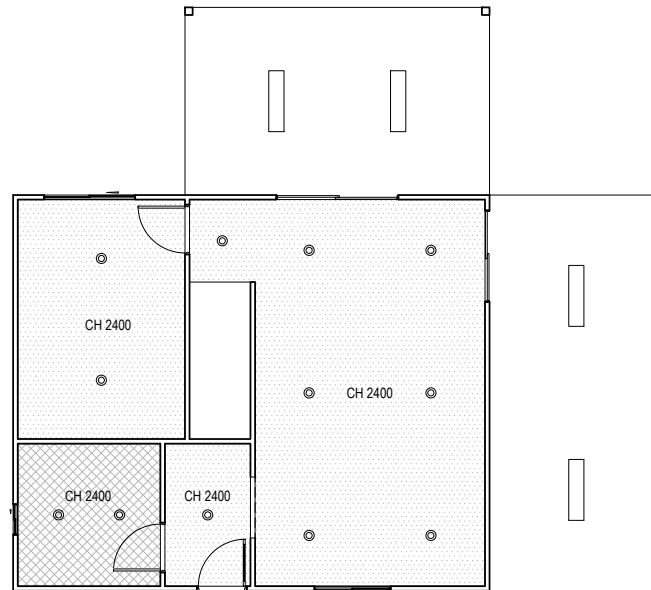



Legend

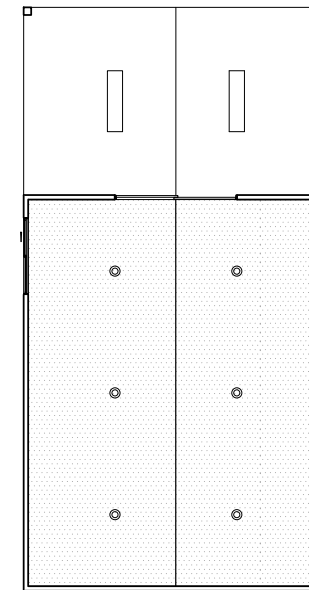
-  Set plasterboard ceiling
-  Wet area set plasterboard ceiling
-  15W LED down light
-  32W LED Diffused weather proof batters (external lighting not included in Part J calculation)


QTY	Total (W)
18	270
6	-

The maximum allowable illumination power density for the proposed building type is 1541W. Refer to BCA Part J lighting calculator. A total of 270W is being proposed for this building type.



 Ground Floor RCP
 Scale 1:100



 Mezzanine RCP
 Scale 1:100

Date	Amendment
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02/10/19	C Issued for comment
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BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

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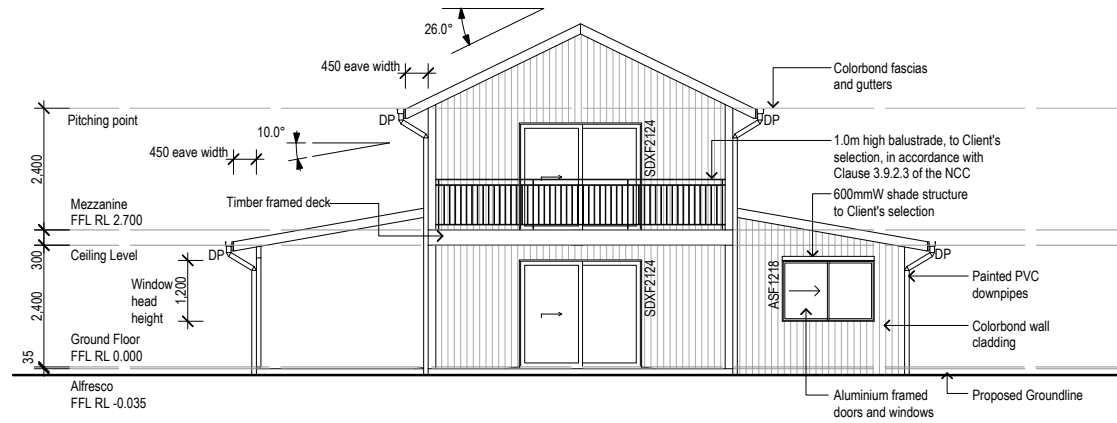
Lodge Type 2 - Reflected Ceiling Plans
 DA 18
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



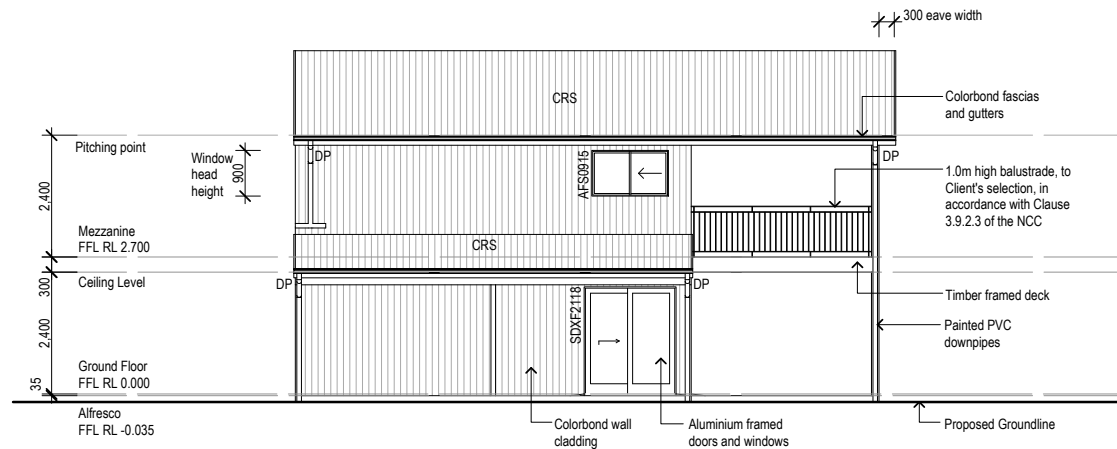
P 02 6332 5885
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 12 MAXWELL DRIVE, EGLINTON NSW 2795

Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
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- CRS Corrugated Roof Sheeting
- CS Cavity Sliding Door
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- GM Gas Meter
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- LDRY Laundry
- MH Manhole
- PB Plasterboard
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- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Elevation 1
 Scale 1:100



Elevation 2
 Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
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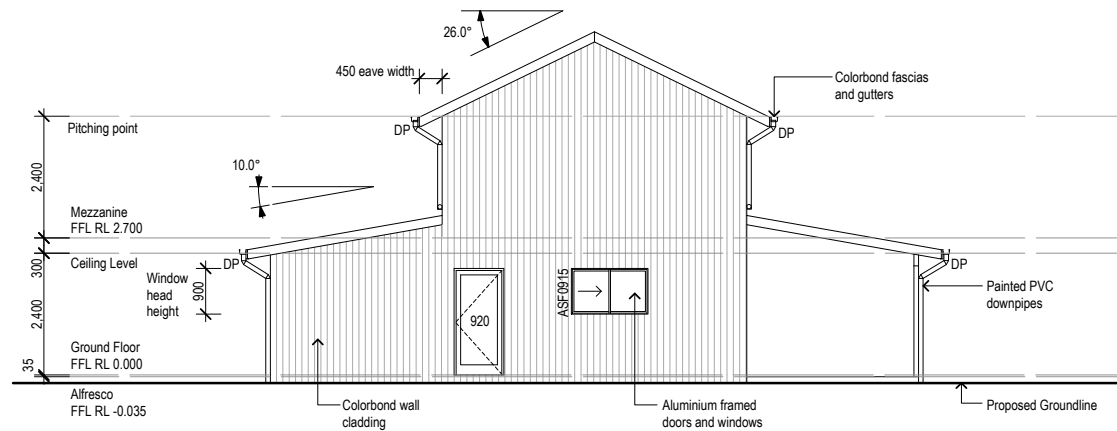
Lodge Type 2 - Elevations 1 & 2
 DA 19
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



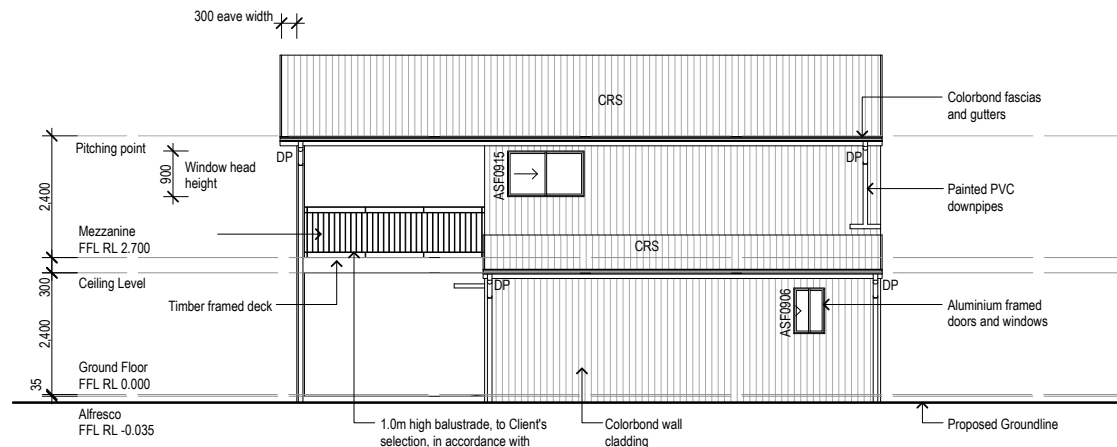
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Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
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- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Elevation 3
 Scale 1:100



Elevation 4
 Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
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04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
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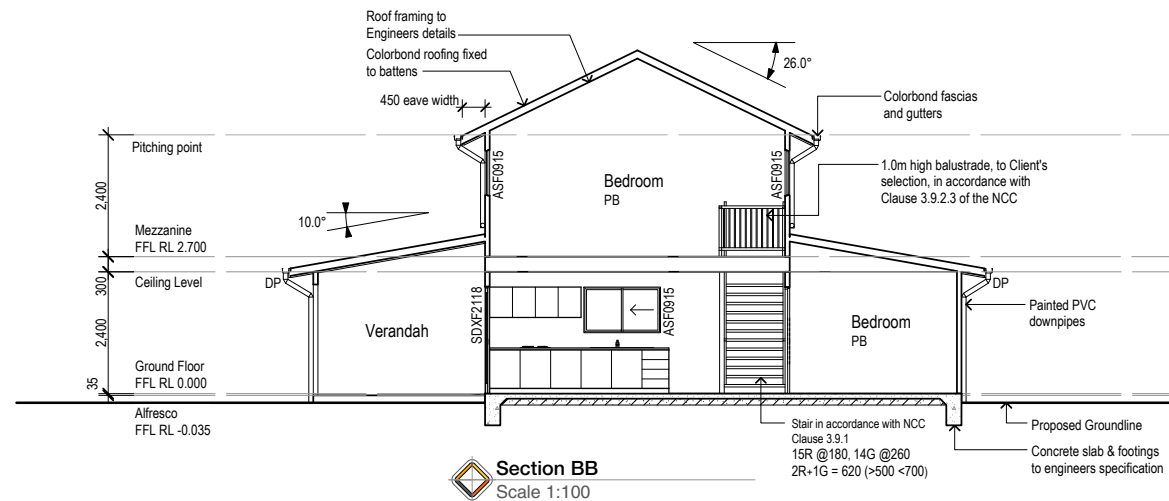
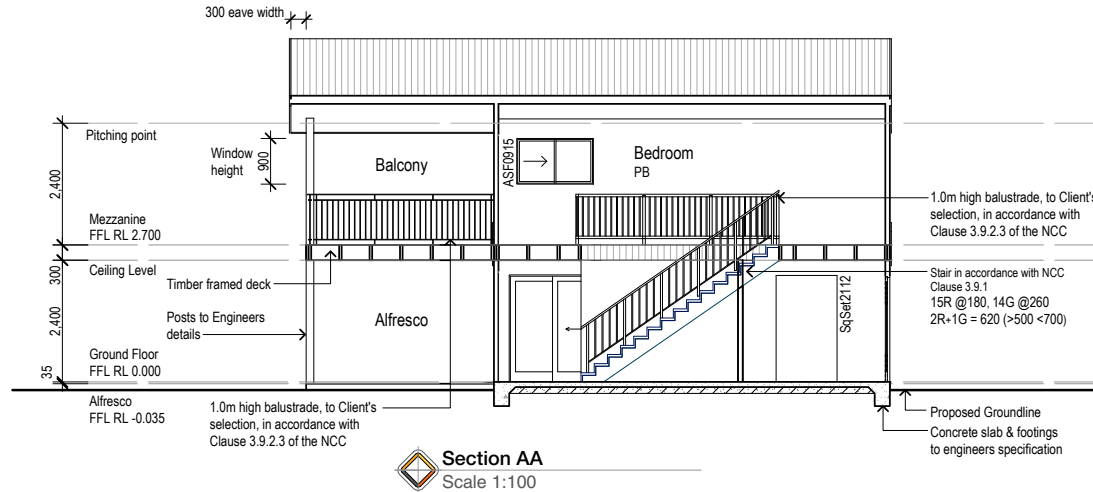
Lodge Type 2 - Elevations 3 & 4
 DA 20
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



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Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
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- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
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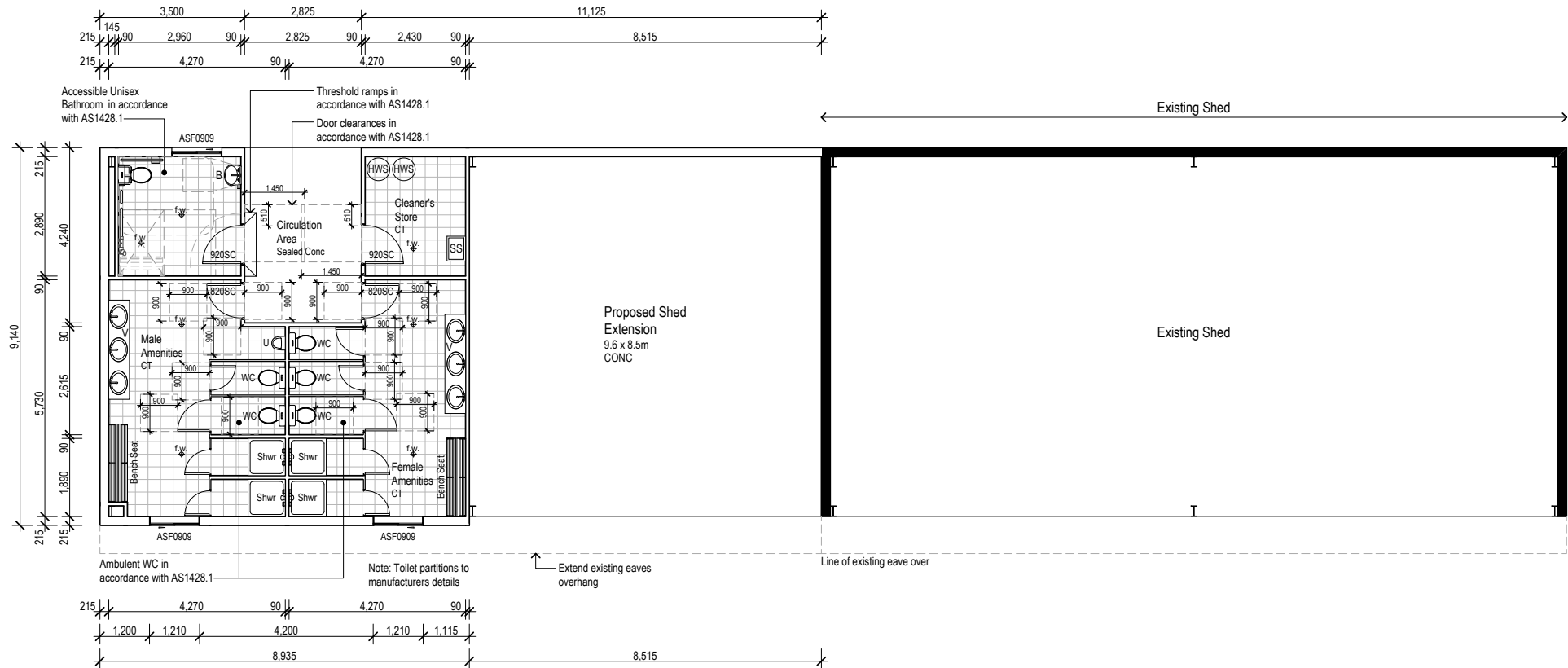
Lodge Type 2 - Sections AA & BB
DA 21
Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883



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Legend

- A Aluminium
- B Basin
- CONC Concrete
- CT Ceramic Tile
- DP Downpipe
- F Fixed Glass
- FW Floor Waste
- HWS Hot Water Service
- SC Solid Core
- SHWR Shower
- SS Stainless Steel Sink
- WC Water Closet



Area Schedule

Shed Extension	76.0m ²
Amenities	81.7 m ²
Total Building Area	157.7 m²

Date	Amendment
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Proposed Mixed-Use Development






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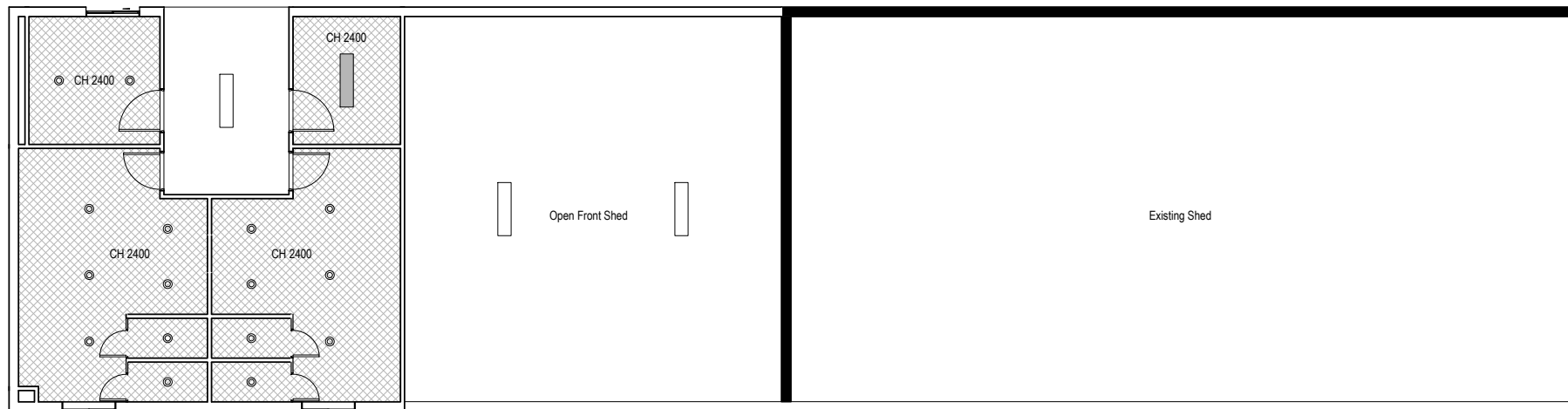
Proposed Shed Extension - Floor Plan

DA 22
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



	Set plasterboard ceiling		
	Wet area set plasterboard ceiling		
		QTY	Total (W)
	15W LED down light	16	240
	1 x 32W LED troffer T-bar	1	32
	32W LED Diffused weather proof batten (external lighting not included in Part J calculation)	3	-

The maximum allowable illumination power density for the proposed building type is 560W. Refer to BCA Part J lighting calculator. A total of 272W is being proposed for this building type.



26/11/19	J	Amended balcony
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Date		Amendment



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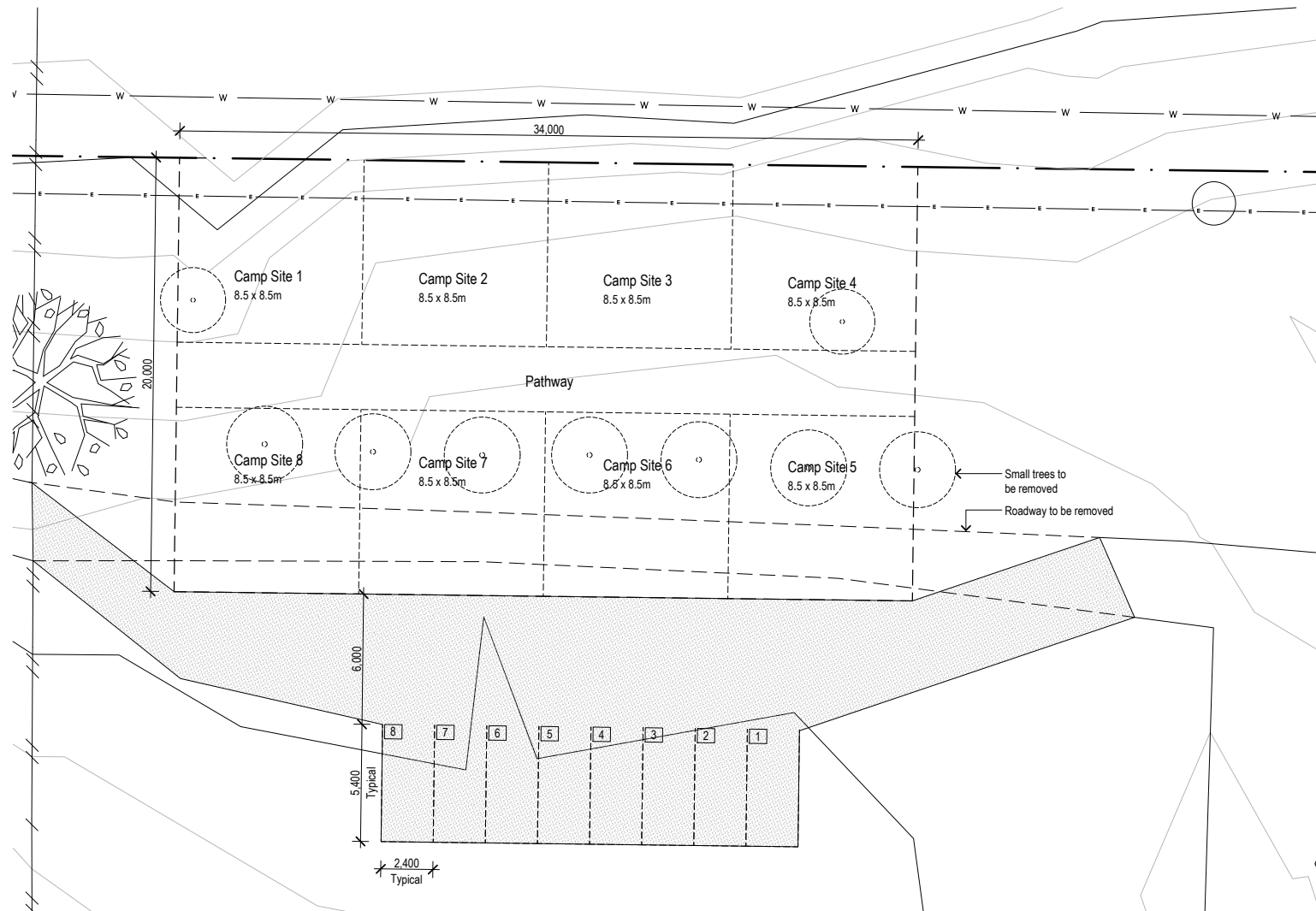
BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Proposed Shed Extension - RCP
 DA 23
 Issue: J
 Scale: 1:100 @ A3
 Date: 26/11/19
 Project: BMD171883

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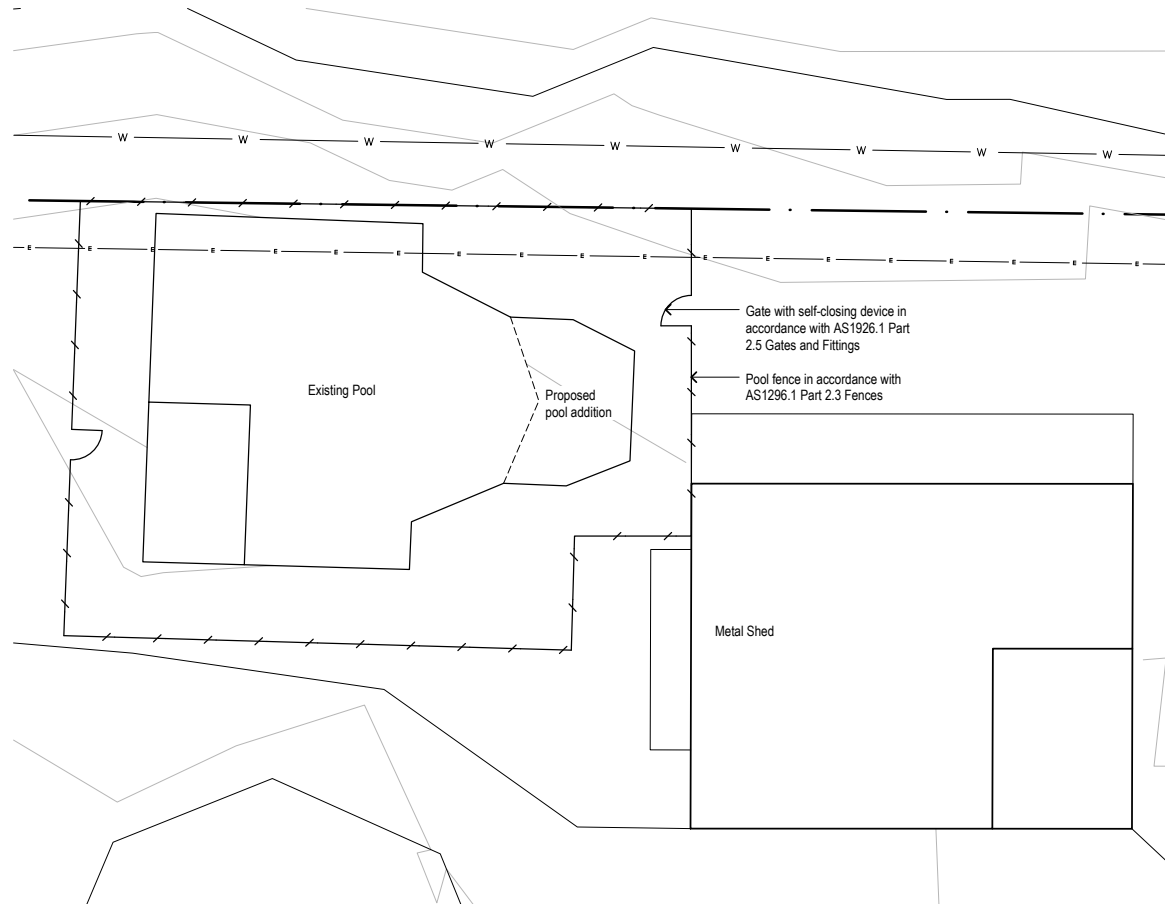


Proposed Primitive Camp Ground

DA 24

Issue: J
 Scale: 1:200 @ A3

Date: 26/11/19
 Project: BMD171883



Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
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 12 MAXWELL DRIVE, EGLINTON NSW 2795

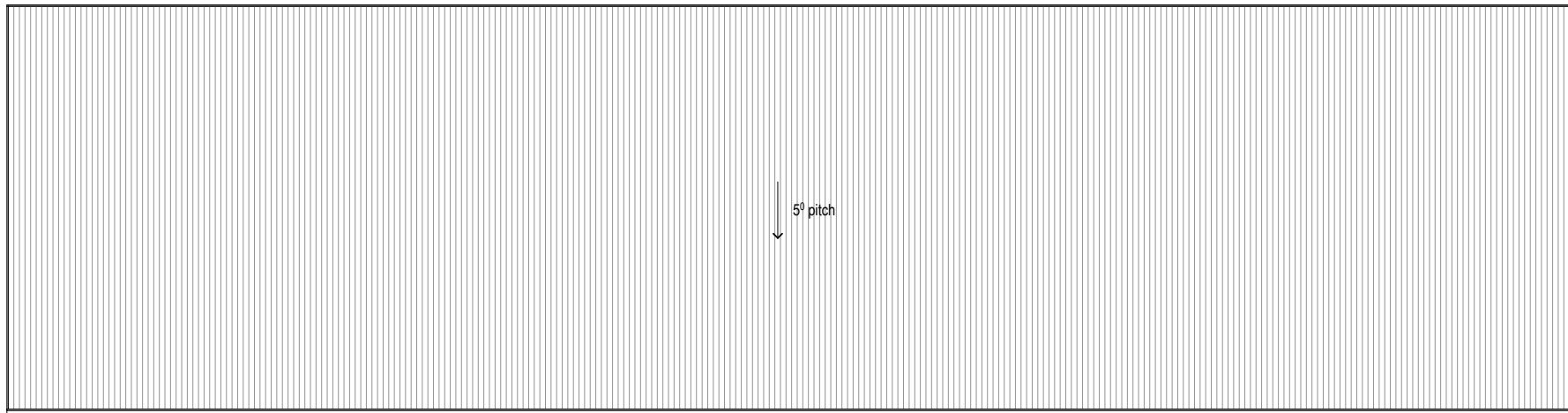


Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Proposed Additions to Pool
 DA 25
 Issue: J Date: 26/11/19
 Scale: 1:200 @ A3 Project: BMD171883

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Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Machinery Shed 1 - Roof Plan
 DA 26

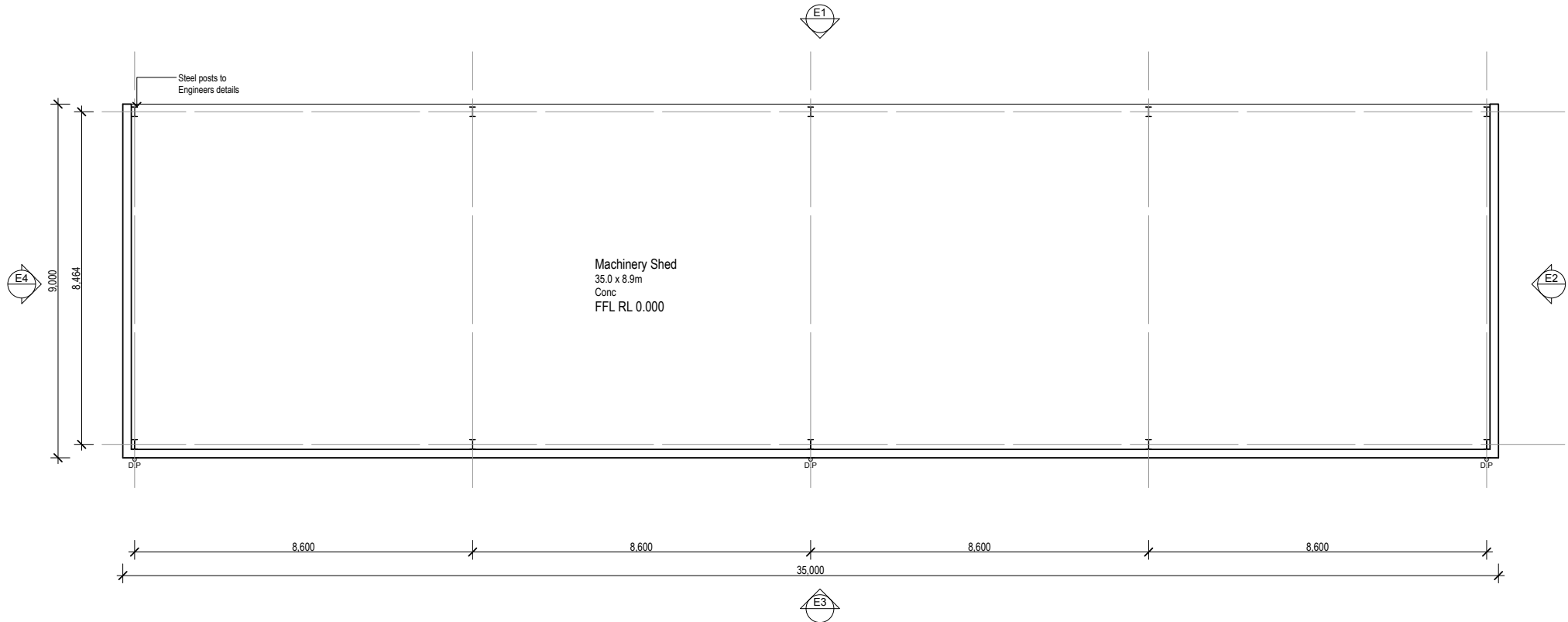
Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883

Legend

CONC Concrete
 CRS Colorbond Roof Sheet
 DP Downpipe

Attachment 8.2.4.2

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Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst




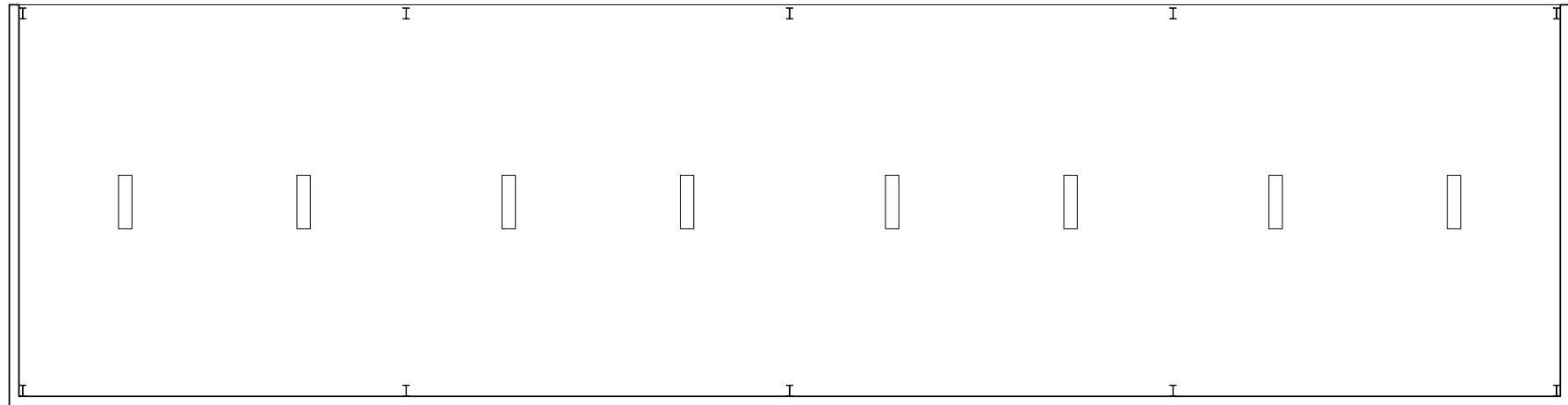
Machinery Shed 1 - Floor Plan
 DA 27

Issue: J
 Scale: 1:100 @ A3

Date: 26/11/19
 Project: BMD171883



	QTY	Total (W)
 32W LED Diffused weather proof batten (external lighting not included in Part J calculation)	8	-



Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Machinery Shed 1- RCP
 DA 28
 Issue: J
 Scale: 1:100 @ A3

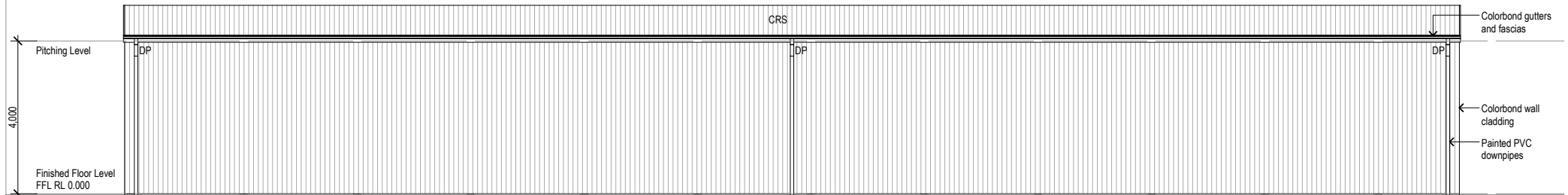
Date: 26/11/19
 Project: BMD171883



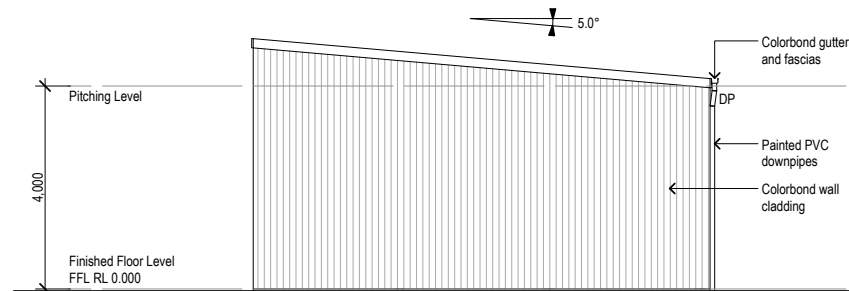
P 02 6332 5885
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Legend

CONC Concrete
 CRS Colorbond Roof Sheet
 DP Downpipe



Elevation 3
 Scale 1:100



Elevation 4
 Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



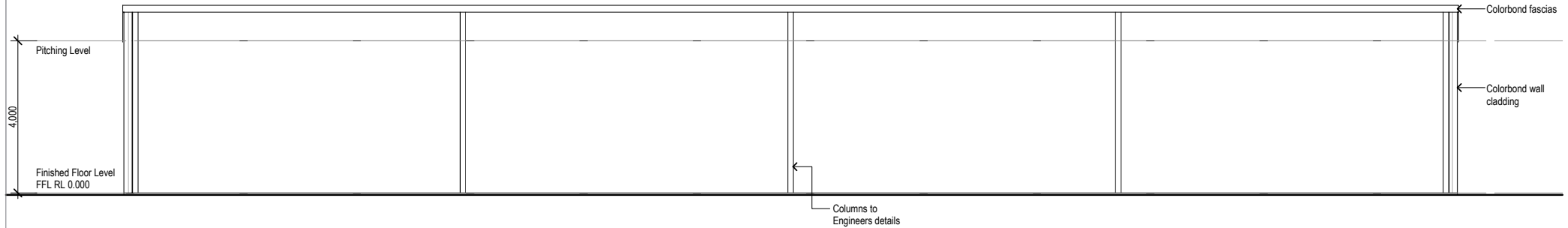
Machinery Shed 1 - Elevations 3 & 4
 DA 29
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883

Legend

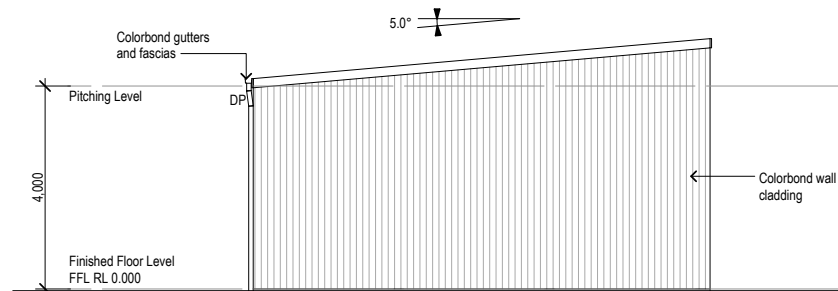
CONC Concrete
 CRS Colorbond Roof Sheet
 DP Downpipe

Attachment 8.2.4.2

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Elevation 1
 Scale 1:100



Elevation 2
 Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Machinery Shed 1 - Elevation 1 & 2
 DA 30
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



Legend

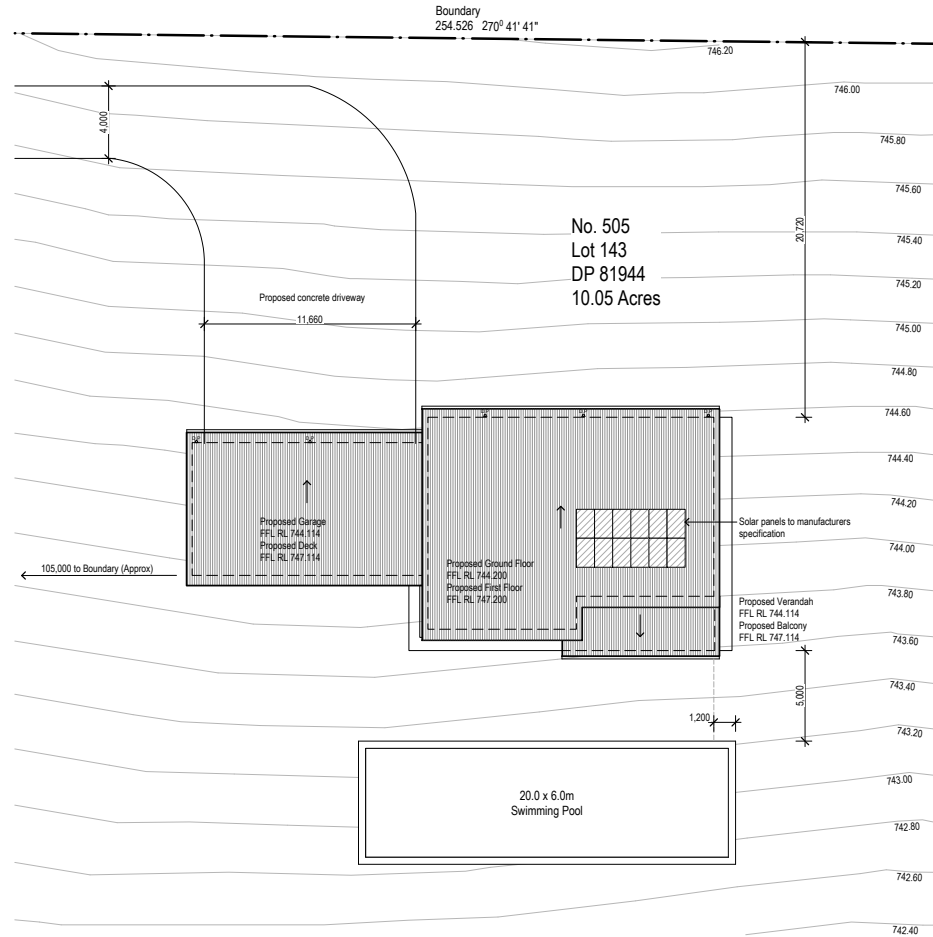
- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- W Washing Machine
- WM Water Meter
- X Sliding panel

Refer to DA45 for all BASIX

Requirements

Glazing code referring to pages 5 of BASIX Certificate

Smoke Detector installation to comply with Part 3.7.5 of the NCC



Area Schedule

Ground Floor	170.7 m ²
First Floor	170.7 m ²
Garage	94.0 m ²
Total Building Area	435.4 m²
Entry Porch	5.7 m ²
Verandah	49.7 m ²
Balcony	19.7 m ²
Deck	97.8 m ²

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 ACCREDITED BUILDING DESIGNER

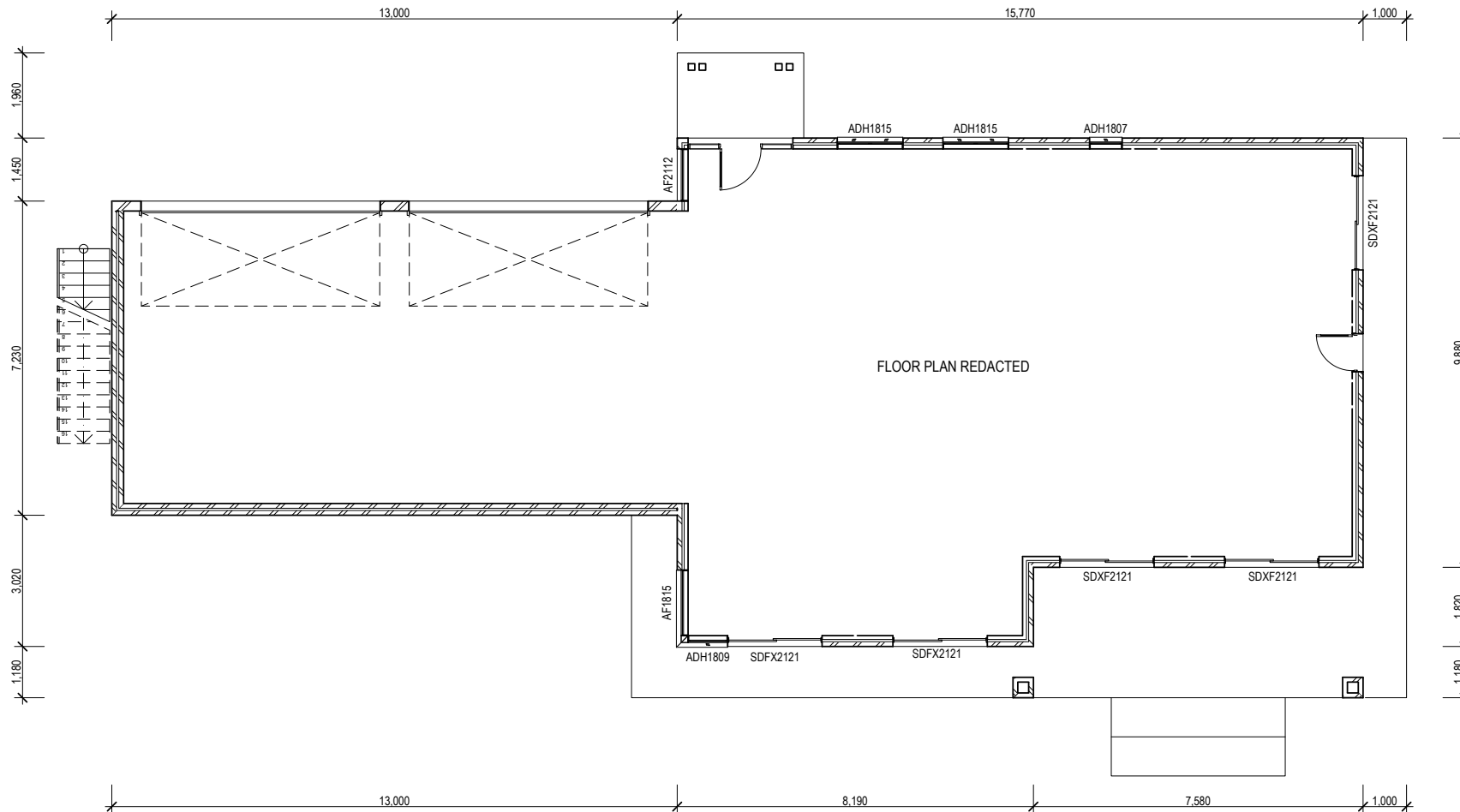
Date	Issue	Amendment	Date	Issue	Amendment
20/11/19	G	Issued for final comment	13/11/19	F	Issued for final comment
25/11/19	H	Issued for approval	04/11/19	E	Issued for comment
26/11/19	J	Amended Balcony	02/10/19	D	Issued for comment
			02/10/19	C	Issued for comment
			16/09/18	B	Issued for comment
			30/08/18	A	Issued for comment

Proposed Dwelling
 Keith & Margaret Tucker
 505 Conrod Straight, Bathurst



Proposed Dwelling - Roof Plan

DA 31
 Issue: J
 Scale: 1:200 @ A2
 Date: 25/11/2019
 Project: BMD171883



Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment
30/08/18	A Issued for comment



BRETT MOULDS
DESIGN & DRAFTING

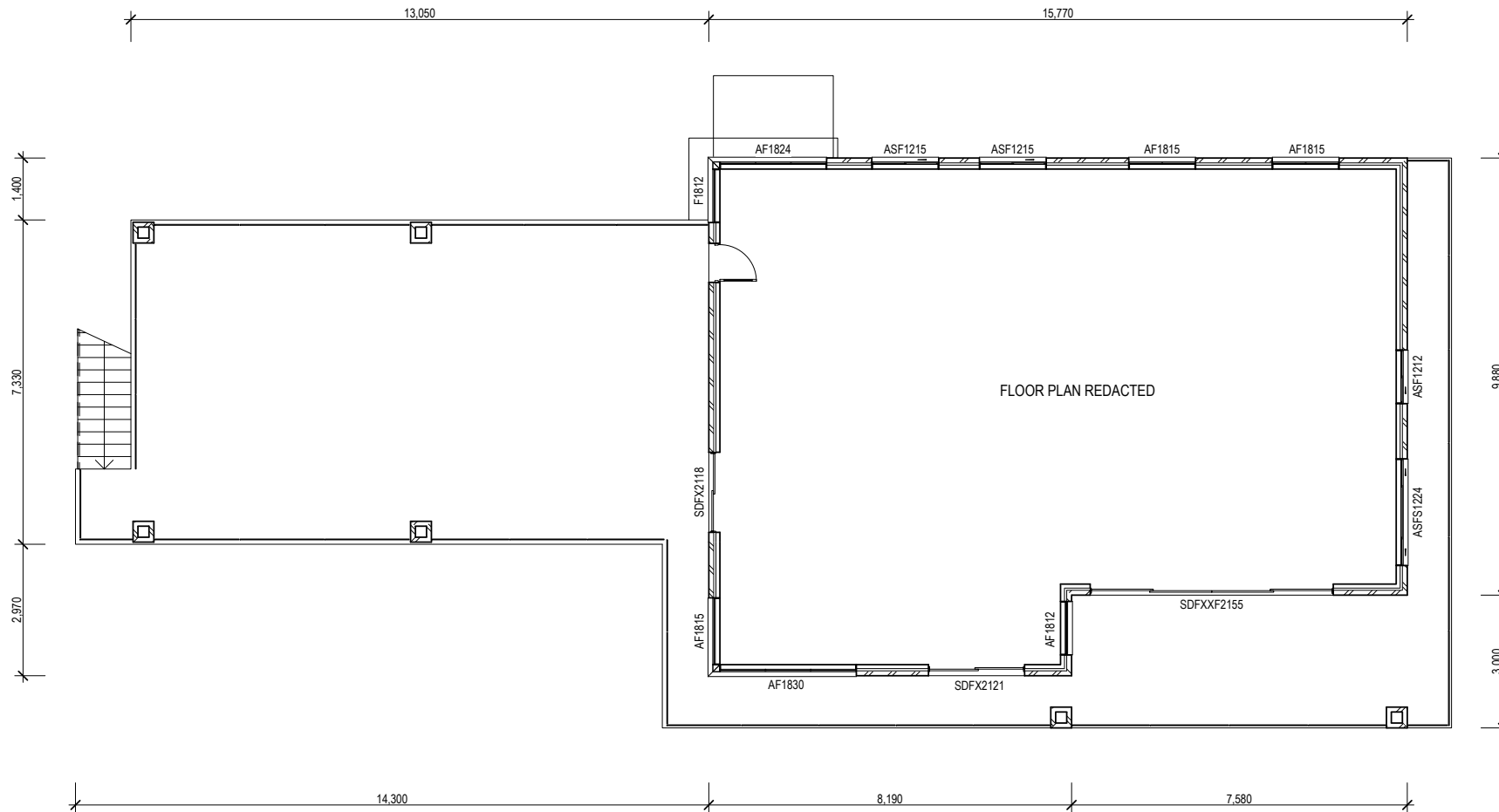
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Proposed Dwelling
Keith & Margaret Tucker
505 Conrod Straight, Bathurst



Proposed Dwelling - Ground Floor Plan
DA 32
Issue: J Date: 25/11/2019
Scale: 1:100 @ A3 Project: BMD171883



Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment
30/08/18	A Issued for comment



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Proposed Dwelling
 Keith & Margaret Tucker
 505 Conrod Straight, Bathurst

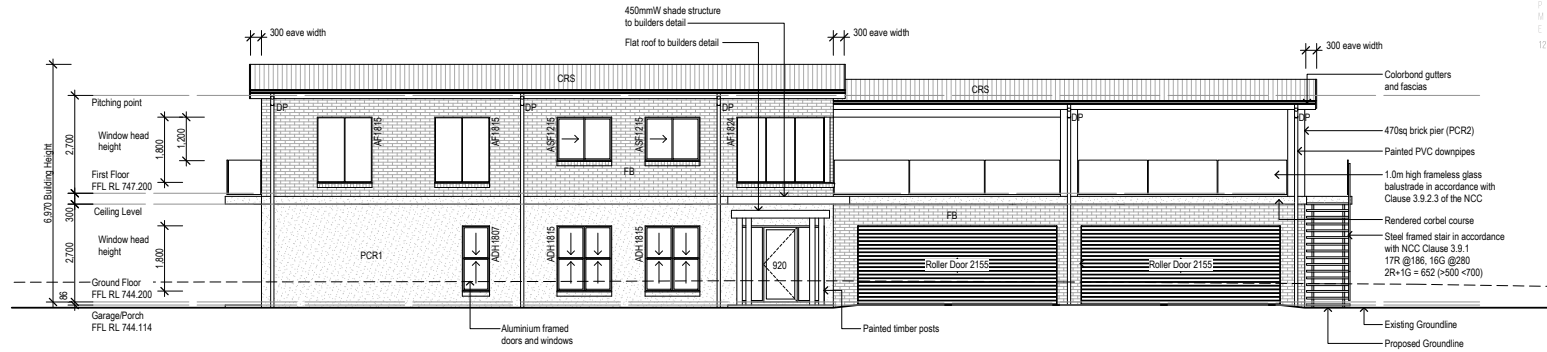


Proposed Dwelling - First Floor Plan
 DA 33
 Issue: J Date: 25/11/2019
 Scale: 1:100 @ A3 Project: BMD171883

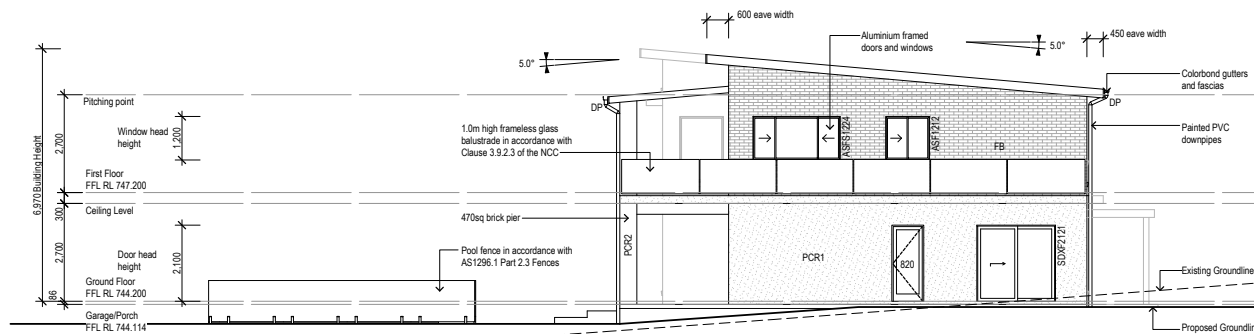
- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- W Washing Machine
- WM Water Meter
- X Sliding panel

Refer to DA45 for all BASIX Requirements

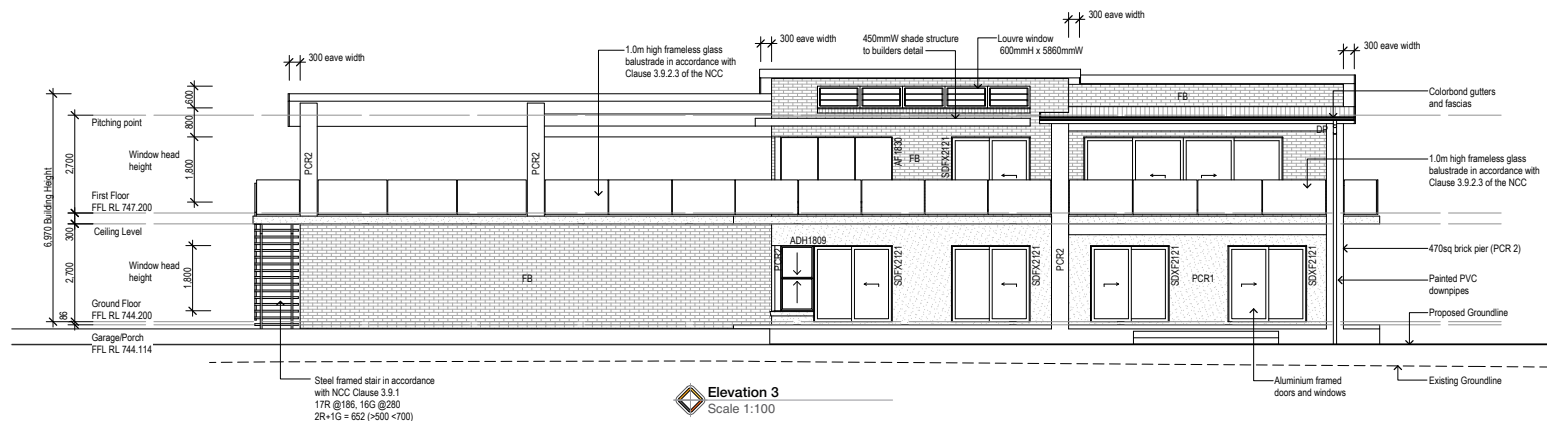
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Elevation 1
Scale 1:100



Elevation 2
Scale 1:100



Elevation 3
Scale 1:100

Date	Issue	Amendment
20/11/19	G	Issued for final comment
25/11/19	H	Issued for approval
26/11/19	J	Amended Balcony

Date	Issue	Amendment
13/11/19	F	Issued for final comment
04/11/19	E	Issued for comment
02/10/19	D	Issued for comment
02/10/19	C	Issued for comment
16/09/18	B	Issued for comment
30/08/18	A	Issued for comment

Proposed Dwelling
 Keith & Margaret Tucker
 505 Conrod Straight, Bathurst



Proposed Dwelling - Elevations
 DA 34
 Issue: J
 Scale: 1:100 @ A2
 Date: 25/11/2019
 Project: BMD171883

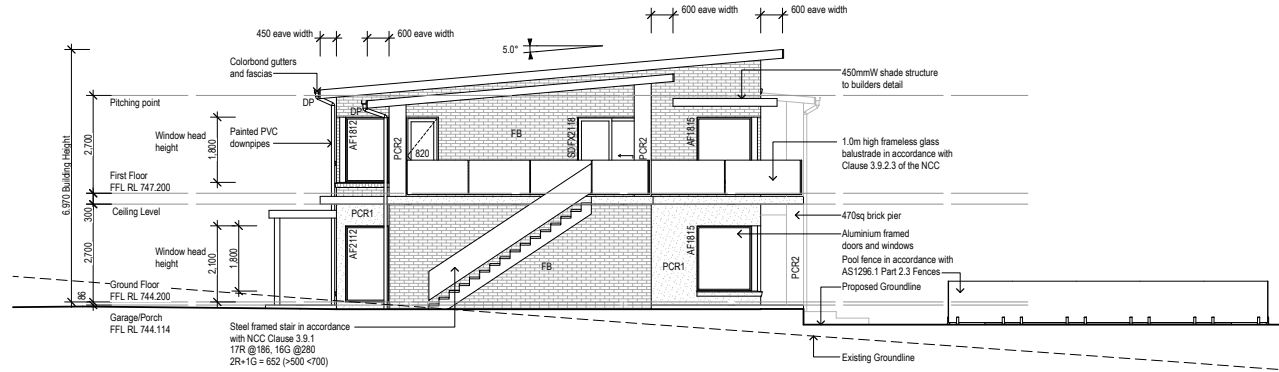


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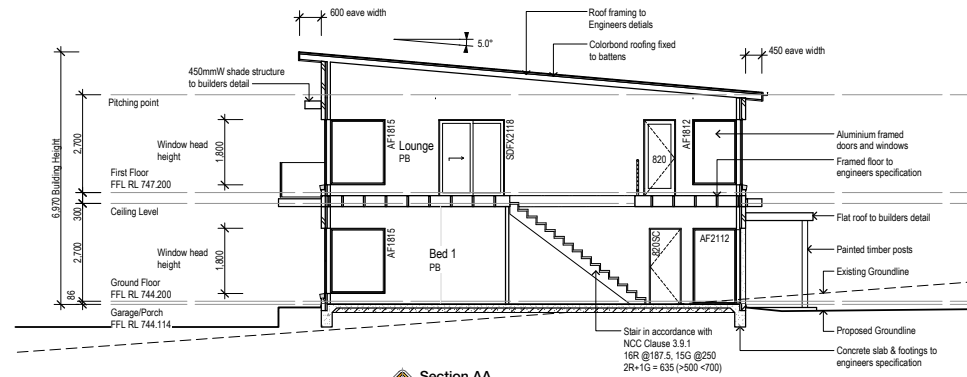
Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- W Washing Machine
- WM Water Meter
- X Sliding panel

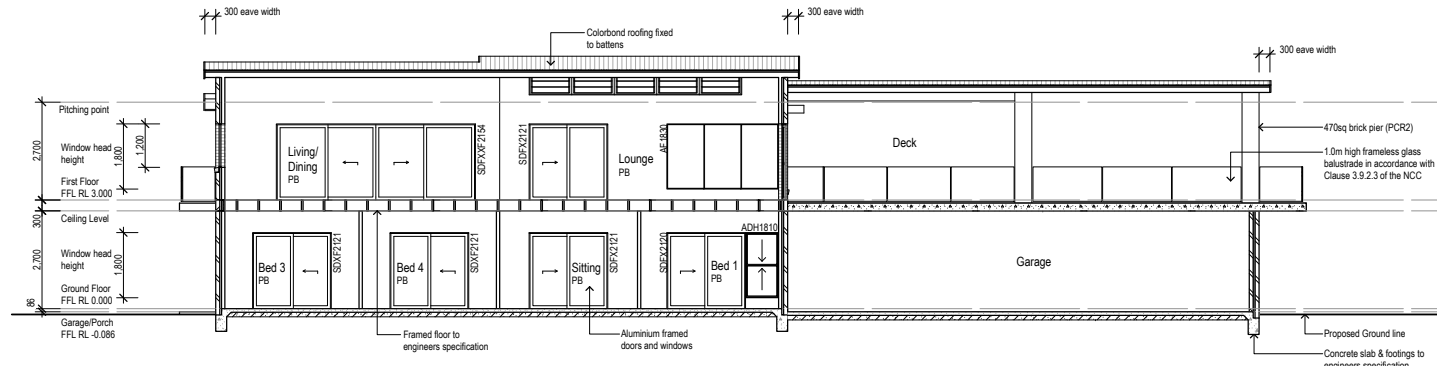
Refer to DA45 for all BASIX Requirements



Elevation 4
Scale 1:100



Section AA
Scale 1:100



Section BB
Scale 1:100

Date	Issue	Amendment
20/11/19	CG	Issued for final comment
25/11/19	H	Issued for approval
26/11/19	J	Amended Balcony

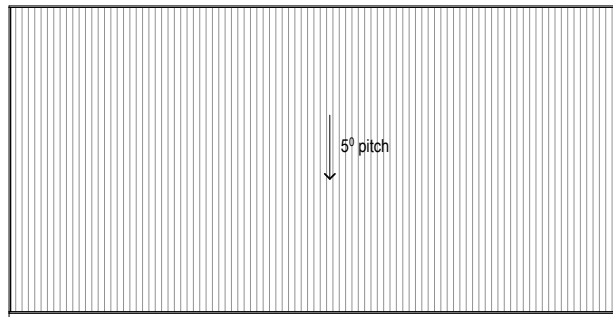
Date	Issue	Amendment
13/11/19	F	Issued for final comment
04/11/19	E	Issued for comment
02/10/19	D	Issued for comment
02/10/19	C	Issued for comment
16/09/18	B	Issued for comment
30/08/18	A	Issued for comment

Proposed Dwelling
Keith & Margaret Tucker
505 Conrod Straight, Bathurst

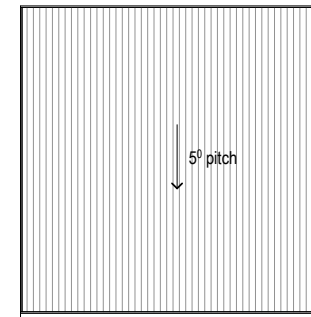


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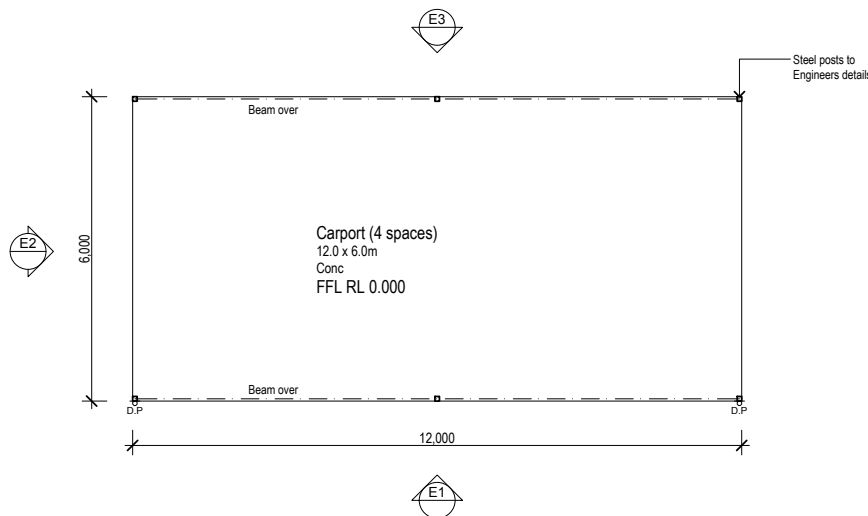
- A Aluminium
- B Basin
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- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



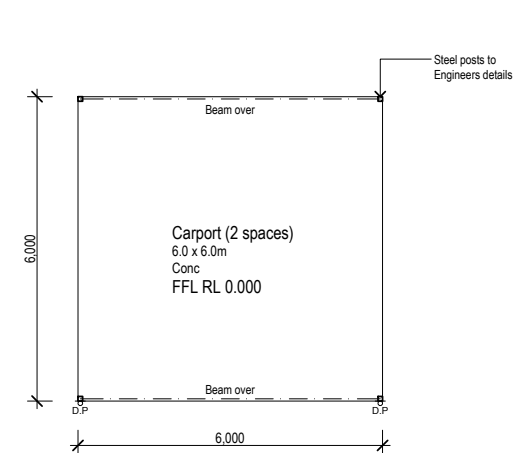
Roof Plan
Scale 1:100



Roof Plan
Scale 1:100



Floor Plan - 4 space Carport
Scale 1:100



Floor Plan - 2 space Carport
Scale 1:100

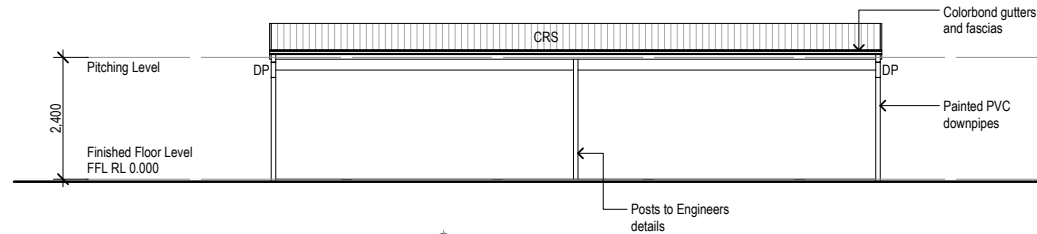
Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
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13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



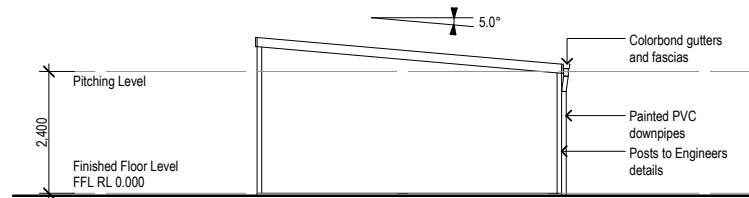


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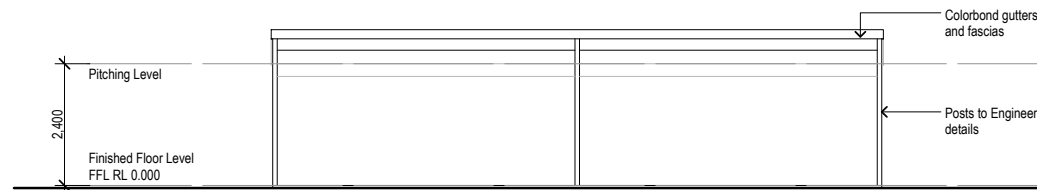
- A Aluminium
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- X Sliding panel



Elevation 1
Scale 1:100



Elevation 2
Scale 1:100



Elevation 3
Scale 1:100

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



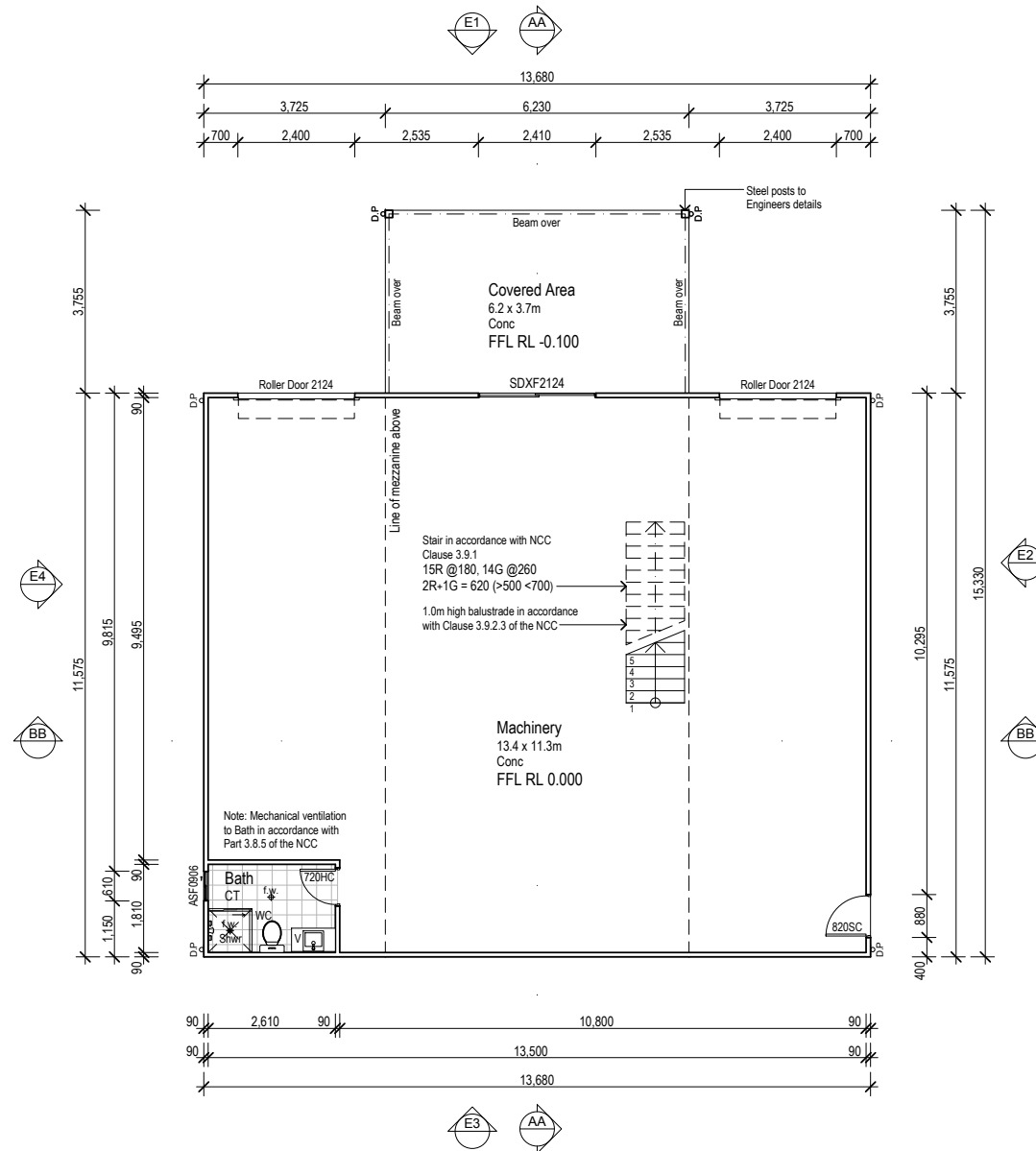
Proposed Carport - Elevations
 DA 37
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



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Legend

- A Aluminium
- B Basin
- BDRY Boundary
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- BV Brick Veneer
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- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Area Schedule

Machinery	158.3 m ²
Mezzanine	72.1 m ²
Total Building Area	230.4 m²
Covered Area	23.4 m ²
Balcony	23.4 m ²

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
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Proposed Mixed-Use Development

Keith Tucker
505 Conrod Straight, Bathurst



Machinery Shed 2 - Ground Floor Plan

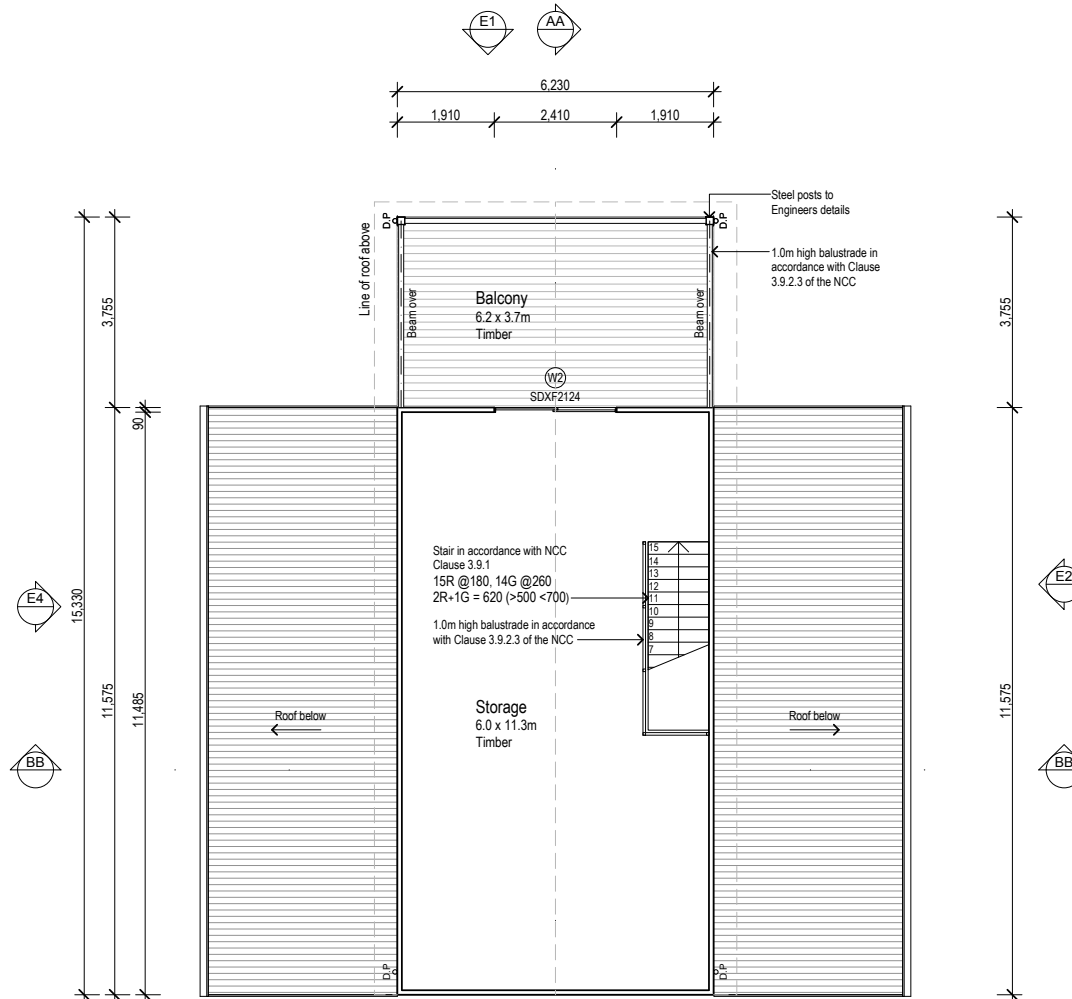
DA 38

Issue: J Date: 26/11/19
Scale: 1:100 @ A3 Project: BMD171883



Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheeting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
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- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
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- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Area Schedule

Machinery	158.3 m ²
Mezzanine	72.1 m ²
Total Building Area	230.4 m²
Alfresco	23.4 m ²
Balcony	23.4 m ²

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
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02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development

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Machinery Shed 2 - Mezzanine Plan

DA 39






Issue: J
Scale: 1:100 @ A3

Date: 26/11/19
Project: BMD171883

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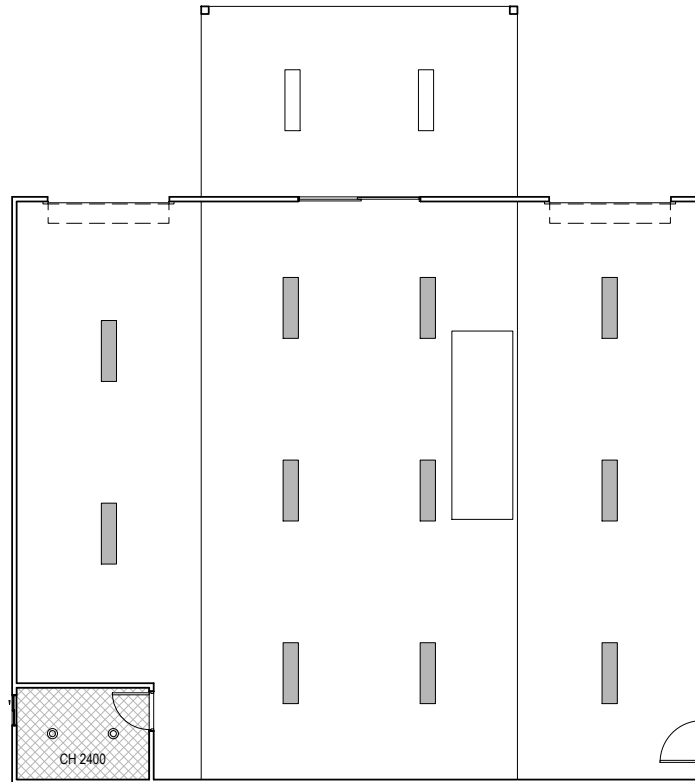



Legend

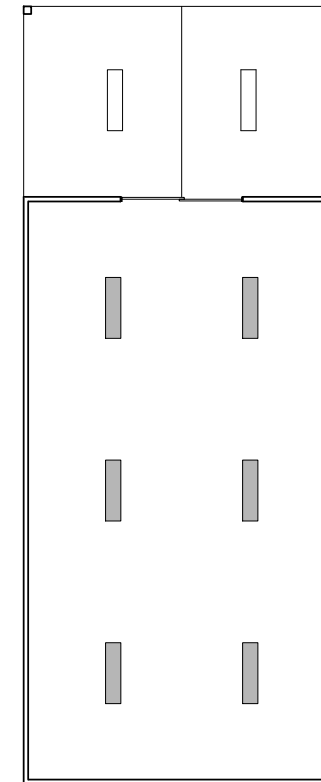
-  Open Ceiling
-  Wet area set plasterboard ceiling
-  15W LED down light
-  1 x 32W LED troffer T-bar
-  32W LED Diffused weather proof batten (external lighting not included in Part J calculation)


QTY	Total (W)
2	30
17	544
4	-

The maximum allowable illumination power density for the proposed building type is 2073W. Refer to BCA Part J lighting calculator. A total of 574W is being proposed for this building type.



 Ground Floor RCP
Scale 1:100



 Mezzanine RCP
Scale 1:100

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Machinery Shed 2 - RCP
 DA 40
 Issue: J
 Scale: 1:100 @ A3

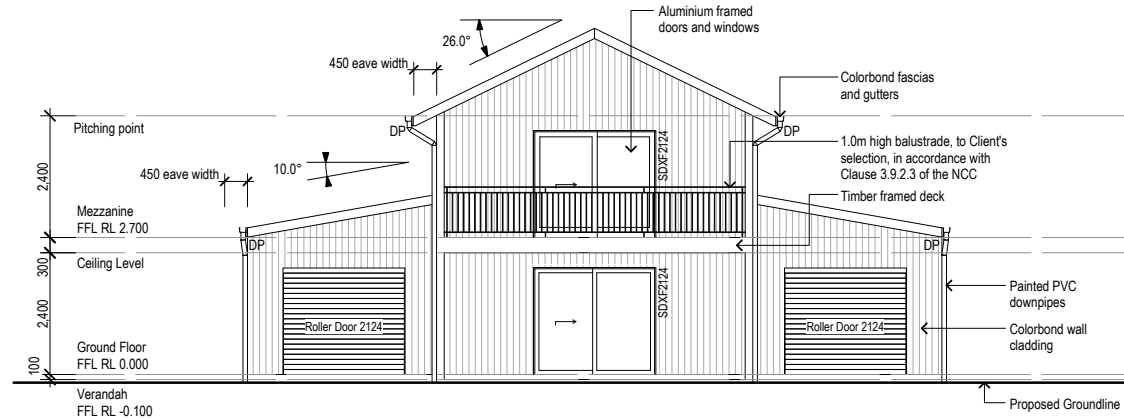
Date: 26/11/19
 Project: BMD171883



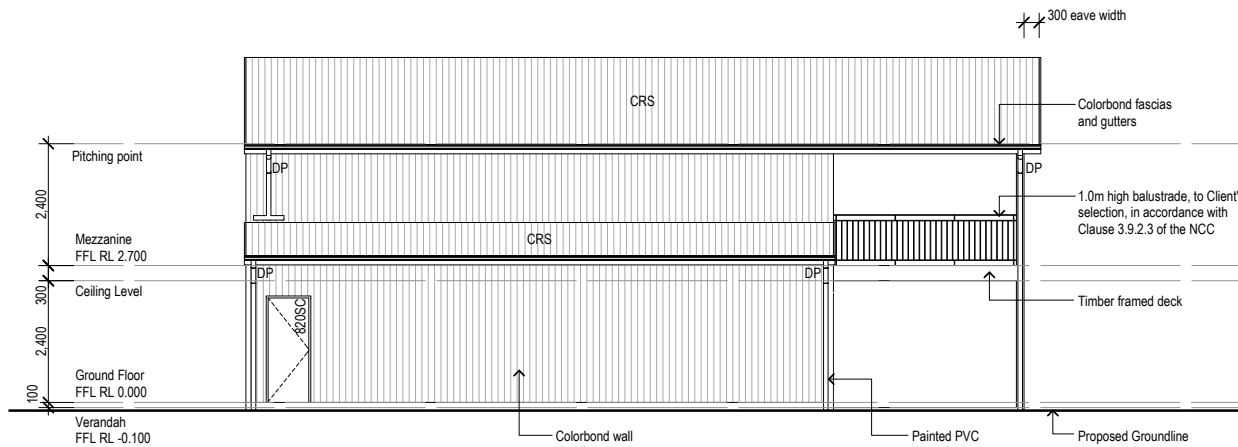
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- SHR Shower
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- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- WM Washing Machine
- W Water Meter
- X Sliding panel



Elevation 1
 Scale 1:100



Elevation 2
 Scale 1:100

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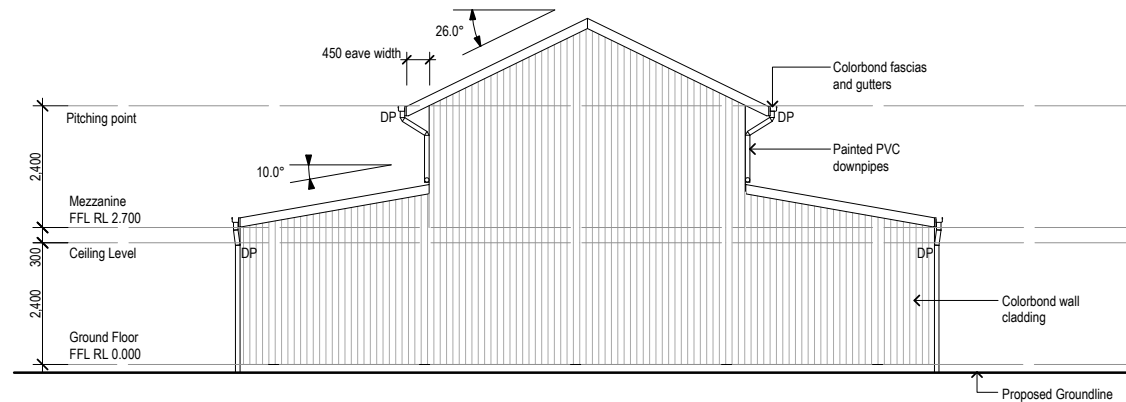
Machinery Shed 2 - Elevations 1 & 2
 DA 41
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



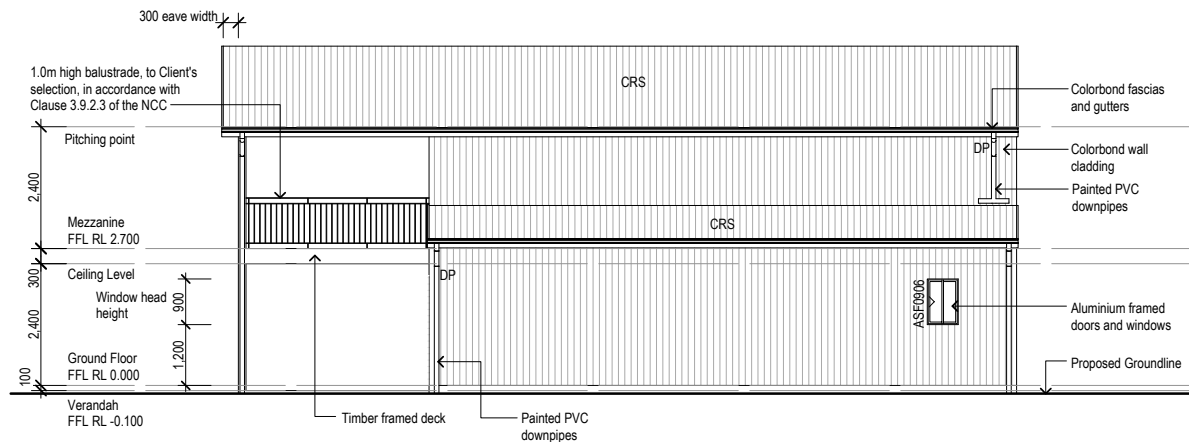
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Elevation 3
 Scale 1:100



Elevation 4
 Scale 1:100

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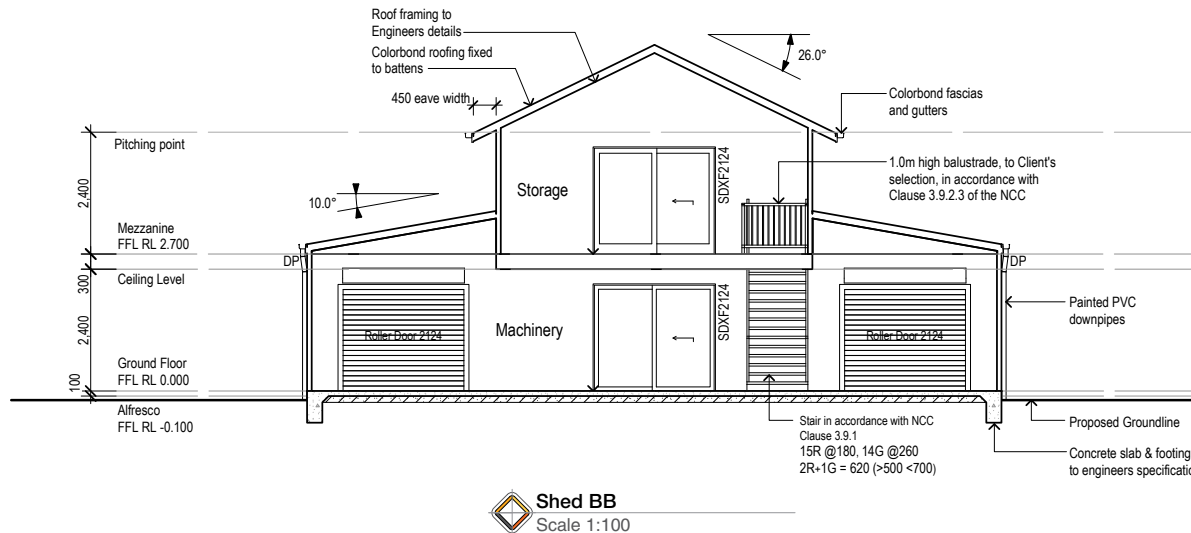
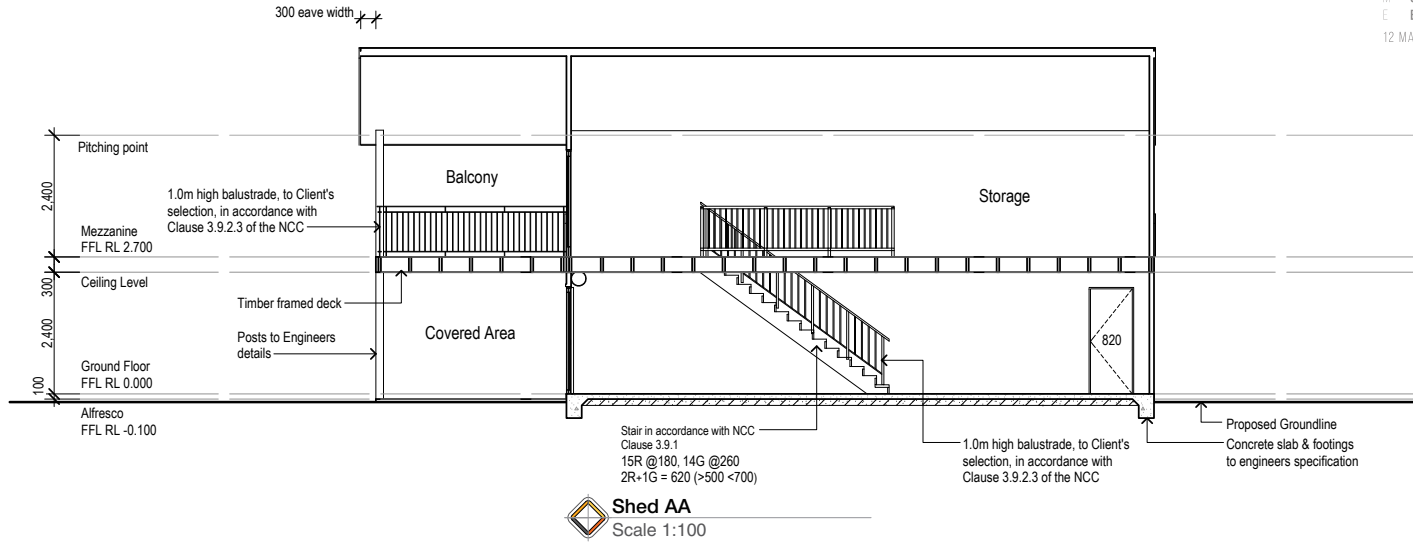
Machinery Shed 2 - Elevations 3 & 4
 DA 42
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



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Proposed Mixed-Use Development
 Keith Tucker
 505 Conrod Straight, Bathurst



Machinery Shed 2 - Sections AA & BB
 DA 43
 Issue: J Date: 26/11/19
 Scale: 1:100 @ A3 Project: BMD171883



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- Design & Construct drawings prepared on the basis of DA approved drawings and the client supplied Design Brief.
- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site by contractor prior to commencement of any works.
- Figured dimensions take precedence over scaled.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code - Volume 1, Building Code of Australia, Class 2 to 9 Buildings
- All discrepancies are to be referred to designer for action.
- Ground levels shown are subject to preliminary survey only and as such final levels and confirmation of same remains the contractors responsibility.
- No liability will be accepted due to failurer to observe & implement any of the above.

Statutory Requirements

- All work to be carried out in accordance with the BCA, conditions imposed by the local authority and the commitments outlined in the relevant Part J Assessment.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works.
- Soil & sediment erosion control in accordance with requirements of the department of land & water conservation are to be put into place prior to commencement of building works.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. On completion the builder shall remove the amenity.

BCA Requirements

- All materials shall comply with Section B - Structure of the NCC.
- All materials & assembly materials & structure must comply with Specification C1.10 of the NCC.
- All selected floor coverings to comply with Clause C1.10 of the NCC. A compliance report is to be provided to Council prior to granting of the Occupation Certificate in accordance with this Clause.
- All wet area floors are to be graded and drained to floor wastes to NCC & plumbing codes.
- An approved impervious wall/floor joints is to be provided to the perimeter of all wet areas to NCC & Council requirements.
- The electricity supply system must comply with Clause C2.13 of the NCC.
- All services penetrating building elements required to have an FRL are to be done so in accordance with NCC Clause C3.15 Openings for service installations.
- All construction joints, spaces and the like in and between building elements required to be protected are to be done so in accordance with NCC Clause C3.16 Construction Joints.
- Exits must be constructed in accordance with Part D1 of the NCC
- The unobstructed height of the exit path must not be less than 2m in accordance with NCC Clause D1.6a.
- The unobstructed width of the exit path must not be less than 1m in accordance with NCC Clause D1.6bi.
- The stair, handrails & balustrades shall comply with Part D2 'Construction of exits' of the NCC.
- Doors & operation of latches are to comply with Parts D2.19, D2.20 & D2.21 of the NCC.
- All accessible doors shall have a luminance contrast in accordance with AS 1428.1 - 2009 Clause 13.1 Luminance contrast.
- Thresholds shall comply with Clause D2.15(d) of the NCC.
- Location of services & equipment must comply with Clause D2.7(d) of the NCC.
- All full height glazing to have visual indicators in accordance with BCA 2016 Clause D3.12 Glazing on an accessway.
- Enclosure of space under Non fire-isolated stairs to comply with NCC Clause D2.8b.i. Enclosing walls and ceilings to have an FRL of not less than 60/60/60; and, ii. access doorway to the enclosed space to be fitted with a self-closing -/60/30 fire door
- Disabled access is to comply with AS1428.1.
- Accessible facilities, services & features are to comply with Clause D3.6 of the NCC.
- Tactile indicators are to be provided to comply with Clause D3.8 of the NCC.
- Certificates relating to essential services (list to come from Council) shall be submitted pursuant to Section E of the NCC.
- Exits are not to be locked at point of discharge.
- An automatic smoke detection and alarm system complying with Specification E2.2a and Clause E2.2a General Requirements of the NCC.
- An emergency lighting system is to be provided in accordance with AS 2293.1 and Clause E4.2 of the NCC.
- Exit signage must be supplied and operated in accordance with Clauses E4.5 & E4.8 of the NCC.
- Directional signage must be installed in accordance Clause E4.6 of the NCC.
- Fire precautions during construction shall be undertaken in accordance with section E, Clause E1.9 of the NCC.
- All stormwater drainage work shall be carried out to comply with Clause F1.1 of the NCC & AS/NZ 3500.3.
- All roof coverings to be installed in accordance with Clause F1.5 of the NCC & AS/NZ 1562.1.
- All Sarking to be provided and installed in accordance with Clause F1.6 of the NCC.
- Wet area waterproofing shall be carried out in accordance with Clause F1.7 of the NCC.

- All damp-proofing to be carried out in accordance with Clauses F1.9 & F1.10 of the NCC.
- All wet area floors are to be graded and drained to floor wastes in accordance with Clause F1.11 of the NCC.
- To comply with Clause F1.13 & Part J2 of the BCA, window and door frame and glazing qualities are to be supplied in accordance with the Glazing calculator attached to the BCA Part J Assessment.
- Adequate means of disposal of sanitary towels must be provided in sanitary facilities for use by female in accordance with Clause F2.3 Facilities in Class 3 to 9 buildings of the NCC.
- Disabled toilets & the fit out of the same are to comply with Part F2.4 of the NCC & AS1428.1.
- An accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf, or bench top and adequate means of disposal of sanitary towels in accordance with Clause F2.4d Accessible sanitary facilities of the NCC.
- The circulation spaces, fixtures and fittings of all accessible sanitary facilities must comply with Clause F2.4d Accessible sanitary facilities of the NCC and AS1428.1
- Artificial lighting must be provided in accordance with Clause F4.4a and b of Artificial lighting.
- The ventilation of each room is to comply with Clause F4.5 of the NCC. The proposed mechanical ventilation system is to comply with AS 1688.2 and AS/NZS 3666.1.

Signage must be provided in accordance with BCA Clause D3.6 Signage in a building required to be accessible—

- (a) braille and tactile signage complying with Specification D3.6 must -
- (f) incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 must identify each -
- (A) sanitary facility, except a sanitary facility within a sole-occupancy unit in a Class 1b or Class 3 building; and
- (B) space with a hearing augmentation system; and
- (ii) identify each door required by E4.5 to be provided with an exit sign and state -
- (A) "Exit" and
- (B) "Level" followed by the floor level number; and
- (b) signage including the international symbol for deafness in accordance with AS 1428.1 must be provided within a room containing a hearing augmentation system identifying -
- (i) the type of hearing augmentation; and
- (ii) the area covered within the room; and
- (iii) if receivers are being used and where the receivers can be obtained; and
- (c) signage in accordance with AS 1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left of right handed use; and
- (d) signage to identify an amulent accessible sanitary facility in accordance with AS 1428.1 must be located on a door of the facility; and
- (e) where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be provided to direct the person to the location of the nearest accessible pedestrian entrance; and
- (f) where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility

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Proposed Mixed-Use Development

Keith Tucker
505 Conrod Straight, Bathurst



Specification

DA 44

Issue: J
Scale: NTS @ A3

Date: 26/11/19
Project: BMD171883



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General

- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code - Volume 2, Building Code of Australia Class 1 and Class 10 Buildings

Statutory Requirements

- All work to be carried out in accordance with the NCC, conditions imposed by the local authority and the commitments outlined in the relevant BASIX Certificate or NCC Part J Assessment.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building ACT.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner.
- On completion the builder shall remove the amenity.

BCA Requirements

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of the NCC.
- All excavations and underfloor fill shall be in accordance with the engineer's details and Part 3.2.2 of the NCC.
- Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.4 of the NCC
- Provide adequate cross ventilation to space under suspended ground floors in accordance with Part 3.4.1 of the NCC. Sub Floor access to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.3 of the NCC.
- All timber framework shall comply with Part 3.4.3 of the NCC.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection.
- Steel framing shall be in accordance with manufacturer's recommendation and Part 3.4.2 of the NCC.
- All roof cladding shall comply with Part 3.5 of the NCC and be installed in accordance with manufacturer's recommendations.
- Gutters and downpipes shall be in accordance with Part 3.5.3 of the NCC.
- Sarking shall comply with Part 3.3.4 of the NCC.
- Flashings shall comply with Part 3.3.4 of the NCC.
- Clay brickwork shall comply with Part 3.3 of the NCC.
- Concrete blockwork shall be constructed in accordance with Part 3.3 of the NCC.
- Autoclaved aerated concrete products shall be installed in accordance with manufacturer's product specification.
- Damp proof courses shall comply with Part 3.3.4 of the NCC.
- Cavity ventilation must be provided in accordance with Part 3.3.4 of the NCC.
- Mortar shall comply with Part 3.3.1 of the NCC.
- Masonry accessories shall comply with Part 3.3.3 of the NCC. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of the NCC and protected from corrosion in accordance Part 3.4.4 of the NCC.

- Engaged piers in single leaf masonry walls shall be constructed in accordance with Table 9.2 Pier spacings for one way spanning walls, of Australian Standard AS4773.1-2010 Masonry in small buildings. Refer to the table extract below for details.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of the NCC. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in schedule of works.
- Windows and doors shall be manufactured and installed in accordance with AS2047.
- All glazing shall comply with Part 3.6 of the NCC.
- Stair and ramp construction shall be in accordance with Part 3.9.1 of the NCC.
- Balustrades shall be in accordance with Part 3.9.2 of the NCC.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed plumber.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with Part 3.7.5 of the NCC.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Building is to be sealed to the requirements of Part 3.12.3 of the NCC, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of the NCC, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.
- Mechanical ventilation is to be installed in accordance with Part 3.8.5 of the NCC.
- Inward swinging WC doors are to be fitted with lift off hinges to comply with Part 3.8.3.3 of the NCC if indicated on plans.

Wall Thickness (mm)	Pier Thickness (mm)	Pier Width (mm)	Spacings for wind class (mm)			
			N1	N2	N2 with tie down (see note 1)	N3 with tie down (see note 1)
Wall Height 2400mm						
110	230	230	1320	840	4200	1200
110	230	350	2040	1320	6360	1920
110	350	230	3240	2160	23640	8400
110	350	350	4920	3360	36000	9600
Wall Height 2700mm						
110	230	230	960	600	2160	720
110	230	350	1440	960	3360	1080
110	350	230	2520	1680	13440	5400
110	350	350	3840	2520	20640	8160
Wall Height 3000mm						
110	230	230	720	480	1320	
110	230	350	1080	720	2040	
110	350	230	1920	1320	8760	3600
110	350	350	3000	2040	13320	5520

Notes
1. Piers with tie-downs shall include one full height N10, N12 or M10 reinforcing bar tied to the footing and positively attached to the top plate (in accordance with Clause 6.7.2)
2. This table applies to walls with no openings. For piers at the edge of major openings, such as garage doors, see Clause 6.7.2

BASIX Requirements

Water Commitments

- Rainwater tanks with a capacity of 31000 litres to be installed
- All roof areas must be drained to the rainwater tanks
- All toilets & at least 1 outdoor tap must be connected to the rainwater tanks
- All showerheads to have a minimum of a 4 star (>4.5 but <=6 L/min) rating
- All toilets to have a minimum of a 6 star rating
- Kitchen and Basin taps to have a minimum of a 5 star rating

Thermal Commitments

- Floor: concrete slab on ground - nil
- Floor above habitable rooms - nil
- External brick veneer wall - R2.26 (or 2.80 including construction)
- Internal wall shared with garage - R0.83 (or 1.50 including construction)
- Ceiling and Roof (flat or low pitched roof) - Ceiling: R4.0 (up), Roof: foil/sarking
- Roof color - light (solar absorptance <0.475)
- W2, W7 & W27 glazing frames to be standard aluminium and single clear glass (U-value:6.70, SHGC:0.57)
- All other glazing frames to be standard aluminium and single clear glass (U-value:6.70, SHGC:0.70)

Energy Commitments

- The applicant must install an instantaneous gas hot water system with a minimum rating of 5 stars
- Cooling in at least 1 bedroom and 1 living room to be a single phase system system with a minimum rating of EER 3.0 - 3.5
- Heating in at least 1 bedroom and 1 living room to be a single phase system system with a minimum rating of EER 3.0 - 3.5
- Bathrooms to have an individual fan, ducted to facade or roof with a manual switch
- Kitchen to have an individual fan, ducted to facade or roof with a manual switch
- Laundry to have an individual fan, ducted to facade or roof with a manual switch
- A gas cooktop and electric oven to be installed
- A fixed outdoor clothes drying line to be installed
- All lighting fixtures to be fitted with fluorescent or LED lamps
- Pool heating system: Solar
- Pool pump to be controlled by a timer
- A 3kW photovoltaic system is to be installed

Date	Amendment
26/11/19	J Amended balcony
25/11/19	H Issued for approval
20/11/19	G Issued for final comment
13/11/19	F Issued for final comment
04/11/19	E Issued for comment
02/10/19	D Issued for comment
02/10/19	C Issued for comment
16/09/18	B Issued for comment



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Proposed Mixed-Use Development

Keith Tucker
505 Conrod Straight, Bathurst

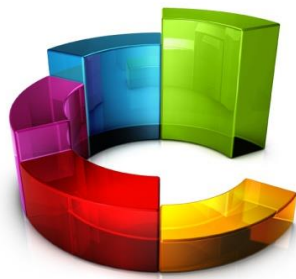


Specification

DA 45

Issue: J
Scale: NTS @ A3

Date: 26/11/19
Project: BMD171883



**ANTHONY
DAINTITH**
TOWN PLANNING

STATEMENT OF ENVIRONMENTAL EFFECTS



PROPOSAL: Mixed Use Development

ADDRESS: 505 Conrod Straight, Mount Panorama

DATE: 30 November 2019



PROPOSAL: Mixed Use Development

CLIENT: Keith Tucker

Anthony Daintith Town Planning Pty Ltd
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QUALITY ASSURANCE

This document has been prepared, checked and released in accordance with the Quality Control Standards established by Anthony Daintith Town Planning.

Version	Date	Description	By
1.0	28 November 2019	Draft	AD
2.0	28 November 2019	Approved	AD
3.0	30 November 2019	Revised	AD

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A handwritten signature in black ink, appearing to read "AD", is positioned above a horizontal line.

This document has been authorised by

Anthony Daintith (Principal)
 Date: 30 November 2019



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Proposal: Mixed Use Development
505 Conrod Straight, Mount Panorama

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V3.0



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1 BACKGROUND

1.1 INTRODUCTION

Keith Tucker have engaged Anthony Daintith Town Planning (ADTP) to prepare a Statement of Environmental Effects (SOEE) to support a Development Application to be lodged with Bathurst Regional Council for a mixed use development on the subject land (refer to the Proposal Section of this report for greater detail).

The purpose of this document is to:

- Describe the existing environment;
- Outline the proposed development;
- Consider relevant statutory matters; and
- Make conclusions and recommendations for Councils consideration.

The development application consists of the following components:

- Completed DA form;
- Statement of Environmental Effects;
- Preliminary Contamination Report;
- Onsite Effluent Management Study;
- BASIX Certificate; and
- Site and Building Plans

1.2 APPLICANT AND OWNER

The applicant is Keith Tucker.

The owners of the subject land are Keith Graham Tucker and Margaret Ellen Tucker.

All owners have provided their written consent to the lodgement of the Development Application.



2 SUBJECT LAND

2.1 LOCATION AND TITLE

The subject land is identified as 505 Conrod Straight, Mount Panorama.

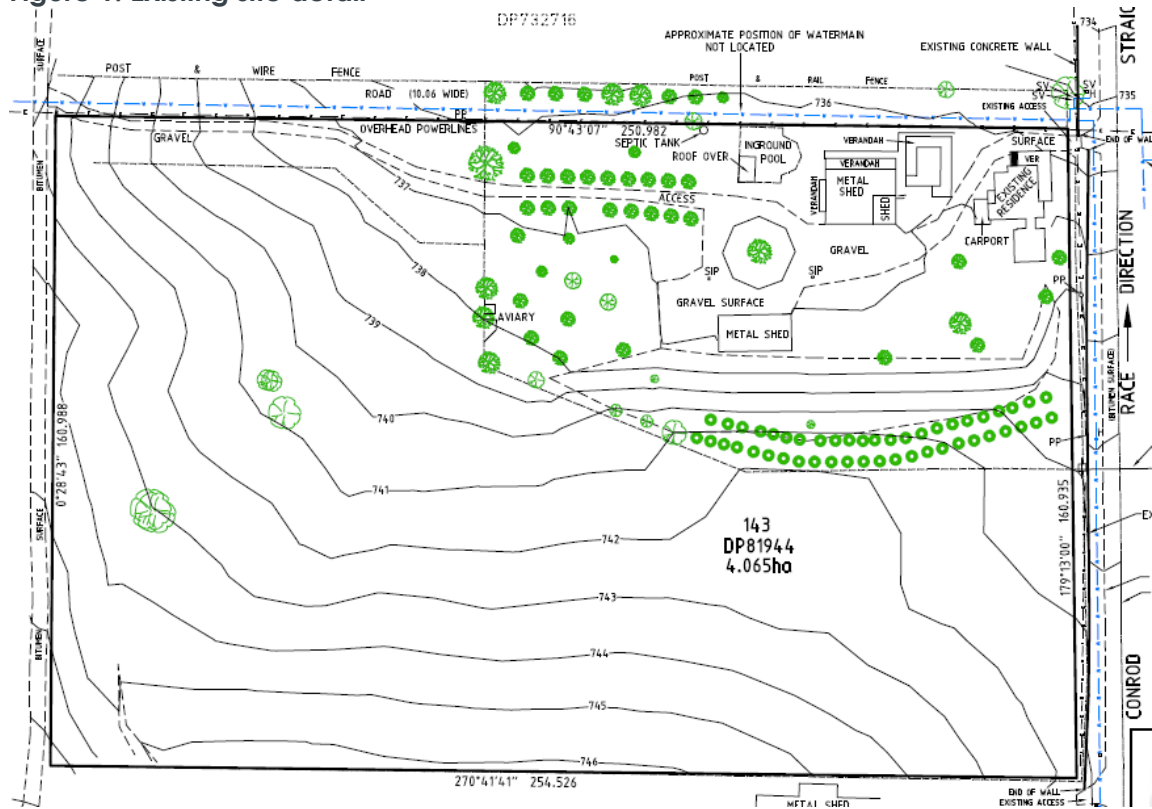
The area of the subject land is 4.065 ha.

The land title description is:

Table 1: Land Title Details

Lot	Deposited Plan
143	81944

Figure 1: Existing site detail



2.2 GENERAL SITE DESCRIPTION

Topography

The land gently Slopes from the south down to the north by about 10 metres (746m down to 736m AHD).

Vegetation

Landscaped gardens around the existing buildings on the site – otherwise a couple of scattered trees across the site (refer to the aerial photo).

Waterways

A former drainage line traverses the site. The drainage lines has been filled in.

Buildings

The site contains 2 existing dwellings, sheds and a swimming pool.

Photos 1 to 3 provide a visual representation of the property.

Figure 2: Locality Plan

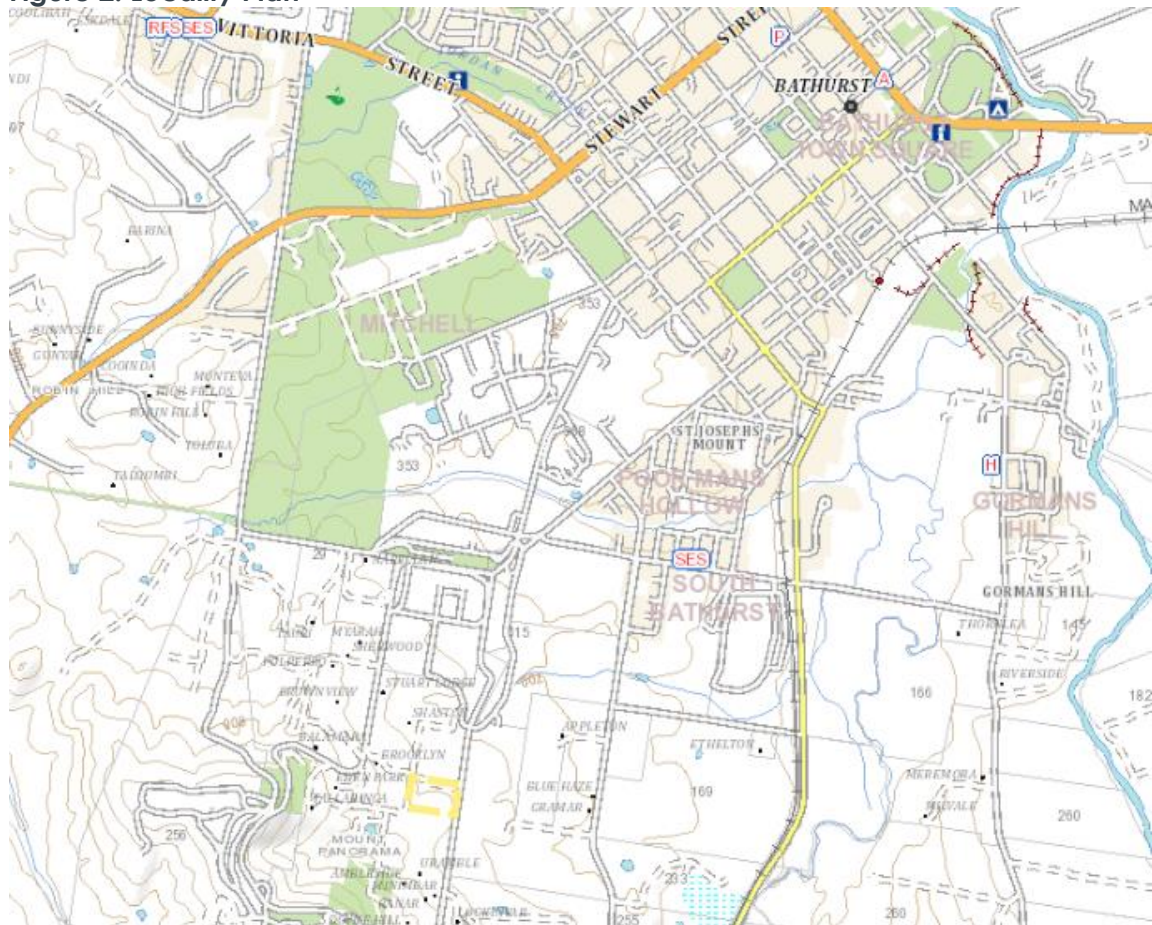


Figure 3: Aerial Photo



Photo 1: Looking south over the property



Photo 2: Existing buildings



Photo 3: Western portion of the site





3 PROPOSAL

The proposal seeks development consent for the following mixed use development:

- Change of use of residential dwelling to tourist accommodation,
- Proposed tourist accommodation x 5,
- Proposed two storey dwelling including pool,
- Proposed additions to an existing Machinery shed,
- Proposed machinery shed,
- Proposed additions to an existing pool,
- Proposed primitive camp ground including amenities,
- Proposed effluent systems
- Site access modification

The following 5 stages are proposed (numbers as referenced on the site plan):

Stage 1

- 01 Existing dwelling – change of use to tourist accommodation including alterations and additions.
- 02 Construction of a self contained accessible tourist accommodation unit with detached carport.
- 03 Additions to existing metal shed. Additions to include storage space and primitive camping ground amenities.
- 04 Proposed Primitive Camping Ground (34x20m) – 8 camp sites.
- 05 Proposed parking area for Primitive Camping Ground.
- 06 Additions to existing pool.
- 07 Effluent system location.

Stage 2

- 08 Construction of machinery shed.
- 09 Construction of replacement dwelling house and swimming pool.
- 10 Construction of self contained tourist accommodation unit.
- 11 Construction of a carport (4 spaces).
- 12 Construction fo a self contained accessible tourist accommodation unit.

Stage 3

- 13 Construction of a self contained toruist accommodation unit.
- 14 Construction of a carport (4 spaces).
- 15 Construction of a self contained tourist accommodation unit.

Stage 4

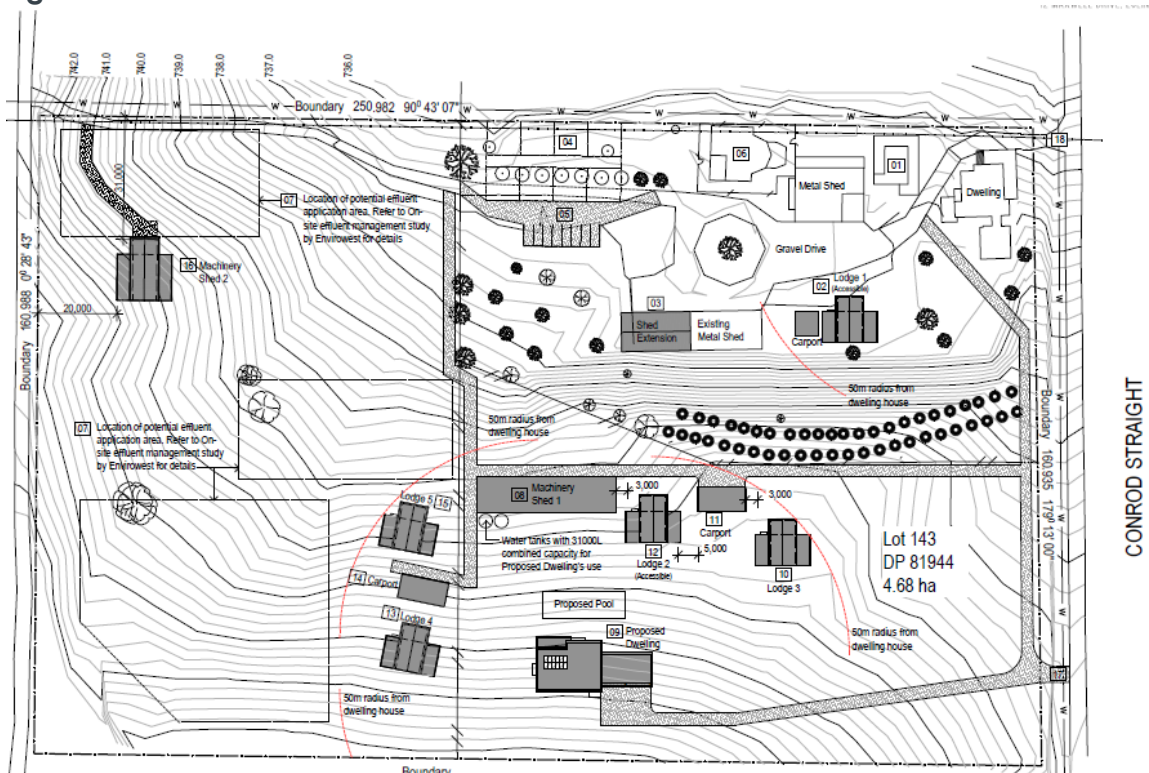
- 16 Construction of a machinery shed.

Stage 5

- 17 New driveway/entry location (subject to separate approval process)
- 18 Existing driveway access to be removed following construction of the new driveway.

Refer to the development plans for greater detail.

Figure 4: Site Plan





4 TOWN PLANNING CONSIDERATIONS

Pursuant to Section 4.15 (formerly Section 79C) of the *Environmental Planning and Assessment Act 1979*, the following matters must be taken into consideration when assessing a development application:

4.15 Evaluation (cf previous s 79C)

Matters for consideration—general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *the provisions of:*
 - (i) *any environmental planning instrument, and*
 - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
 - (iii) *any development control plan, and*
 - (iii a) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
 - (iv) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
 - (v) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979),*

that apply to the land to which the development application relates,

- (b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*
- (c) *the suitability of the site for the development,*
- (d) *any submissions made in accordance with this Act or the regulations,*
- (e) *the public interest.*



SECTION 4.15 ASSESSMENT

(a)(i) The provisions of any environmental planning instrument

LOCAL ENVIRONMENTAL PLANS

BATHURST LOCAL ENVIRONMENTAL PLAN 2014

The subject land is zoned RU2 Rural Landscape.

Zone RU2 Rural Landscape

1 Objectives of zone

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To maintain the rural landscape character of the land.
- To provide for a range of compatible land uses, including extensive agriculture.
- To encourage development that enhances Mount Panorama as an international motor racing circuit.

2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home businesses; Home occupations; Intensive plant agriculture; Roads

3 Permitted with consent

Agricultural produce industries; Aquaculture; Cellar door premises; Dwelling houses; Farm buildings; Food and drink premises; Home industries; Kiosks; Markets; Plant nurseries; Secondary dwellings; Any other development not specified in item 2 or 4

4 Prohibited

Amusement centres; Cemeteries; Centre-based child care facilities; Commercial premises; Crematoria; Depots; Exhibition homes; Exhibition villages; Forestry; Freight transport facilities; Health services facilities; Heavy industrial storage establishments; Highway service centres; Home occupations (sex services); Industries; Intensive livestock agriculture; Mortuaries; Passenger transport facilities; Places of public worship; Residential accommodation; Respite day care facilities; Restricted premises; Rural industries; Service stations; Sex services premises; Storage premises; Transport depots; Truck depots; Warehouse or distribution centres; Wholesale supplies

Figure 5: Bathurst LEP 2014 – Zoning Map



Permissibility

New Dwelling (and change of use of existing dwelling)

Pursuant to Clause 4.2B(5) of the *Bathurst Regional Local Environmental Plan 2014*, Council can consider subject to a Development Application the construction of a new dwelling (replacement dwelling for the existing dwelling that is proposed to be converted to a Tourist and Visitor Accommodation Unit – as per clause 7.7).

4.2B Erection of dwelling houses on land in certain rural zones

(1) *The objectives of this clause are as follows—*

- (a) *to minimise unplanned rural residential development,*
- (b) *to enable the replacement of lawfully erected dwelling houses in rural zones.*

(2) *This clause applies to land in the following zones—*

- (a) *Zone RU1 Primary Production,*
- (b) *Zone RU2 Rural Landscape,*



(c) Zone RU4 Primary Production Small Lots.

(3) Development consent must not be granted for the erection of a dwelling house on land to which this clause applies unless the land does not have a dwelling house erected on it and the land—

(a) is a lot that is at least the minimum lot size shown on the Lot Size Map in relation to that land, or

(b) is a lot resulting from a subdivision for which development consent (or equivalent) was granted before this Plan commenced and on which the erection of a dwelling house would have been permissible before that commencement, or

(c) is an existing holding, or

(d) is a lot resulting from a subdivision for the purposes of intensive plant agriculture for which development consent was granted before this Plan commenced and on which the erection of a dwelling house would have been permissible before that commencement but only if the consent authority is satisfied that the lot is being used for the purpose of intensive plant agriculture, or

(e) would have been a lot or a holding referred to in paragraph (a), (b), (c) or (d) had it not been affected by—

(i) a subdivision creating or widening a public road or public reserve or for another public purpose, or

(ii) a consolidation with an adjoining public road or public reserve or for another public purpose.

Note.

A dwelling cannot be erected on a lot created under clause 9 of State Environmental Planning Policy (Rural Lands) 2008 or clause 4.2.

(4) Despite subclause (3), development consent may be granted for the erection of an additional dwelling house on land in Zone RU1 Primary Production if there is already a lawfully erected dwelling house on the land, but only if the additional dwelling house is located on the same lot or parcel of land as the existing lawfully erected dwelling house.

(5) Development consent may be granted for the erection of a dwelling house on land to which this clause applies if there is a lawfully erected dwelling house on the land and the consent authority imposes a condition of consent that the existing dwelling house must be demolished or altered so that the dwelling house can no longer be used as a dwelling.

(6) In this clause—

existing holding means—

(a) a lot, portion or other parcel as it was at the relevant date, or

(b) if, at the relevant date, a person owned 2 or more adjacent lots, portions or parcels—the aggregation of the area of those lots, portions or parcels as they were at the relevant date.

relevant date means—



(a) in relation to land within the former local government area of the City of Bathurst—27 March 1987, or

(b) in relation to land within the former local government area of Evans Shire to which Interim Development Order No 1—Shire of Turon applied—19 April 1968, or

(c) in relation to land within the former local government area of Evans Shire to which Interim Development Order No 2—Shire of Abercrombie applied—31 March 1967.

Note.

The owner in whose ownership all the land is at the time the application is lodged need not be the same person as the owner in whose ownership all the land was on the relevant date.

Tourist and Visitor Accommodation Units

Clause 7.7 of the *Bathurst Regional Local Environmental Plan 2014* (see below), tourist and visitor accommodation units are permitted with consent in the RU2 Rural Landscape zone at Mount Panorama. As discussed above, it is proposed to convert the existing dwelling to an accommodation unit and construct 5 additional accommodation units. The units are all within 50m of an existing dwelling house (and future dwelling house) and are greater than 40m away from the race track. There is no restriction relating to the number of accommodation units under the clause. Each unit is less than 120m² in GFA. The new access location is proposed to replace the existing driveway location at the northern eastern corner of the site (there will only be one access to the site).

7.7 Mount Panorama tourist and visitor accommodation and eco-tourist facilities

(1) *The objective of this clause is to regulate tourist and visitor accommodation and eco-tourist facilities in Zone RU2 Rural Landscape.*

(2) *Development consent must not be granted for development for the purpose of tourist and visitor accommodation or eco-tourist facilities in Zone RU2 Rural Landscape unless the consent authority is satisfied that:*

(a) *if the land on which the development is to be located already contains a lawful dwelling house—the development will be erected within 50 metres of the dwelling house, and*

(b) *the development will be erected at least 40 metres away from the boundary with the Mount Panorama racing circuit, and*

(c) *each accommodation unit provided within the development will not have a gross floor area of more than 120 square metres, and*

(d) *the development will not be used by the same person for more than 42 days (whether consecutive or not) in any calendar year, and*

(e) *the development will not result in the construction of any additional vehicular access point to the land.*



Primitive Camping Ground

Primitive Camping grounds are permitted with consent under the LEP.

The *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005* relates to this proposal (in particular Clause 132).

The maximum number of designated camp sites is not to exceed a mean average of 2 for each hectare of the camping ground (where that figure is the average calculated over the total area of the primitive camping ground). Based on a site area of just over 4ha, 8 designated camp sites are proposed. They are to be grouped together adjacent to the northern boundary of the subject land.

Ancillary development

The proposed ancillary development (sheds, swimming pool, carport etc) are permitted with consent.

Objectives of the Zone

As detailed throughout this report, the proposed development can generally be shown to be consistent with the relevant objectives of the *Bathurst Regional Local Environmental Plan 2014*.

- *To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.*

There are no primary production operations carried out on the subject land. The size of the land is not sufficient for any rural undertaking.

- *To encourage diversity in primary industry enterprises and systems appropriate for the area.*

Not applicable to this proposal.

- *To minimise the fragmentation and alienation of resource lands.*

The proposal does not lead to any further fragmentation and alienation of resource lands.

- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*

It is considered that the proposed development can operate without having a negative impact on the rural and residential land uses in the locality. Impacts will be controlled through appropriate operational controls and Council



conditions of consent. There are a number of tourist accommodation units located around the Mount Panorama race circuit to support the local tourism industry.

- *To maintain the rural and scenic character of the land.*

The proposed buildings are to be located within a relative tight cluster around existing (and proposed) buildings (rather than as standalone buildings). No negative impact on the rural or scenic character of the land has been identified.

- *To provide for a range of compatible land uses that are in keeping with the rural character of the locality, do not unnecessarily convert rural land resources to non-agricultural land uses, minimise impacts on the environmental qualities of the land and avoid land use conflicts.*

It is considered that the tourist accommodation units are a compatible land use in the Mount Panorama locality. The proposed buildings is consistent with the character of the existing development on the site that will ensure that it is sympathetic to the subject and neighbouring land.

No negative environmental impacts have been identified as a result of the proposed development. The land has been tested and is suitable for residential land uses.

The development has been designed to reduce the potential for negative impacts on the neighbouring development. Appropriate setbacks to the race track and neighbouring development have been achieved.

7.6 Mount Panorama environs

(1) *The objectives of this clause are as follows—*

- (a) *to ensure development in and around the Mount Panorama Racing Circuit accounts for potential noise and other land use conflicts associated with motor racing and related events,*
- (b) *to ensure the future of Mount Panorama as an international motor racing circuit.*

(2) *This clause applies to land identified as “50 dBA” on the Mount Panorama Environs Map.*

(3) *Development consent must not be granted to development on land to which this clause applies unless the consent authority has considered—*

- (a) *whether the development will result in an increase in the number of dwellings or land uses identified by the consent authority as sensitive noise receivers exposed to noise and other land use conflicts from motor racing and associated events, and*



- (b) *whether noise impacts from motor racing and associated events are mitigated by or minimised by the design, siting or construction of the development to ensure that the amenity of the development is not adversely affected.*

Comments

The proposed development on the site is considered complimentary of the Mount Panorama racing circuit. There will be no additional dwelling houses following completion of the development (the proposed new dwelling is a replacement dwelling – therefore no net increase).

The accommodation units have been sited and designed as per the requirements of Clause 7.7 of the LEP (especially setback requirements).

STATE ENVIRONMENTAL PLANNING POLICYS

STATE ENVIRONMENTAL PLANNING POLICY No 55—REMEDIATION OF LAND

Council must consider Clause 7 of the SEPP when determining a Development Application:

7 Contamination and remediation to be considered in determining development application

- (1) *A consent authority must not consent to the carrying out of any development on land unless:*
- (a) *it has considered whether the land is contaminated, and*
 - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comments

Envirowest Consulting have prepared a Preliminary Contamination Report for the subject land.

The Report provides the following Conclusions and Recommendations:



13. Conclusions and recommendations

13.1 Summary

A mixed-use development is proposed for part Lot 143 DP81944, 505 Conrod Straight Road, Mount Panorama NSW. The site has a land-use history of orcharding. Fill material has been historically applied to part of the site including ash material. Current land-use is low intensity grazing with landscaped areas.

Site assessments were conducted on 17 September 2017 and 30 October 2019. Thirty-eight locations were assessed within the development area including an area adjacent to a spray cart and an area containing ash within fill material. A total of 20 soil samples were analysed (discrete and composite) from fill and natural soil.

Two piles of general debris were identified within the site in the September 2017 assessment. Piles contained tyres, fuel drums, and steel and assorted building material.

The soil sampling program did not detect elevated levels of the analysed metals, OCP or PAH. The levels of all substances evaluated were below the NEPM (1999) health-based investigation threshold for residential land-use with access to soil.

Levels of copper exceeded the ecological investigation level but not expected to impact on the environment as the site was vegetated and no potential ecological receptors are located near the site. Levels of other potential contaminants were below the ecological investigation level.

13.2 Assumptions in reaching the conclusions

It is assumed the sampling sites are representative of the site. An accurate history has been obtained and typical past farming practices were adopted.

13.3 Extent of uncertainties

The analytical data relate only to the locations sampled. Soil conditions can vary both laterally and vertically and it cannot be excluded that unidentified contaminants may be present. The sampling density was designed to detect a 'hot spot' in the field area within a radius of approximately 9-12 metres and with a 95% level of confidence.

13.4 Suitability for proposed use of the site

The investigation area is suitable for the mixed-use development including residential activities. An unexpected finds protocol is outlined in Appendix 4.

13.5 Limitations and constraints on the use of the site

No constraints are recommended.

13.6 Recommendation for further work

Nil. An unexpected finds protocol is outlined in Appendix 4.



LOCAL GOVERNMENT (MANUFACTURED HOME ESTATES, CARAVAN PARKS, CAMPING GROUNDS AND MOVEABLE DWELLINGS) REGULATION 2005

It is considered that the proposed development is best defined as a “primitive camping ground”.

primitive camping ground means a camping ground that is specified in its approval as being a primitive camping ground.

132 Primitive camping grounds

- (1) *If an approval to operate a primitive camping ground designates one or more camp sites within that ground, then the maximum number of designated camp sites is not to exceed a mean average of 2 for each hectare of the camping ground (where that figure is the average calculated over the total area of the primitive camping ground).*
- (2) *The following conditions apply to a primitive camping ground:*
 - (a) *if the approval to operate the primitive camping ground designates one or more camp sites within that ground—camping is not permitted within the primitive camping ground other than on those designated camp sites,*
 - (b) *if the approval to operate the primitive camping ground does not designate one or more camp sites within that ground—the maximum number of caravans, campervans and tents permitted to use the camping ground at any one time is not to exceed a mean average of 2 for each hectare of the camping ground (where that figure is the average calculated over the total area of the primitive camping ground),*
 - (c) *a caravan, annexe or campervan must not be allowed to be installed closer than 6 metres to any other caravan, annexe, campervan or tent,*
 - (d) *a tent must not be allowed to be installed closer than 6 metres to any caravan, annexe or campervan or closer than 3 metres to any other tent,*
 - (e) *the camping ground must be provided with a water supply, toilet and refuse disposal facilities as specified in the approval for the camping ground,*
 - (f) *unoccupied caravans, campervans and tents are not to be allowed to remain in the camping ground for more than 24 hours,*
 - (g) *if a fee is charged for camping, a register must be kept that contains entries concerning the same matters as are specified in clause 122 and, in addition, that specifies the size of the group (if any) with whom the person listed in the register camped,*
 - (h) *such fire fighting facilities as may be specified in the approval are to be provided at the primitive camping ground.*
- (3) *If the approval to operate a primitive camping site does not designate camp sites, a council may impose as a condition of the approval that the installation of tents, caravans, campervans and annexes is not permitted on a particular area or areas of land within the primitive camping ground, for reasons of health or safety or to ensure consistency with the principles of ecologically sustainable development or for any other purpose.*



- (4) *The provisions of Subdivisions 1–8 do not apply to a primitive camping ground.*
- (5) *For the purposes of subclause (2) (b), in the calculation of the number of tents using a camping ground, 2 or more tents occupied by not more than 12 persons camping together as a group are to be counted as only one tent.*

Comments

The area of the subject land is 4ha – therefore 8 camp sites are permitted. (based on a mean average of 2 for each hectare of the camping ground).

8 designated campsites are proposed as shown on the site plan towards the norther boundary of the subject land.

The applicant will ensure that any caravan, annexe or campervan must not be allowed to be installed closer than 6 metres to any other caravan, annexe, campervan or tent.

The applicant will ensure that a tent must not be allowed to be installed closer than 6 metres to any caravan, annexe or campervan or closer than 3 metres to any other tent.

The applicant will provide a water supply to each of the proposed campsites (both potable and non-potable).

It is proposed to build a new amenities block to the south of the proposed primitive camping ground.

A garbage disposal will be provided at each camp site; however, guests will be encouraged to be self-sufficient and collect and take away any waste that they create.

Caravans, campervans and tents are not to be allowed to remain unoccupied in the camping ground for more than 24 hours.

The applicant will keep a register of occupiers in accordance with Clause 122 and also specifies the size of the group (if any) with whom the person listed in the register camped.

The fire risk is considered very low on the subject land and is not mapped as bushfire prone land.

(a)(ii) Any draft environmental planning instrument

There are no known draft EPI's applicable to this proposal.

**(a)(iii) Any development control plan****BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014**

Following is an assessment of the relevant provisions of the DCP:

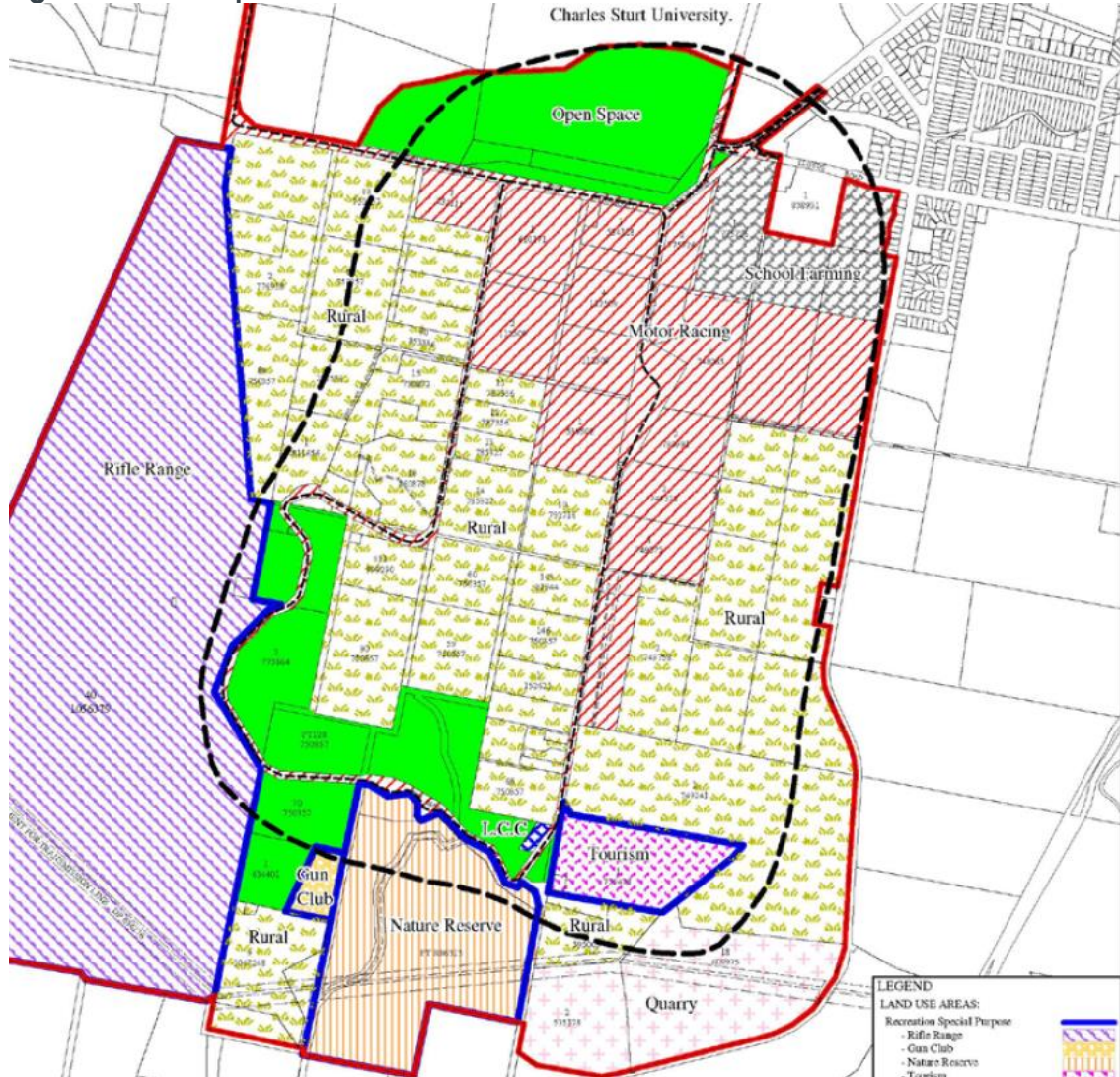
Chapter 6 – Rural and Rural Lifestyle Development

- There are no sensitive lands or waterways on the site (the gully has been filled in).
- The site plan shows all existing topographical and environmental features on the site.
- No vegetation removal required for the construction of the proposed buildings and primitive camping ground.
- The new dwelling and tourist units are located at least 20m off the southern and northern boundaries.
- Initially, it is proposed to utilise the existing access off Conrod Straight to service the development. However, application has already been made to Council to move the access further to the south (as shown on the plans to improve safety).
- No new fencing is proposed.
- Driveway to be constructed to an all-weather surface – a new entrance is proposed to be constructed further south than the current access due to safety concerns.
- Effluent disposal will be undertaken in accordance with the onsite effluent management studies undertaken by Envirowest Consulting which forms part of this development application.
- Water supply will be a combination of reticulated town water and via onsite water tanks.
- The bulk and scale of the tourist unit development are appropriate in the locality. They are double storey (mezzanine) and have similar proportions to the existing development on the site to reduce any impact.
- Materials and colour scheme to blend into the landscape.
- Appropriate erosion and sediment controls to be implemented as part of the construction of the proposed buildings.

Chapter 8 – Mount Panorama and Environs

- The proposal encourages and promotes a compatible development in the vicinity of Mount Panorama that will be complementary to motor racing activities, whilst not negatively impacting upon existing rural activities and the environment of the locality.
- No subdivision is proposed.
- The subject land is within the Noise Reference Contour of Map 28, however, the proposed dwelling is a “replacement dwelling” – therefore no increased impact than what is currently experienced.

Figure 6: DCP Map 28 - Mount Panorama



- The development will support the use of Mount Panorama as a regional recreational facility. No issues relating to the safety of persons on the site has been identified during race events – there is alternative access available at these times.

Chapter 9 – Environmental Considerations

There are no known environmental risks or natural hazards affecting the site that has had any impact on the development and design of the proposed development.



Chapter 14 – Car Parking

A proposed car parking area has been shown on the site for the proposed camping ground. Carports are proposed to be constructed to support the proposed tourist and visitor accommodation units.

(a)(iia) Any Planning Agreements

There are no known planning agreements affecting the property.

(a)(iv) Any matters prescribed by the regulations:

Government Coastal Policy

Not applicable.

Building Demolition

No demolition proposed.

Upgrading of Buildings

The change of use of the existing dwelling to a tourist unit will need to be upgraded accordingly.

Fire Safety

Each tourist unit will have the appropriate fire safety measures installed.

Temporary Structures

Not applicable to this proposal.

Deferred Commencement Consent

Not applicable to this proposal.

Modification or Surrender of Development Consent or Existing Use

Not applicable.

Ancillary Development

Not applicable to this proposal.



BASIX

A BASIX certificate has been provided for the proposed dwelling.

(b) The likely impacts of the development:

CONTEXT AND SETTING

The subject land is located on the Mount Panorama race track. The tourist accommodation units and camping ground have been sited so as to ensure that it meets the objectives and design criteria set out in the LEP and DCP.

It is considered that the proposal is within the context of the locality and is compatible with the surrounding area and will have minimal impact in regards to:

- Adjacent properties;
- Adjoining land uses;
- Overshadowing; and
- Views and vistas.

ACCESS AND TRANSPORT

Access to the site is off Conrod Straight (bitumen road). As discussed, it is proposed to relocate the access further to the south due to safety reasons (application has already been made to Council).

It is considered that the existing road system is more than adequate to cater for the additional traffic generation from the development without the need for any upgrading.

PUBLIC DOMAIN

It is considered that the development will have a negligible impact on the public domain in terms of:

- Public recreational opportunities in the locality.
- Amount, location, design, use and management of public spaces in and around the development.
- Pedestrian linkages and access between the development and public areas.



UTILITIES & SERVICES

Electricity

It is noted that existing buildings on the site are already connected and the service is available for proposed development on the site.

Telephone

It is noted that existing buildings on the site are already connected and the service is available for proposed development on the site.

Water

Water supply will be via rainwater tanks and reticulated town water.

Sewerage

Effluent disposal will be conducted on site in accordance with the effluent reports prepared by Envirowest Consulting. The existing system was approved under Septic Tank Application 70/2014/1963.

STORMWATER

Roof water will be collected in rainwater tanks. Site water will travel across the site as per current practice.

HERITAGE

There are no listed heritage items on the subject land.

FLORA AND FAUNA

A flora and fauna report is not considered necessary as part of the proposed development. No tree removal is proposed.

ENERGY

A BASIX Certificate has been provided for the proposed dwelling.

NATURAL HAZARDS

There are no known natural hazards affecting the land.



POTENTIAL CONTAMINATION

A preliminary contamination report was prepared by Envirowest Consulting which identified that the land is suitable for the proposed development (see comments under SEPP 55).

SAFETY, SECURITY & CRIME PREVENTION

No specific measures considered necessary.

SOCIAL & ECONOMIC IMPACTS IN THE LOCALITY

The social and economic impacts of the development are considered positive. The development will provide accommodation options in the Bathurst economy.

CONSTRUCTION

All construction works is to be undertaken in accordance with conditions of consent, stamped plans, Australian Standards and Councils Subdivision design specifications.

Construction impacts are not anticipated to have an adverse impact on the locality. Works would occur during daytime hours, thus not impacting on the local amenity. The site would have temporary containment fencing erected and signage to warn and exclude the public from entering the site during the construction phase.

Erosion and Sedimentation Control measures would be implemented during construction of the subdivision to minimise any erosion risk at the site. All measures will be established prior to the commencement of engineering works and maintained for an agreed period after completion of all work.

All waste generated during construction would be taken and disposed of at Council's Waste Disposal Facility.

Construction activities would be tailored to minimise the impact on site, with all disturbed areas rehabilitated as soon as practical. All construction machinery would be fitted with appropriate muffling devices to limit noise generation during construction. The construction period would be for a limited period, and thus any impacts would be limited to that time frame.

Refer to subdivision plans for greater detail (and engineering plans to be submitted with the Construction Certificate documentation).



CUMULATIVE IMPACTS

There are no cumulative impacts anticipated as a result of the existing development on the site and the proposed additional tourist units and camping ground.

(c) Suitability of the site for the development

Does the proposal fit in the locality?

- There are no constraints posed by surrounding development to render the proposal prohibitive;
- The proposal is complimentary to the surrounding land use pattern and zoning;
- It is considered that the proposal will not create any unmanageable access or transport concerns in the locality;
- No impact on public spaces will eventuate as a result of the proposal proceeding;
- No upgrading to services is required;
- There are no issues in relation to air quality and microclimate; and
- There are no identified surrounding hazardous land uses or activities.

Are the site attributes conducive to development?

It is considered that the site is conducive to the development based on the following:

- The site is not affected by any known natural hazards;
- There are no heritage considerations;
- There is no known soil characteristics that would render the proposal prohibitive; and
- There are no flora and fauna considerations that will have an impact on the proposal.

(d) Any submissions

It is understood that the development application will be referred to neighbours for comment.



(e) The public interest

The proposed development is considered to be only of minor interest to the wider public due to the relatively localised nature of potential impacts.

It is believed that by the imposition of appropriate conditions of consent and the safeguards discussed in this report, potential impacts would be modest.

The proposal generally complies with the provisions and objectives of Councils planning documents.



5. CONCLUSION

This report includes an analysis of the existing environment, details of the proposed development and consideration of applicable statutory requirements.

Based upon the investigations of the proposal it can be concluded that:

- The impacts upon or by surrounding development will not be altered significantly as a result of the proposed development;
- The topography of the site can accommodate the development;
- The additional traffic generated by the development can be handled by the existing road system without upgrading;
- The development will not have a negligible impact on the Mount Panorama race track and motor racing events;
- Utilities and services are available for connection;
- The proposal is generally consistent with the objectives and provisions of Councils LEP and DCP.

The proposal is considered to be acceptable in terms of Section 4.15 of the *Environmental Planning and Assessment Act 1979*, and potential impacts are expected to be manageable.

Accordingly, it is recommended that the Development Application be approved subject to appropriate standard conditions.

From: Andrew Dunshea <andrew@steeleandco.com.au>
Sent: Thursday, 6 February 2020 12:48 PM
To: Wayne McDonald
Cc: Richard Denyer; Council
Subject: DA 2019/374 - Objection Submission
Attachments: Letter to Bathurst Regional Council.pdf

Please see attached

Andrew Dunshea
Solicitor Director



Level 1, 154 Russell Street, Bathurst NSW 2795 | PO Box 1504, Bathurst NSW 2795 | DX 3110 Bathurst NSW
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Our Ref: AD:186013
Contact: Andrew Dunshea
Your Ref: Wayne McDonald

Solicitor/Director
Ryan Cooney LLB
Andrew Dunshea LLB

6 February 2020

Solicitor
Lisa McLoughlan LLB
Aaron Keating LLB
Matthew Elbourne LLB

The General Manager
Bathurst Regional Council
Russell Street
BATHURST NSW 2795

Licensed Conveyancer
Kate Jameson CPC
Carol Smith CPC

By email: wayne.mcdonald@bathurst.nsw.gov.au

Dear Sir

**Re: Proposed Development – 505 Conrod Straight, Mount Panorama
DA 2019/374 (“Proposed Development”)**

We are solicitors for Norman & Marie Clarke being the registered proprietors of 489 Conrod Straight, Mount Panorama (1/152621, 146/750357). Our client's land adjoins the Proposed Development.

We are instructed as follows:

1. Our clients have recently become aware of the Proposed Development. Our clients hold significant concerns with respect to the nature and scale of the Proposed Development given its proximity to their residence. We consider that given the scope of the Proposed Development, which includes 6 additional tourist accommodation units and 8 campsites in addition to existing structures and accommodation, there could be 50-80 people or more on-site at any given time. Zoning of the subject land is RU2 Rural Landscape.
2. Given the scale of the Proposed Development we are surprised our client was not provided with any notification from Bathurst Regional Council. We note Council's Community Participation Plan and the contents therein, in particular that the development is not an Exhibited Development. However, we consider the proposed development, on any reasonable

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assessment, should be a Notified Development having regard to 3.14.4.4, in particular sub- clauses c), d) & e).

3. We consider the relevant planning instruments do not permit the Proposed Development. In particular:
 - a. Bathurst Regional LEP 2014 at 7.7 states the objective is to regulate tourist and visitor accommodation. The instrument refers to dwelling house in the singular. That is, in circumstances where the planning instrument limits lots to one dwelling, the provisions for development of tourist accommodation within 50 m of the dwelling house should apply to one dwelling only. The existence of a second dwelling on the land prior to the existence of current planning instruments, should not and in our opinion does not, allow approval of tourist accommodation within a 50 metre radius of multiple dwelling houses.
 - b. Bathurst Regional Development Control Plan 2014 variously states the objective is to “encourage and promote development in the vicinity of Mount Panorama complimentary to existing rural activities and the environmental characteristics of the locality (Clause 8.2.1 c).).
 - c. Bathurst Regional LEP 2014 7.8 states that “Despite any other provisions of this Plan, development for the purpose of commercial motor racing hosting is prohibited, except within the Zone SP3 Tourist”. The definition of ‘commercial motor race hosting’ is “the use of the land to promote viewing areas for motor racing for a fee or reward to 13 or more persons”. Commercial motor race hosting “may or may not include provision for accommodation, food or drink”. The Proposed Development is clearly for commercial purposes and is captured by this provision.

In our client's view the Proposed Development clearly offends the planning instruments.

4. We note that recent consent conditions on other developments within the Mount Panorama precinct apply the restriction set out in Bathurst Regional LEP 2014 at 7.8, limiting the provision of accommodation, food and drink for fee or reward to 13 persons. Our clients consider this must be consistently applied.

5. In addition to the 5 motor racing events, there is significant scope for the Proposed Development to be used where groups may hire or rent the Proposed Development for parties and other events. Our client's residence is within very close proximity to the Proposed Development. We note the setback of 20 m, which appears to be in line with requirements given the zoning. Practically however, it provides little buffer given the likely noise from large groups given the open nature of the terrain where only rural fencing exists.
6. Our client has become aware of an article in the Western Advocate on 8 December 2019. We **enclose** the article for your reference, and note:
 - a. The article refers to the current accommodation on the land as being "two houses and a bunkhouse". We understand the "bunkhouse" to be the metal shed on the land adjacent to the proposed tourist accommodation "01". This usage appears unapproved, and if continuing, has capacity to greatly increase the numbers on the land over and above the estimated number which relates to the Proposed Development, if approved.
 - b. The Applicant himself states in the article that "if ours gets approved, it'll probably open a Pandora's Box,...". Our clients agree.
 - c. The Applicant, Mr Tucker, is pictured in the article behind what appears to be a bar, with a commercial refrigerator and commercial quantities of alcohol. We are not aware this venue is licensed. Our client has significant concerns regarding the conduct of large numbers of patrons on-site throughout the year at races and other events, where it appears on the face of it alcohol consumption is encouraged.

For the reasons outlined, our client formally objects to the Proposed Development.

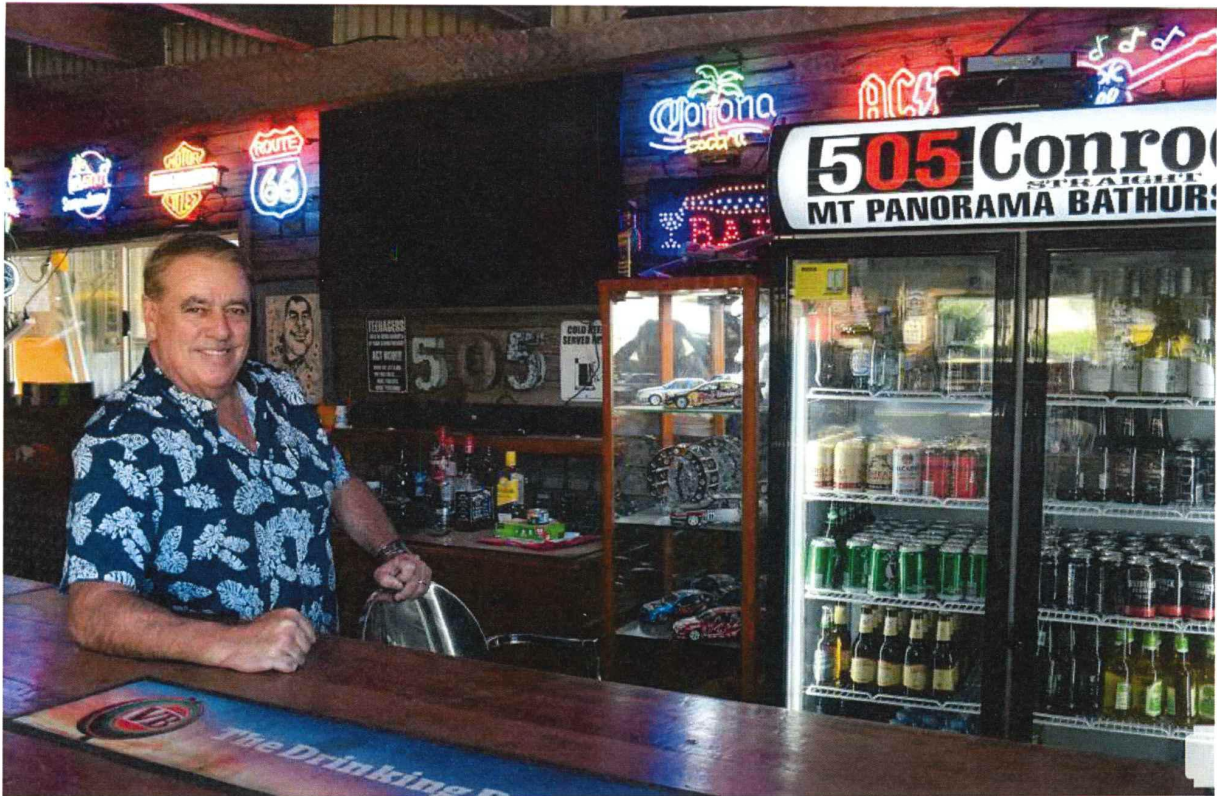
We look forward to your response, which should be directed to us.

Yours faithfully


STEELE+CO

Andrew Dunshea
andrew@steeleandco.com.au

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MORE accommodation options could soon become available around the Mount Panorama circuit.

A development application has been submitted, seeking to build a two-storey dwelling and pool, five cottages, eight "primitive" camp sites and additional shedding at 505 Conrod Straight.

It also seeks to change the use of an existing residential dwelling to tourist accommodation.

The development is estimated to cost \$1.1 million.



3 PROPOSAL

The proposal seeks development consent for the following mixed use development:

- Change of use of residential dwelling to tourist accommodation,
- Proposed tourist accommodation x 5,
- Proposed two storey dwelling including pool,
- Proposed additions to an existing Machinery shed,
- Proposed machinery shed,
- Proposed additions to an existing pool,
- Proposed primitive camp ground including amenities,
- Proposed effluent systems
- Site access modification

 The proposal, as listed in the Statement of Environmental Effects.

Attachment 8.2.4.4

The property, which spans 4.065 hectares on the inside of the circuit, already has two houses and a bunk house that have been used to provide accommodation during major racing events.

READ ALSO: [Fifth event promises to bring best of the best to Mount Panorama](#)

The applicant, Keith Tucker, purchased the property two years ago and initially had no plans to develop it for the purpose of tourism accommodation.

"It wasn't until we read the DCP and LEP for the Mount Panorama precinct, which has totally separate rulings, so we did some investigations," he said.

What drove the Tuckers to develop the site was the number of inquiries they had received from people looking to stay at their property during motor sport events.

"What we're putting on still won't cater for the inquiry, but if we put more on it would be visually polluting, I'd say," Mr Tucker said.

"We know what we can do here and we've kept it to what we would call a bare minimum, and we're really going for that high-end accommodation, too. There's not a lot of that in Bathurst."

ALSO MAKING NEWS: [Your chance to own an exquisite home in a tightly-held estate](#)

The process began around 18 months ago.

The Tuckers had the soil tested, the site fully surveyed and then met with council to discuss what was and wasn't possible for the Conrod Straight property.

The discussions were positive and gave Mr Tucker the confidence to lodge the DA.

"They couldn't have been of more help. A lot of the councils we have dealt with should come up here and train with these people to see how it's done," he said.

Under the proposal, there will be one fully accessible cottage on the site to cater to people with a disability.

Mr Tucker said it was something he wanted to include in the development due to inquiry he has previously received.

To improve safety, the entrance to the property will be relocated.

Mr Tucker also noted a commitment to environmentally friendly development. There will be a bore to service the toilets in the cottages and solar panels on roofs throughout the site.

Existing dwellings throughout the site already feature solar panels and have all been fitted with LED lights.

READ ALSO: [Rollout of LED street lights commences in the Bathurst region](#)

If approved, the development will be done in stages, the entire project anticipated to be complete within two years.

Mr Tucker said it was important for property owners to respond to the demand for accommodation at the Mount, particularly on the inside of the circuit.

"There's basically no accommodation inside the track like what we're doing ... but it's an opportunity that is available there and I don't know that a lot of owners know about that opportunity inside this area," he said.

"If ours gets approved, it'll probably open up Pandora's Box, who knows?"

Additionally, these kinds of developments are expected to encourage people to come back year after year.

"All tourists that come through, whether it's a race car event or not, certainly love the property, love the area, and this sort of property and concept will only bring people back to Bathurst."

Do you have something to say on this topic? Write a letter to the editor:

From: Kaitlin Collins
Sent: Friday, 7 February 2020 9:08 AM
To: David Sherley; Council
Subject: FW: proposed DA 505 Conrod Straight Mt Panorama - Keith Tucker [SEC=UNOFFICIAL]
Attachments: Letter to Bathurst Regional Council.pdf

Dave, FYI.

Please register to 2019/374 thanks.

Kind regards,
Kaitlin Collins
Acting Mayor's Assistant (Mon - Fri)
Bathurst Regional Council
158 Russell Street Bathurst 2795
P: 02 6333 6205
W: www.bathurst.nsw.gov.au

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Kaitlin Collins

Acting Assistant to the Mayor (Wed-Fri)
Bathurst Regional Council
158 Russell Street Bathurst 2795
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-----Original Message-----

From: marie clarke <clarkemarie@bigpond.com>
Sent: Thursday, 6 February 2020 4:10 PM
To: Bobby Bourke <Bobby.Bourke@bathurst.nsw.gov.au>; Ian North <Ian.North@bathurstregionalcouncil.onmicrosoft.com>; Warren Aubin <Warren.Aubin@bathurstregionalcouncil.onmicrosoft.com>; Alex Christian <alex.christian@bathurst.nsw.gov.au>; Graeme Hanger <Graeme.Hanger@bathurst.nsw.gov.au>; Jess Jennings <Jess.Jennings@bathurst.nsw.gov.au>; Monica Morse OAM <Monica.Morse@bathurst.nsw.gov.au>; Jacqui Rudge <Jacqui.Rudge@bathurstregionalcouncil.onmicrosoft.com>; John Fry <John.Fry@bathurst.nsw.gov.au>; Bobby Bourke <Bobby.Bourke@bathurst.nsw.gov.au>
Subject: proposed DA 505 Conrod Straight Mt Panorama - Keith Tucker

We live at 489 Conrod Straight Mt Panorama, next door to the proposed DA for 505 Conrod Straight Mt Panorama.

We are deeply concerned regarding the size and extent of the proposal . The southern side of the proposed perimeter is approximately 20 metres from our home, and we will be subjected to the noise and traffic of visitors to this site, 50 to 80 maybe. This property where we live has been orchard since before 1932 when my parents

Attachment 8.2.4.5

bought it . The surrounding area is rural in nature and the buildings and campsites proposed for next door is not in keeping with this rural living. Mt Panorama will be spoilt for ever if this DA is passed, and poses a precedent for other similar developments.

We would have no control over car or motorbike or quad bike traffic, (burnouts, racing , fumes, late night activities, etc), loud music, late noise from patrons and cars and music, smoke and dust. We would have lack of privacy, rural fencing is not erected for this type of DA. We do not know if there will even be someone of authority on site if we have any problems, or whether that person would care!

We would expect a devaluation in our property price when we decide to sell . We are both in our 70's and are very upset about the above.

.
We enclose an email from our solicitor Andrew Dunshea, who is acting on our behalf. Please read it and take into account the impact this development will have on our lives if it is passed. We hope you will also have a look at the details in the DA , (if you have not already done so), and see the many entries which we are worried about

Norman and Marie Clarke.

--

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Our Ref: AD:186013
Contact: Andrew Dunshea
Your Ref: Wayne McDonald

Solicitor/Director
Ryan Cooney LLB
Andrew Dunshea LLB

6 February 2020

Solicitor
Lisa McLoughlan LLB
Aaron Keating LLB
Matthew Elbourne LLB

The General Manager
Bathurst Regional Council
Russell Street
BATHURST NSW 2795

Licensed Conveyancer
Kate Jameson CPC
Carol Smith CPC

By email: wayne.mcdonald@bathurst.nsw.gov.au

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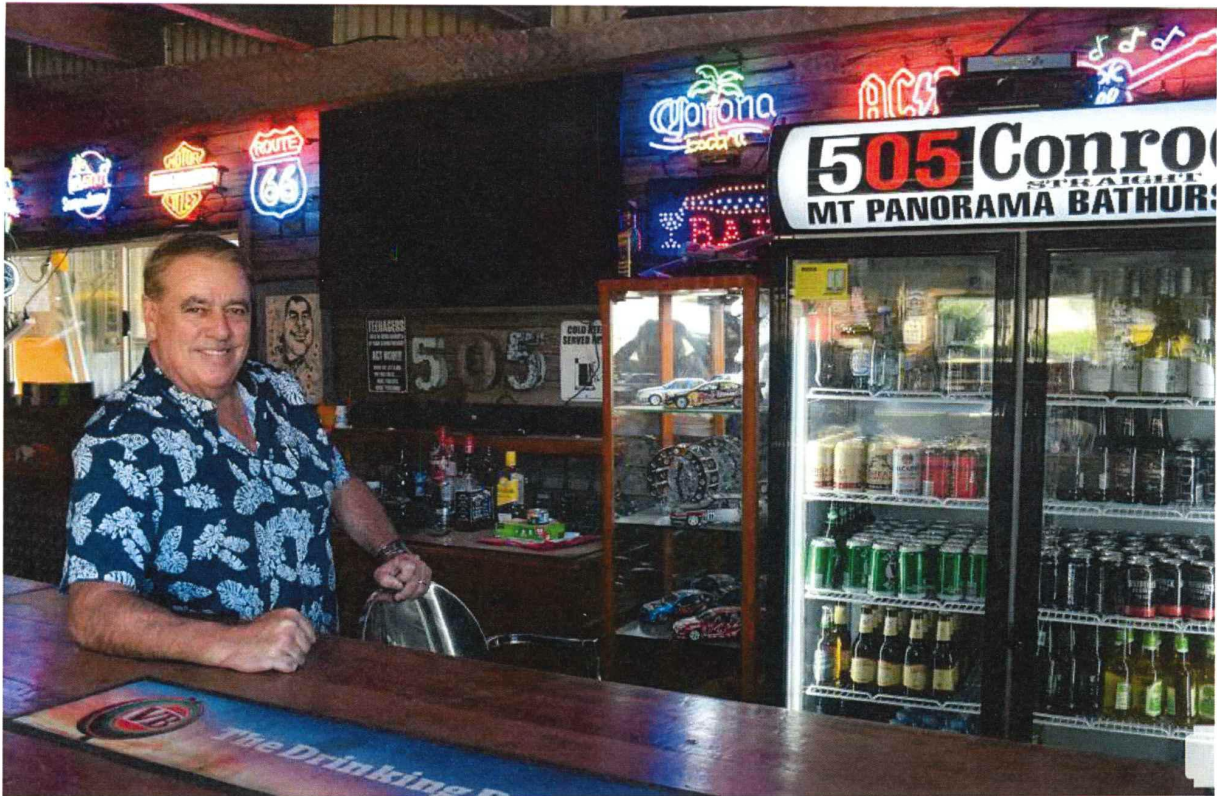
We look forward to your response, which should be directed to us.

Yours faithfully


STEELE+CO

Andrew Dunshea
andrew@steeleandco.com.au

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Attachment 8.2.4.5

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READ ALSO: [Fifth event promises to bring best of the best to Mount Panorama](#)

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"It wasn't until we read the DCP and LEP for the Mount Panorama precinct, which has totally separate rulings, so we did some investigations," he said.

What drove the Tuckers to develop the site was the number of inquiries they had received from people looking to stay at their property during motor sport events.

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ALSO MAKING NEWS: [Your chance to own an exquisite home in a tightly-held estate](#)

The process began around 18 months ago.

The Tuckers had the soil tested, the site fully surveyed and then met with council to discuss what was and wasn't possible for the Conrod Straight property.

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"They couldn't have been of more help. A lot of the councils we have dealt with should come up here and train with these people to see how it's done," he said.

Under the proposal, there will be one fully accessible cottage on the site to cater to people with a disability.

Mr Tucker said it was something he wanted to include in the development due to inquiry he has previously received.

To improve safety, the entrance to the property will be relocated.

Mr Tucker also noted a commitment to environmentally friendly development. There will be a bore to service the toilets in the cottages and solar panels on roofs throughout the site.

Existing dwellings throughout the site already feature solar panels and have all been fitted with LED lights.

READ ALSO: [Rollout of LED street lights commences in the Bathurst region](#)

If approved, the development will be done in stages, the entire project anticipated to be complete within two years.

Mr Tucker said it was important for property owners to respond to the demand for accommodation at the Mount, particularly on the inside of the circuit.

"There's basically no accommodation inside the track like what we're doing ... but it's an opportunity that is available there and I don't know that a lot of owners know about that opportunity inside this area," he said.

"If ours gets approved, it'll probably open up Pandora's Box, who knows?"

Additionally, these kinds of developments are expected to encourage people to come back year after year.

"All tourists that come through, whether it's a race car event or not, certainly love the property, love the area, and this sort of property and concept will only bring people back to Bathurst."

Do you have something to say on this topic? Write a letter to the editor:

DISCUSSION FORUM

DETAILS: 505 CONROD STRAIGHT MOUT PANORAMA

DATE: 26 FEBRUARY 2020

PRESENT: **KEITH TUCKER (OWNER/APPLICANT), ANTHONY DAINITH (APPLICANTS CONSULTANT), RYAN COONEY (SOLICITOR STEELE & CO ON BEHALF OF MR & MRS CLARKE), NORM AND MARIE CLARKE (NEIGHBOURS), NEIL SOUTHORN (DIRECTOR ENVIRONMENTAL, PLANNING & BUILDING SERVICES (CHAIR)), AND WAYNE MCDONALD (DEVELOPMENT CONTROL PLANNER(DCP))**

FILE: DA2019/374

Meeting Opened: 3:00pm

- The Chairman opened discussion with an overview of the proposal and an introduction. Including a round table of attendees and their respective roles.
1. The discussion commenced with Ryan Cooney acting on behalf of the Clarke's working through the points raised in the Steele & Co correspondence dated 6 Feb 2020.

In summary the primary concerns were:

- The potential for occupation numbers to be 50 - 80 or more with insufficient infrastructure capability on site;
 - The lack of notification;
 - Concerns relative to how the proposal fits within the planning provisions;
 - Potential for noise and disruption to privacy, lifestyle and amenity;
 - The potential for the sale and consumption of alcohol;
 - Mrs Clarke added that the proposed development would be only 20 metres away from her front door and she had grave concerns about the likely behaviour of patrons citing drunken orgies, burnouts, dust, noise, safety and disruption to amenity and privacy.
2. The chairman acknowledged the concerns and indicated that some of the issues were not development control issues but poor behaviour would be matters for the Police if they occurred.

3. In response to the general points the Applicant advised:

- That there would be no sale of alcohol and referred the meeting to his Airbnb and bookings.com websites for descriptions of the accommodation provided;
- Notification was a council policy matter;
- There was to his knowledge no limit on the number of persons able to accommodate on the site at any one time but the accommodation size would be the limiting factor. He acknowledged that he was hopeful of high occupancy to make the enterprise worthwhile but realistically anticipated only 60 -70% occupancy rate spread over the year;
- Facilities of site would need to be upgraded as part of the proposal and he had already installed a 30,000 litre water tank and a bore which would be used for ground maintenance, fire reservoir and dust suppression if needed, limiting impact on the reticulated supply;
- There was no opportunity for a site based liquor licence so the sale of alcohol would not happen;
- Mr Tucker stressed that the only part of the proposed development close to the Clarkes' residence is the proposed new private dwelling for his personal use which was the required 20 metres away from the boundary. All other structures and the campground are to be situated distant from the Clarke's residence;
- The site operation would be governed by a plan of management that would be distributed to patrons on arrival indicating the necessary safety access, egress obligations and expected behaviour for occupation;

4. Development Control Planner addressed the issues by providing:

- Matters raised in respect of suitability of the site and the infrastructure capacity of the site as well as compliance with the BRLEP and BRDCP would be dealt with and considered in the normal assessment process by consideration of the various Council internal Departments including the Engineers, Environmental Health Officers, Accredited Certifiers, Environmental Officers and Planning Staff;
- Council did not have a policy on occupancy rates however the general criteria for the primitive campground was legislated and not contravened by the proposal. Occupation of the units would be limited by their size and the Machinery shed would be specifically condition to not be used for habitable purposes.

5. Mr Cooney summarized by stating that he would further discuss with his clients (the Clarkes) and provide additional response.

6. The Chair summarised the proceedings and provided that the issues raised in the submissions and at the discussion forum were acknowledged and would be considered as part of the determination process. It was suggested that due to the sensitive nature of the site and the public interest in the application, being Mount Panorama, the determination would not be undertaken at delegate level but rather would likely be referred to Council for consideration. He invited the applicant to provide any additional support information he saw fit and thanked the Clarkes for their attendance and interest in the process.

Meeting Concluded: 3:40pm



N Southorn
DIRECTOR
ENVIRONMENTAL, PLANNING & BUILDING SERVICES

From: Ryan Cooney <ryan@steeleandco.com.au>
Sent: Monday, 2 March 2020 7:52 AM
To: Council; Wayne McDonald
Subject: Proposed Development Conrod Straight: DA 2019/374
Attachments: Letter to BRC.pdf

Dear Mr McDonald

Please see letter **attached**.

Ryan Cooney
Solicitor Director



Level 1, 154 Russell Street, Bathurst NSW 2795 | PO Box 1504, Bathurst NSW 2795 | DX 3110 Bathurst NSW
Tel 02 6331 7666 | Fax 02 6332 2221 | www.steeleandco.com.au



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Our Ref: AD:RC:186013
Contact: Andrew Dunshea
Your Ref: Wayne McDonald

Solicitor/Director

Ryan Cooney
Andrew Dunshea

Solicitor

Lisa McLoughlan
Sandra Doueih
Chris Cooney

Licensed Conveyancer

Kate Jameson
Carol Smith
Tracy Hurst

28 February 2020

The General Manager
Bathurst Regional Council
Private Mail Bag 17
BATHURST NSW 2795

By email: wayne.mcdonald@bathurst.nsw.gov.au

Dear Sir

**Re: Proposed development – 505 Conrod Straight, Mount Panorama
DA 2019/374 (“Proposed Development”)**

We refer to our letter of 6 February and the meeting held at Council on Wednesday 26th February, attended by Anthony Daintith, Keith Tucker, Norm and Marie Clarke, Neil Southorn, Wayne McDonald and Ryan Cooney.

At the meeting the points raised in our letter of 6 February were used as the basis for an agenda for the discussions.

The first item of discussion was around the potential number of people that could be accommodated on site at any given time. Mr Tucker was unable to provide a definitive answer as to what that number was proposed to be. The concern raised in our 6 February letter at numbered point 4 regarding Bathurst Regional Council LEP 2014 at 7.8 was not addressed either and remains to be a concern of our clients.

The lack of contact or notice referred to at numbered point 2 in our 6 February letter was addressed.

The items raised in our 6 February letter at point 3 were tabled and it was acknowledged by Mr McDonald that those items have been taken on board by him and will be considered and addressed in Council's consideration of the application and in conditions imposed should approval be given. Regardless, we reiterate our clients' concern that the proposed development is contrary to the provisions of the Bathurst Regional Council Development Control Plan, as referred to in our 6 February letter.



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The lack of buffer or barrier proposed between Keith Tucker's land and our clients land was discussed. It was acknowledged that the campground area will be on the opposite side to our clients property, and the closest new structure would be a private residence. Additionally, it was raised by Keith Tucker that rules and guidelines would be published and distributed to each party booking on site addressing noise and behavioural matters.

It was discussed that the 'bunkhouse' shed would not be used as part of the development. It was further discussed that Council may consider stating in the conditions that that shed is specifically not to be used for habitation.

The sale and consumption of alcohol was discussed. Keith Tucker confirmed that he will not be providing alcohol or selling alcohol and will not be applying for any liquor licence. Keith commented that he includes a statement on his existing Air B and B website that no alcohol is provided by the host.

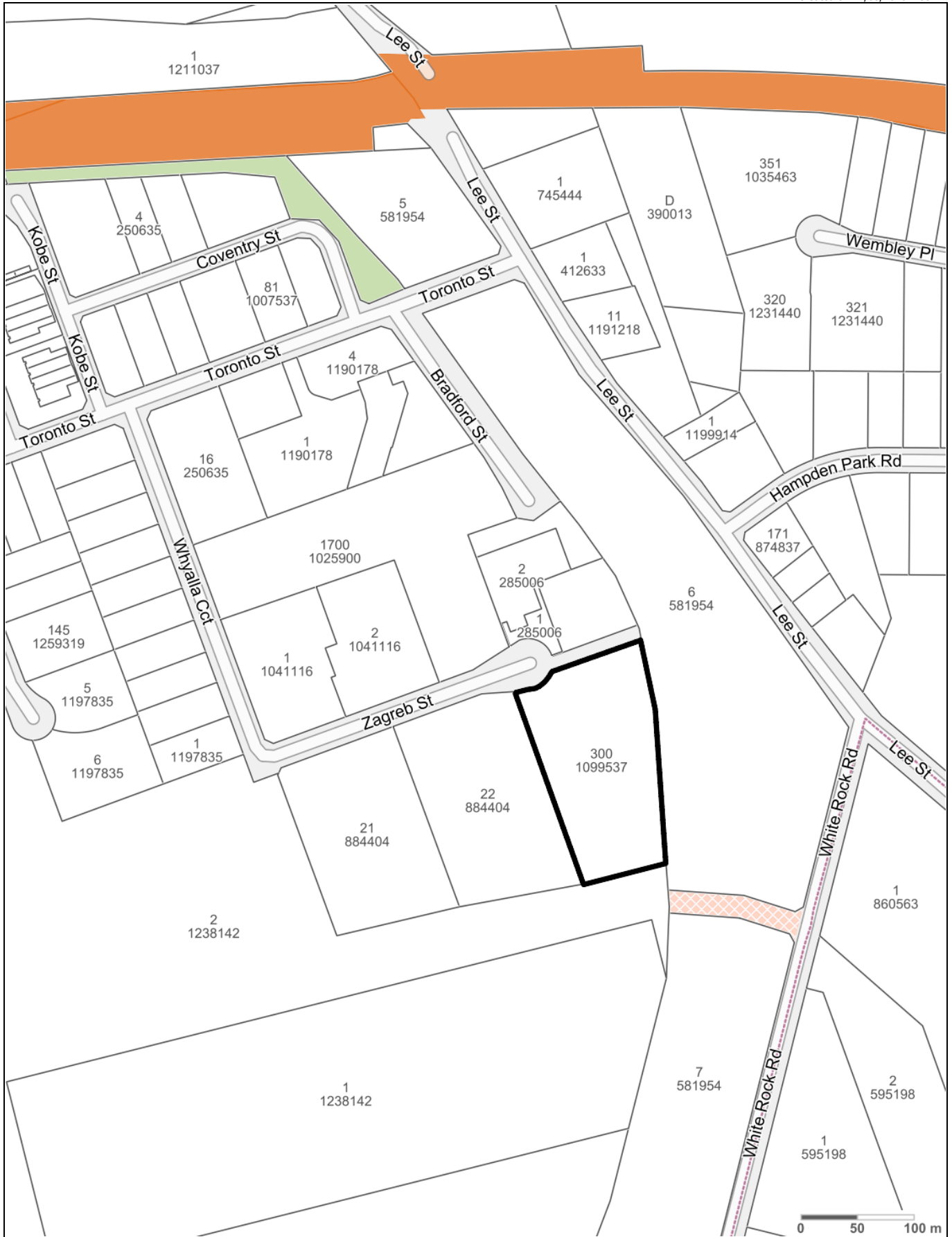
As discussed at the meeting a number of our client's concerns and requests remain and are reinforced above. It is our clients expectation that Council will consider and address the matters raised in our letter, including the matters raised in numbered paragraph 3 of our letter, when considering the application.

Finally, we consider given the substantive matters raised and the current apparent intention of the Planning Department to approve the subject application, the matter should be presented before an Ordinary Council meeting. Please confirm Council's intention in this regard.

Yours faithfully



STEELE+CO



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Drawn By: Daniel Dwyer
Date: 27/03/2020
Projection: GDA94 / MGA zone 55
Map Scale: 1:4380 @ A4

DA 2019/403
23 Zagreb Street, Kelso



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Date: 27/03/2020
Projection: GDA94 / MGA zone 55
Map Scale: 1:4380 @ A4

DA 2019/403
23 Zagreb Street, Kelso

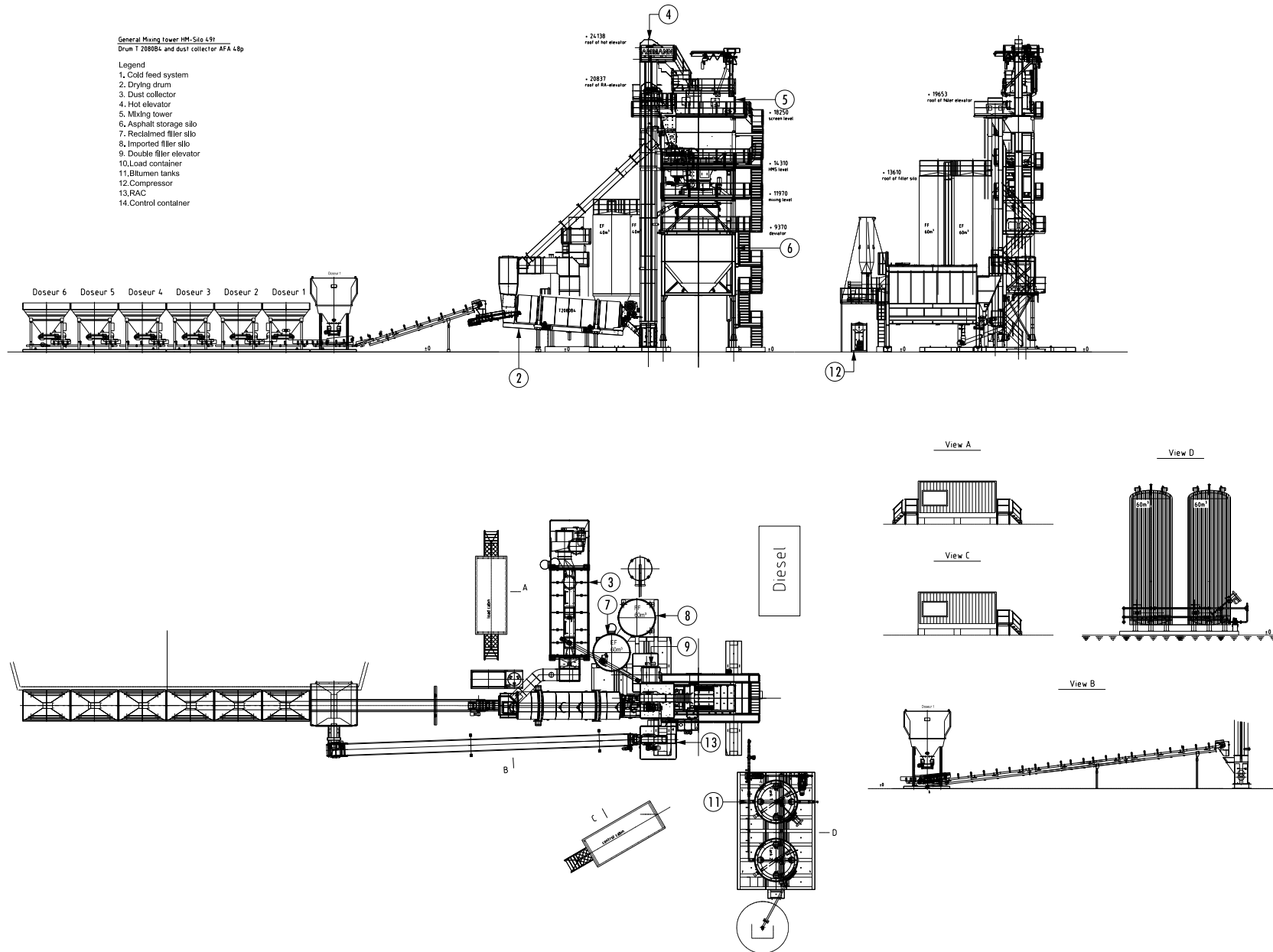


FIGURE 3.2
Asphalt Plant
General Arrangement



Image Source: Nearmap (Oct 2019)
Data Source: Ammann (2019)

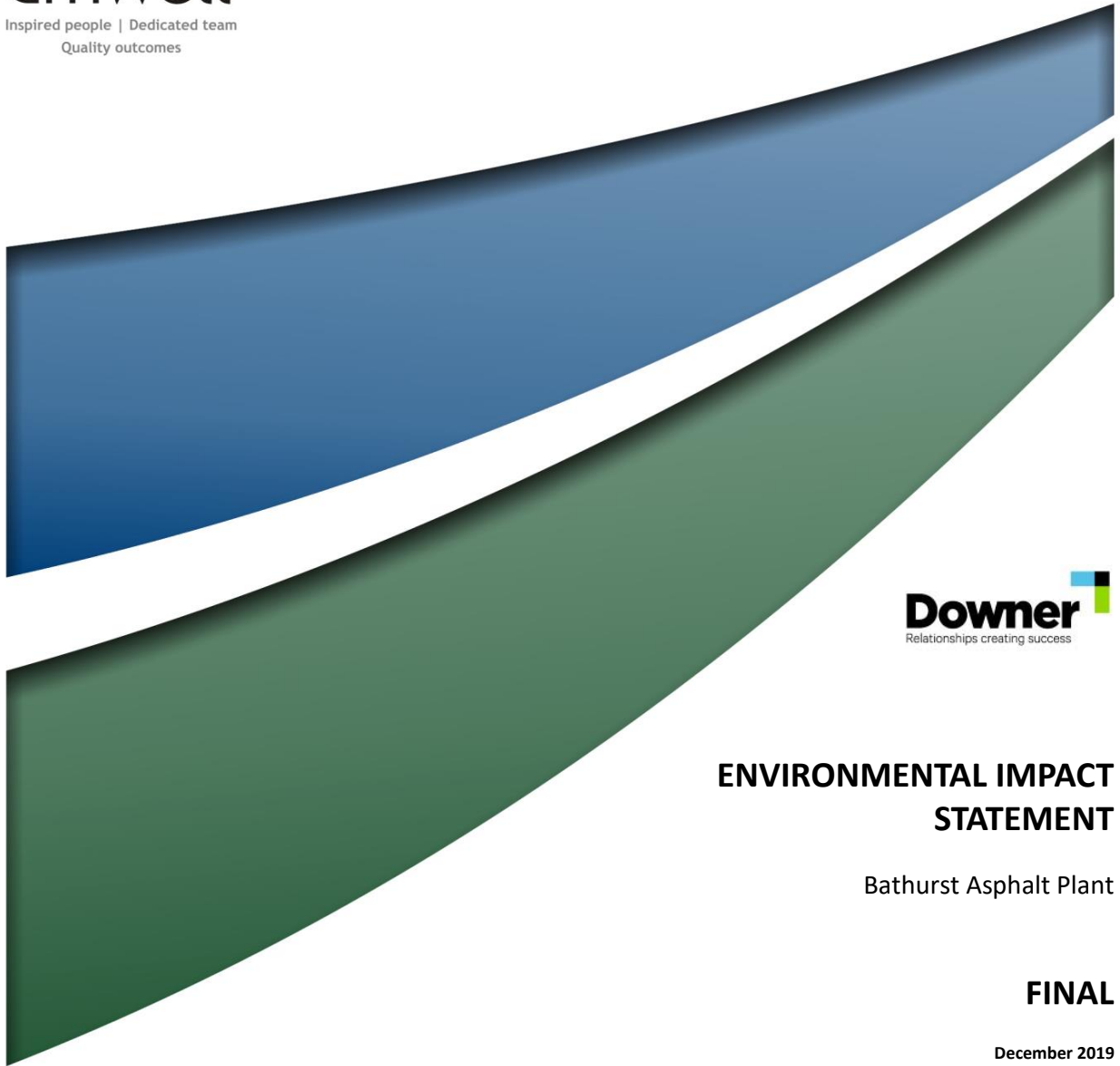
0 2.5 50 75m
1:1500

Legend

- Project Site
- Stormwater Pit

FIGURE 3.3

**Proposed Asphalt Plant
Design and Arrangement**



**ENVIRONMENTAL IMPACT
STATEMENT**

Bathurst Asphalt Plant

FINAL

December 2019



ENVIRONMENTAL IMPACT STATEMENT

Bathurst Asphalt Plant

FINAL

Prepared by
Umwelt (Australia) Pty Limited
on behalf of
Downer Group Limited

Project Director: Alex Irwin
Project Manager: Robyn Provost
Report No. 3901/R01
Date: December 2019



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Document Status

Rev No.	Reviewer		Approved for Issue	
	Name	Date	Name	Date
V1	Tim Browne	July 2017	Tim Browne	July 2017
V2	Robyn Provost	November 2019	Alex Irwin	December 2019

Executive Summary



Downer Group (Downer) is seeking development consent for the construction and operation of a new, state of the art fixed asphalt plant (the Project) on Lot 300 DP 1099537, 23 Zagreb Street, Kelso, NSW (the Project site). The Project site is located within the Kelso industrial estate within the Bathurst Regional Council Local Government Area (LGA) with the several residential and other sensitive receivers located within 1,000 m of the Project site.

Downer currently operates a hot mix asphalt plant within the Project site under the existing development consent (DA 85/78). This fixed asphalt plant has been targeted for asset replacement to improve efficiency, reduce costs and deploy improved products. The new asphalt plant will be a state of the art design that utilises substantial advances in technology in comparison to the existing plant. The new fixed asphalt plant will be fitted with technology which will allow Downer to reclaim and reuse existing asphalt pavements and other products such as recycled printer toner to provide a new range of 'low carbon' asphalt products. The improved technology will allow Downer to improve the sustainability of the operation by producing the same volume of asphalt using less energy and raw materials. The reuse of materials will result in reduced waste to landfill.

This Environmental Impact Statement (EIS) has been prepared to accompany a Development Application for the Project, which is Designated Development, under Part 4 of the *Environmental Planning and Assessment Act 1979*. Bathurst Regional Council (BRC) will be the consent authority for the Project.

The Project

Downer proposes to decommission and remove the existing asphalt plant. The existing plant will be removed from site prior to a new fixed asphalt plant being installed and at no time will the two plants operate simultaneously. Downer proposes to operate a mobile asphalt plant at a site in Oberon during the period of construction and commissioning. The site currently includes a demountable administration office and amenities, a workshop, weighbridge and vehicle wash down bay which will continue to operate as part of the Project.

The new fixed asphalt plant will be used to supply local and regional demand. To be able to adequately meet the demands of a large project Downer is seeking approval to produce up to a maximum of 1,200 tonnes per day, with daily production rates fluctuating in response to customer demand. Typical daily production rates would be substantially less than this and generally undertaken during standard work hours with occasional campaigns on weekends and at night-time when required.

Downer proposes to use Ammann's UniBatch ValueTech 180 series fixed asphalt plant for the permanent plant at the site. The technological design of the plant has been adapted for Australian requirements and operating conditions. Some key aspects of the UniBatch ValueTech 180 series include:

- Low noise and air emissions

- Energy efficiency
- Design meets Australian Standards
- Production capacity of 180 tonnes per hour
- Minimal waste.

Need and Benefit

Downer own and operate in excess of 30 asphalt plants across Australia. These asphalt plants are regularly upgraded and/or replaced to improve efficiency and reduce costs through improved capability and bring new products to market. Downer propose to replace the existing asphalt plant with a new plant showcasing improved technology that will allow for a greater number of products to be supplied to Downer's customers as well as providing resource and energy efficiencies that will assist in Downer remaining competitive in the marketplace. The improved technology of the proposed fixed asphalt plant will allow for use of recycled products in the asphalt production process and includes Reclaimed Asphalt Product (RAP), "Reconophalt" (manufactured by Downer) which reuses printer toner, pelletised rubber from recycled tyres and recycled crushed glass. The use of the recycled products reduces waste to landfill.

The Project benefits include:

- Reduced energy and costs to produce asphalt.
- Maintaining Downer's market share in the region.
- Capability to produce Downer's new 'low carbon asphalt' range of products.
- Continued employment of local people at the site.
- Appropriate use of an existing brownfield site.
- Upgrade and modernisation of plant in order to minimise air and noise emissions.

Consultation

As part of the EIS process, consultation has been undertaken with BRC and other government agencies and authorities as well as the local community. The key issues identified through the consultation process include:

- noise,
- air quality,
- traffic impacts,
- waste management, and
- soil and water.

Overview of Environmental Issues

This EIS includes a detailed assessment of the potential environmental and social impacts of the Project and identifies the management and mitigation measures that will be implemented to minimise adverse impacts to the environment and community as a result of the Project. A summary of the key findings of the assessment process is provided in **Table ES1**.

Table ES1 Summary of the Key Environmental Impact Assessment Findings

Environmental/ Community Issue	Overview of Potential Impacts
Noise	<p>The computer-based modelling software package CadnaA was used to predict the noise levels likely to be produced by the Project within the surrounding environment. Prevailing meteorological conditions and Project Noise Trigger Levels (PNTLs) were established in accordance with the Noise Policy for Industry.</p> <p>On the basis that the construction would be undertaken primarily during standard hours, as defined by the Interim Construction Noise Guideline (ICNG), with the adoption of the ICNG recommended work practices to minimise noise impacts at residences and other sensitive land uses, it is expected that construction noise emissions would readily comply with the criteria due to the separation distance between the site and the nearest receivers.</p> <p>With the adoption of standard (Level 1) noise mitigation, the modelling predicts exceedances of the PTNLs during the evening and night-time under both calm and noise enhancing conditions. After application of the following additional (Level 2) noise mitigation, the number and size of exceedances was reduced.</p> <ul style="list-style-type: none"> • Burner equipped with silencer (standard with all Amman plant burners), • Chimney equipped with silencer, • Cladding for virgin aggregate elevator head, • Cladding for transfer elevator/screen, and • removal of the oversize duct on the plat. <p>With Level 2 noise mitigation implemented, the predicted noise levels comply with the project PNTLs at most receivers under calm meteorological conditions. At receiver R3 a minor exceedance of the evening and night-time PNTLs of 1 dB(A). Exceedance of the night-time PNTL by 2, 3 and 1 dB(A) respectively is predicted at receivers R1, R3 and R8 under the worst-case meteorological conditions of winter nights with a temperature inversion. Under worst-case meteorological conditions, represented by inversion conditions, exceedance of up to 3 dB(A) are predicted at three receivers. Sleep disturbance criteria are predicted to be met at all receivers except for a 1 dB(A) exceedance at R3</p> <p>Further noise modelling was undertaken which demonstrates that if the front-end loader is not operated, compliance with both the PTLs and sleep disturbance criteria would be met.</p> <p>On the basis that operating campaigns at night during the winter months when inversions are most likely would be rare, and noting the fact that the new plant would incorporate greater noise mitigation than the current plant (and hence generate less noise emissions), the impacts associated with the Project are assessed as acceptable. Downer would undertake noise monitoring to review the validity of model prediction and commit to reduced operation of the front end loader where extended night-time operations (beyond 6 weeks) are required to further mitigate and manage noise.</p> <p>Road noise levels are predicted to increase by less than 1 dB(A) and therefore compliance with road noise criteria is expected.</p>

Environmental/ Community Issue	Overview of Potential Impacts
Air quality	<p>Potential air quality impacts from the Project were assessed in accordance with the EPA's <i>Approved Methods for the Modelling and Assessment of Air Pollutants in NSW</i> to determine compliance with the relevant criteria. NSW EPA assessment criteria relate to the total concentration of pollutant in the air rather than just the contribution from project-specific sources.</p> <p>The air quality impacts for the proposed fixed asphalt plant at Kelso were assessed using the air dispersion model AUSPLUME. The potential air quality issues from the Project were identified as particulate matter (as PM₁₀ and PM_{2.5}), carbon monoxide (CO), nitrogen oxides (NO_x), sulfur oxides (SO_x) and PAH (as benzene) from the asphalt production processes. With the exception of PM_{2.5}, where background levels were already established at the criteria level, model predictions were below the EPA criteria for all pollutants including PM₁₀, CO, NO₂, SO₂ and PAH at all ground-level locations. The predicted incremental contribution of the plant to PM_{2.5} levels was no greater than 0.1 µg/m³.</p> <ul style="list-style-type: none"> • Odour from asphalt plants has often been characterised as a strong smell of burnt rubber. This type of odour will likely be a mixture of volatile organic compounds and influenced by crumb rubber being used for production. In addition, the potential fugitive odour emissions would be from: <ul style="list-style-type: none"> • The loading of hot asphalt mix into delivery trucks, and • The loaded hot mix on trucks prior to being covered with a tarpaulin. <p>These are transient activities and, as such, it is not possible to know when emissions will occur. It is important to note that there has been no history of odour complaints relating to emissions from the existing plant. As the proposed plant will not increase the number or nature of odour sources on the Project site, adverse effects of odour at surrounding receivers is not expected. Nevertheless, the use of liquid bitumen, petroleum distillates and emulsifiers could result in the fugitive release of odorous compounds, as noted above, and it will be important to manage these activities in order to minimise odour impacts as far as practicable.</p>
Traffic	<p>The Project site is located on Zagreb Road, classed as a minor road in the Bathurst Regional Council Development Control Plan 2014, within an existing industrial estate located to the south of the Great Western Highway. Access for all trucks transporting raw materials to the site are via Whyalla Circuit. Whyalla Circuit provides access from/to Toronto Street and Lee Street which leads to connections with the Great Western Highway via Hampden Park Road and Littlebourne Street.</p> <p>Intersection traffic counts were undertaken to characterise the local road network in the vicinity of the Project site. Generally, the road traffic flows are well within Level of Service 'A' operations. The technical lane capacity of the approach road system adjacent to the Project site is not exceeded and performance (Level of Service) levels are very good.</p> <p>At potential peak daily production levels, if the peak hour traffic generated by the Project is added to the existing traffic numbers, there is no discernible change in mid-block performance along the approach/transport routes for the Project.</p> <p>The roads surrounding the Project site will continue to operate well within their technical and functional lane capacity levels as described by Austroads and NSW RMS guidelines. The traffic forecasts based on the distribution and assignment assumptions suggest that there will be very little impact to the local road network.</p> <p>No changes are planned or recommended for the intersections on the road network supporting the Project site.</p> <p>Similarly, during construction activities it is anticipated that the levels of traffic required for deliveries and construction employees will be less than at the peak operational activities. As such, construction traffic impacts are not expected as a result of the Project.</p>

Environmental/ Community Issue	Overview of Potential Impacts
Soil and water management	<p>The Project site is a relatively level lot that is predominately hardstand with some landscaping around the perimeter. There are no undisturbed soil resources remaining on the Project site.</p> <p>Key outcomes of the surface water assessment are as follows.</p> <ul style="list-style-type: none"> • Discharge of contaminated stormwater runoff from the plant area is unlikely as runoff drains to stormwater Collection Pit (CP) 1 which subsequently discharges into the existing Triple Interceptor Pit designed to remove both sediment and hydrocarbons. Stormwater runoff from the car park drains to stormwater pit CP2 which also reports to the Triple Interceptor Pit. Monitoring of water from the Triple Interceptor Pit has demonstrated hydrocarbons and other pollutants have been removed or reduced to acceptable levels. • The Project site is shown to be outside of the 1% AEP flood extent in the Bathurst Council Floodplain Management Policy (2008). • The proposed development will not interfere with or intersect groundwater and requires no licensing under the <i>Water Management Act 2000</i>. • Site water demands are estimated to be between 0.45 and 0.6 ML/year and are not expected to change as a result of the Project. <p>The most likely impacts on soil and water resources are associated with the potential for entrainment of sediment, hydrocarbons and other contaminants in stormwater runoff and discharge or leaching to surrounding soil and water resources.</p> <p>Sources of contamination include historical locations of surface staining from bitumen and diesel, including former and existing aboveground storage tanks (ASTs), underground storage tanks (USTs) for leaded petrol and diesel, waste oil storage area, former tar storage area and gravel drainage line located at the south-west section of the Project site, onsite laboratory and bitumen operations.</p> <p>Soil</p> <p>With the exception of three soil sampling points (located at the south-west section of the Project site) which exceeded the adopted criteria for total recoverable hydrocarbons (TRHs), analysis of soil samples show that the contaminant concentrations measured in the soil were either below the limit of detection or below the adopted criteria. No potential asbestos containing material (ACM) was observed onsite or detected during analysis.</p> <p>Downer will implement additional soil testing in the south west corner to determine TRH concentrations and will either remediate or replace the aggregate drain as part of the development after further investigations have been undertaken.</p> <p>Groundwater</p> <p>All four groundwater wells reported dissolved metals (including copper, lead, nickel and zinc) in exceedance of the adopted guideline criteria. Based on the concentrations of copper, nickel and zinc in the up-gradient well these analytes are likely to reflect natural background conditions. TRH, BTEX and naphthalene concentrations were detected in one monitoring and, based on comparison to upstream samples, it is expected these are site generated. Comparison to relevant criteria, established after consideration of applicable environmental values outlined in the Environmental Objectives for Water Quality and River Flow (NSW Government 2006) to be protected, demonstrates that any minor exceedance of criteria would be effectively attenuated before adverse impact on the relevant environmental value occurs.</p>

Environmental/ Community Issue	Overview of Potential Impacts
Ecology	<p>The Project site has been subject to extensive disturbance as an existing industrial site. The Project site consists predominately of cleared trafficable areas, stockpile areas, plant and equipment associated with asphalt production and planted trees bordering the Project site.</p> <p>It is considered unlikely that the Project site presents habitat for any threatened species, as the property has been cleared of all vegetation, excluding the planted trees around its boundaries. The Project is proposed to occur wholly within the existing industrial site and will not require the removal of any vegetation</p>
Aboriginal Heritage	<p>The Project site has been disturbed with the ground surface impacted as an existing asphalt plant within an industrial site. Given the terrain and history of extensive ground disturbance and clearing the Project site is considered to have no archaeological potential. The Project is therefore not expected to impact on any known items of Aboriginal cultural heritage.</p>
Historic Heritage	<p>A search of local, State and National heritage databases was undertaken and identified no historic heritage items located within or in close proximity to the Project site. The closest heritage items are located approximately 770 m to the south-east of the site. This heritage item is a sufficient distance to not be impacted by indirect impacts associated with the Project.</p>
Visual	<p>The Project site is located within an area that has been used for industrial purposes for many years. Trees along the boundary of the Project site and the local topography including an existing bund along the western side of White Rock Road and Lee Street form an effective screen, obstructing surrounding views of the existing asphalt plant.</p> <p>The key change within the Project site will be the replacement of the fixed asphalt plant which is the largest visual element within the site and may result in passing motorists on Lee Street and White Rock Road having glimpses of the plant. This represents a very small change to the existing visual environment with any views of the plant being temporary as motorist pass by the site. The other elements of the site including office and workshop will remain generally unchanged and not visible from publicly accessible areas.</p> <p>The Project site is surrounded by industrial land use on all sides, and the Project is not considered to be out of character with the surrounding visual environment. Further, it is considered that lighting will not have any significant visual impact on any neighbouring private properties.</p>
Waste	<p><i>The Protection of the Environment Operations (Waste) Regulation 2014</i> enables the EPA to issue resource recovery exemptions 'where the application of a waste material to land, its use as a fuel, or use in connection with a process of thermal treatment is a bona-fide, fit-for-purpose, re-use opportunity rather than a means of waste disposal' (EPA 2015).</p> <p>The Reclaimed Asphalt Pavement Exemption 2014 applies to reclaimed asphalt pavement for use as an alternative raw material in the manufacture of asphalt. Similarly, the Recovered Tyres Exemption 2014 and the Steel Furnace Slag Exemption 2014 apply to the supply of the pelletised tyre rubber product 'crumb rubber' and steel furnace slag for use as alternative raw materials in the manufacture of asphalt. An EPL is not required provided the products are sourced from an exempt or appropriately licenced supplier that complies with the conditions of the relevant exemption and that the asphalt is produced in accordance with the relevant Australian Standard.</p> <p>Wastes produced during the construction and operation phases of the Project will be managed in accordance with the principles of the waste hierarchy, where emphasis is placed upon reduce, reuse, recycle prior to disposal of its wastes. The use of Recycled Asphalt Pavement, crumb rubber product from recycled tyres and steel furnace slag will all contribute to a reduction in waste products going to landfill.</p>

Environmental/ Community Issue	Overview of Potential Impacts
Hazard and risk	<p>A preliminary risk screening was undertaken for the Project to determine the need for a Preliminary Hazard Analysis (PHA) in accordance with <i>SEPP 33 – Hazardous and Offensive Development</i> (DoP, 1992) (SEPP 33). The preliminary screening involved the identification and assessment of the storage of specific dangerous goods classes that have the potential for significant off-site effects.</p> <p>The preliminary risk screening identified that none of the hazardous materials to be stored at the Project site are above SEPP 33 screening thresholds and therefore a PHA is not required. The number of transport movements for the relevant dangerous goods classes would not exceed either the weekly or screening thresholds and therefore a route evaluation study is not required for the Project.</p> <p>Downer will ensure that flammable and combustible liquids will be separated by an adequate distance from ignition sources and stored in accordance with <i>AS1940 – 2004 The storage and handling of flammable and combustible liquids</i> (AS1940).</p>
Socio-economic	<p>The Project is considered likely to have a number of positive social and economic impacts. The capital investment value of the Project is approximately \$5.6 million. The Project is proposed to provide asphalt to a range of projects for Local and State Government as well as private industry.</p> <p>In regard to the immediate local community, there will be the opportunity for the ongoing employment of 12 full time employees and 2 casual employees working full time onsite. There is also an asphalt crew of up to 10 employees, including the requirement for additional contract drivers for haulage; who are anticipated to be sourced from the local area.</p> <p>The Project is unlikely to cause negative effects on the local economy. Expenditure from Downer and its employees will benefit the local and regional economies through direct spending of wages and employing the services of contractors, transport operators and other associated service providers. In addition, the Project will support local industry and employment through sourcing of aggregate and quarry products used in the production of asphalt from a regional quarry and through the provision of a local supply of asphalt for road works.</p> <p>The environmental impact assessment findings have identified that the Project will not result in any unacceptable impacts to the environment or community with the application of appropriate management and mitigation strategies. As such, the socio-economic benefits of the Project are therefore considered to outweigh the potential costs.</p>

The Project provides an opportunity for Downer to implement and operate improved technology and provide a greater number of products to customers whilst minimising potential impacts to the environment and community. The Project would allow Downer to be more energy efficient through the improved technology of the upgraded asphalt plant providing the capability to produce Downer's new 'low carbon asphalt' products. The site location allows for the efficient supply of these asphalt products to local and regional markets for clients.

As the maximum daily production rate may be up to 1,200 tonnes due to potential project demands, the key environmental studies have been based on this rate. As the average actual daily production rate will be significantly less than 1,200 tonnes per day, this EIS represents a conservative assessment on the worst case scenario. It is considered that with the implementation of all mitigation measures the Project could proceed with acceptable impacts to the environment and community as well as providing benefits over the existing, aged facility.

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1.0 Introduction

Downer Group (Downer) is seeking development consent for the construction and operation of an asphalt plant (the Project) at Lot 300, DP 1099537 (the Project site), situated at 23 Zagreb Street, Kelso in New South Wales (NSW) (refer to Figure 1.1). The Project involves the demolition of the existing asphalt plant and construction and commissioning of a new asphalt plant.

The Project site is located within the industrial precinct in the suburb of Kelso, within the Bathurst Local Government Area (LGA). It covers an area of approximately 1.9 hectares (ha) and bounded by a spur line and loading yards of the Main Western Railway to the east, a tributary of Raglan Creek to the south and industrial buildings of the Kelso Industrial Estate to the west and north. The Scots School Bathurst is situated approximately 350 metres (m) south-east of the Project site with the closest residential dwelling in the suburb of Kelso being approximately 240 m to the north-north-east.

Under Schedule 3 (Designated Development) of the *Environmental Planning and Assessment Regulation* (EP&A Regulation) any facility that proposes the production of more than 30,000 tonnes of bituminous materials per year and carried out for a period greater than 12 months is considered to be designated development. As detailed in **Section 1.2**, the Project proposes a project life of up to 50 years and will have capacity to produce greater than 30,000 tonnes of asphalt per annum. Accordingly, an Environmental Impact Statement (EIS) is required to accompany the development application under Part 4 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). Bathurst Regional Council will be the consent authority for this Project. The new development consent being sought will replace the existing consent and the Project will operate under the new consent which will cover the Project area.

This EIS has been prepared by Umwelt (Australia) Pty Limited (Umwelt) on behalf of Downer to assess the potential impacts of the Project. This EIS has been prepared in accordance with the requirements of the Secretary of NSW Department of Planning and Environment (DPE) (now the Department of Planning, Industry and Infrastructure (DPIE)) as detailed in **Section 1.4** and **Appendix 1**.

1.1 The Proponent

The Proponent for the Project is Downer. Downer is a provider of a range of engineering, construction, operation and maintenance services to customers in markets including transportation, mining, energy and industrial engineering, utilities, communications and facilities. Downer own and operate in excess of 30 asphalt plants across Australia. These asphalt plants are regularly upgraded and/or replaced to improve efficiency and reduce costs through improved capability and to bring new products online.

Downer employs approximately 20,000 people primarily in Australia and New Zealand, as well as the Asia-Pacific region, South America and Southern Africa.

1.2 Overview of the Project

Downer currently operates a hot mix asphalt plant within the Project site under the existing development consent (DA 85/78). The existing asphalt plant is 39 years old, experiences consistent breakdowns and has been targeted for replacement. Downer proposes to decommission and demolish the existing asphalt plant and construct and operate a new asphalt plant at the Project site.



FIGURE 1.1
Locality Map



The proposed asphalt plant will be used to supply local demand. To be able to adequately meet the demands of a large project Downer proposes to produce up to 1,200 tonnes per day, with daily production rates fluctuating in response to customer demand and typically would be substantially less than this. While generally undertaken during standard work hours (6.00 am to 6.00 pm Monday to Friday) occasional campaigns on weekends and at night-time are likely to be required from time to time. The likely annual production rate is expected to be approximately 60,000 tonnes of asphalt but will be dependent on the market.

Other materials used in the asphalt production process will be sourced from locations detailed in **Section 3.2**. The asphalt produced will be transported to locations and projects within the region.

The Project benefits include:

- Improved sustainability through reduced energy and reduced reliance on virgin materials
- Reduce costs to produce asphalt
- Continued employment of local people at the site
- Capability to produce Downer’s environmentally friendly ‘Low Carbon Asphalt’ range of products
- Maintaining Downer’s market share in the region.

The key aspects of the Project are summarised below in **Table 1.1**.

Table 1.1 Summary of Project Details

Project Component	Proposed Project
Project Life	50 years
Land Description	Lot 300, DP 1099537
Production	1,200 tonnes per day on average. Annual production approximately 60,000 tonnes, dependant on the market.
Hours of Operation	Ability for 24 hours a day, 7 days a week as required on a project basis.
Site Access	Site access and egress from Zagreb Street on the north-eastern boundary of the Project site.
Materials	<p>Materials used in the production of asphalt that will be transported to the site include:</p> <ul style="list-style-type: none"> (i) Reclaimed Asphalt Product (RAP) (ii) Modified Toner Polymer (from recycled printer cartridges) (iii) Pelletised tyre rubber (iv) Bitumen (v) Hydrated lime (vi) Fine sand (vii) Aggregate and quarry product. <p>Aggregate and quarry products will be sourced from Oberon Quarry. Asphalt produced on site will be transported to local projects within the region as required.</p>
Employment	12 full time employees and 2 casual employees working full time onsite at the plant. There is also an asphalt crew made up of 10 people including permanent and casual staff (not including sub-contractors). Additionally, there will be approximately 10-14 sub-contracted truck drivers will make up the ancillary staff.

1.3 Schedule of Lands

The Project is located on land identified as Lots 300 of DP 1099537. The Project site is owned by Bathurst Regional Council and leased by Downer.

1.4 Secretary's Environmental Assessment Requirements

As outlined above, the Project is a class of designated development requiring approval under Part 4 of the EP&A Act. In accordance with Schedule 3, Part 2 of the EP&A Regulation, the Secretary's Environmental Assessment Requirements (SEARs) were requested from the Secretary of DPIE for the preparation of the EIS. Due to unforeseen Project delays associated with site layout plans, the SEARs which were originally issued on 17 March 2017 were extended for a period of 6 months on 11 March 2019 and again for a period of 6 months on 15 October 2019. A copy of the originally issued and subsequently extended SEARs are contained in **Appendix 2**. A checklist of compliance with the SEARs is provided in **Table 1.2**

Table 1.2 Secretary's Environmental Assessment Requirements Checklist

Secretary's Environmental Assessment Requirements	Relevant EIS Section
The Environmental Impact Statement (EIS) must meet the minimum form and content requirements in clauses 6 and 7 of Schedule 2 of the <i>Environmental Planning and Assessment Regulation 2000</i> .	Sections 1.0 and 3.0
The EIS must include an assessment of all potential impacts of the proposed development on the existing environment (including cumulative impacts if necessary) and develop appropriate measures to avoid, minimise, mitigate and/or manage these potential impacts. As part of the EIS assessment, the following matters must also be addressed.	Sections 6.0 and 0
<ul style="list-style-type: none"> • strategic context – including: <ul style="list-style-type: none"> ○ a detailed justification for the proposal and suitability of the site for the development ○ a demonstration that the proposal is consistent with all relevant planning strategies, environmental planning instruments, development control plans (DCPs), or justification for any inconsistencies and ○ a list of any approvals that must be obtained under any other Act or law before the development may lawfully be carried out. 	Sections 3.7 and 7.2 Section 4.0 Sections 1.5 and 4.0
<ul style="list-style-type: none"> • hazards and risk – including: <ul style="list-style-type: none"> ○ a preliminary risk screening completed in accordance with State Environmental Planning Policy No. 33 – Hazardous and Offensive Development and Applying SEPP 33 (DoP, 2011a), with a clear indication of class, quantity and location of all dangerous goods and hazardous materials associated with the development. Should preliminary screening indicate that the Project is "potentially hazardous" a Preliminary Hazard Analysis (PHA) must be prepared in accordance with Hazardous Industry Planning Advisory Paper No. 6 – Guidelines for Hazard Analysis (DoP, 2011b) and Multi-Level Risk Assessment (DoP, 2011c). 	Section 6.10

Secretary's Environmental Assessment Requirements	Relevant EIS Section
<ul style="list-style-type: none"> ● waste management – including: <ul style="list-style-type: none"> ○ a description of the type, quantity and classification of waste to be handled at the site ○ details of waste handling, management and transport ○ details of waste minimisation measures and ○ the measures that would be implemented to ensure that the proposed development is consistent with the aims, objectives and guidelines in the NSW Waste Avoidance and Resource Recovery Strategy 2014-21. 	Section 6.9
<ul style="list-style-type: none"> ● air quality and odour – including: <ul style="list-style-type: none"> ○ a description of all potential sources of air and odour emissions ○ an air quality impact assessment in accordance with relevant Environment Protection Authority Guidelines and ○ a description and appraisal of air quality impact mitigation and monitoring measures. 	Section 6.2
<ul style="list-style-type: none"> ● noise and vibration – including: <ul style="list-style-type: none"> ○ a description of all potential noise and vibration sources during construction and operation, including road traffic noise ○ a noise and vibration assessment in accordance with the relevant Environment Protection Authority Guidelines and ○ a description and appraisal of noise and vibration mitigation and monitoring measures. 	Section 6.1
<ul style="list-style-type: none"> ● soil and water – including: <ul style="list-style-type: none"> ○ a description of local soils, topography, drainage and landscapes ○ details of water usage for the proposal including existing and proposed water licence requirements in accordance with the <i>Water Act 1912</i> and/or the <i>Water Management Act 2000</i> ○ an assessment of potential impacts on floodplain and stormwater management and any impacts to flooding in the catchment ○ the details of sediment and erosion controls ○ a detailed site water balance ○ an assessment of impacts on the quality and quantity of surface and groundwater resources ○ details of the proposed stormwater and wastewater management systems (including sewage), water monitoring program and other measures to mitigate surface and groundwater impacts ○ characterisation of the nature and extent of any contamination on the site and surrounding area ○ a description and appraisal of impact mitigation and monitoring measures. 	Section 6.4
<ul style="list-style-type: none"> ● traffic and transport – including: <ul style="list-style-type: none"> ○ a traffic impact study in accordance with Roads and Maritime Services guidelines ○ details of road transport routes and access to the site ○ road traffic predictions for the development during construction and operation and ○ an assessment of impacts to the safety and function of the road network and ○ the details of any road upgrades required for the development. 	Section 6.3

Secretary's Environmental Assessment Requirements	Relevant EIS Section
<ul style="list-style-type: none"> • biodiversity impacts – including: <ul style="list-style-type: none"> ○ A description of any potential vegetation clearing needed to undertake the proposal ○ Any impacts to flora and fauna. 	Section 6.5
<ul style="list-style-type: none"> • visual impacts – including: <ul style="list-style-type: none"> ○ an impact assessment at private receptors and public vantage points. 	Section 6.8
<ul style="list-style-type: none"> • heritage impacts – including Aboriginal and non-Aboriginal cultural heritage. 	Sections 6.6 and 6.7
Environmental Planning Instruments and other policies	
<p>The EIS must assess the proposal against the relevant environmental planning instruments, including:</p> <ul style="list-style-type: none"> • State Environmental Planning Policy (infrastructure) 2007 • State Environmental Planning Policy (Mining, petroleum Production and Extractive Industries) 2007 • State Environmental Planning Policy No. 33 Hazardous and Offensive Development • State Environmental Planning Policy No. 55 Remediation of Land • State Environmental Planning Policy No.44 Koala Habitat Protection • Bathurst Regional Local Environment Plan 2014 • Relevant development control plans and section 94 plans. 	Section 4.0
Consultation	
<p>During the preparation of the EIS, you must consult the relevant local, State and Commonwealth government authorities, service providers and community groups and address any issues they may raise in the EIS. In particular, you should consult with the:</p> <ul style="list-style-type: none"> • Environment Protection Authority • Office of Environment and Heritage • Department of Primary Industries • Roads and Maritime Services • WaterNSW • Bathurst Regional Council • The surrounding landowners and occupiers that are likely to be impacted by the proposal. <p>Details of the consultation carried out and issues raised must be included in the EIS.</p>	Section 5.0

1.5 Approvals Required

As noted in **Section 1.0**, development consent is required in accordance with the provisions of Part 4 of the EP&A Act), the application is classified as designated development for which the Bathurst Regional Council will be the determining authority.

No other approvals are required with further assessment against the relevant Commonwealth, NSW and local planning requirements provided in **Section 4.0**.

1.6 Project Team

Downer engaged Umwelt to undertake the environmental impact assessment for the Project and to prepare an EIS. **Appendix 1** provides a certification and declaration by the author on content. In the preparation of the EIS, the following technical specialists were used:

- Better Transport Futures – Traffic Impact Assessment
- Jacobs – Air Quality Assessment
- BlueSphere Environmental - Contamination Assessment
- Umwelt – Noise Impact Assessment.

The asphalt plant design and layout were provided by Downer.

1.7 EIS Structure

The purpose of this EIS is to enable Bathurst Regional Council to consider the potential environmental impacts of the Project as part of determining the development application for the Project. The EIS has been prepared in accordance with Section 4.12(8) of the EP&A Act, Clauses 6 and 7 of Schedule 2 of the EP&A Reg and the SEARs for the Project.

The **Executive Summary** provides a brief overview of the Project and the major findings of the EIS.

Section 1.0 introduces the Project, providing a brief overview of the proposed Project and justification for the Project.

Section 2.0 describes the Project site and surrounds and provides an overview of the existing environment.

Section 3.0 contains a detailed description of the proposed Project.

Section 4.0 outlines the planning context for the Project, including the applicability of Commonwealth and State legislation.

Section 5.0 describes the stakeholder consultation program.

Section 6.0 contains a comprehensive analysis and assessment of the key environmental and community issues.

Section 7.0 contains a conclusion and justification for the Project.

Section 8.0 contains a list of references cited in the EIS.

2.0 Site Description

2.1 Existing Operations

The Project site is owned by Bathurst Regional Council and leased by Downer (refer to Figure 2.1). The Project site is zoned IN1 General Industrial under the Bathurst Regional Local Environmental Plan (LEP) 2014, is approximately 1.9 ha in size and predominantly cleared of vegetation. The Project site presently consists of the following features:

- Existing hot mix asphalt plant
- Stockpile areas
- Storage areas
- Bitumen tank
- Demountable administration office
- Workshop
- Underground waste storage
- Car parking at the north-eastern boundary
- Truck waiting areas
- Internal roads.

Planted trees are situated along the entire boundary of the Project site, excluding the entrance/exit driveway at Zagreb Street (refer to Figure 2.1). The topography of the Project site is flat, being at an elevation of approximately 660 m Australian Height Datum (AHD).

Downer operates the existing hot mix asphalt plant at the Project site in accordance with the 1978 development consent (DA85/78) from Bathurst City Council. The existing hot mix asphalt plant has been in operation for approximately 39 years with production levels likely to have varied over that period of time. Recently production levels have been in the order of approximately 45,000 to 50,000 tonnes of asphalt per annum and characterised by significant peak production requirements during certain project and/or seasonally related issues. The new development consent being sought will replace the existing consent and the Project will operate under the new consent which will cover the Project area.

2.2 Property Description

2.2.1 Land Ownership and Planning Context

The Project site is located on Lot 300 in DP1099537 which is owned by Bathurst Regional Council and leased by Downer. The Bathurst Regional Council has provided Downer consent to submit the development application and this supporting EIS and the development application form will be signed by Bathurst Regional Council on receipt.



Image Source: Nearmap (May 2017)

0 2.5 50 75m
1:1500

Legend

Project Site

FIGURE 2.1

Project Site

The Project site and area immediately surrounding it is zoned IN1 General Industrial (refer to Figure 2.2). The Project is located within the Bathurst LGA on land which the Bathurst LEP 2014 applies. The proposed development is defined as a general industry and is permitted with consent; refer to **Section 4.2.4** for further detail.

2.2.2 Services

Located within an industrial area, the Project site is serviced by surrounding road network, electricity, telecommunications, sewer and reticulated water supply.

Aerial electrical cables are situated within the property, extending approximately 50 m from the north-western corner of the property near Zagreb Street, down the western boundary. Aerial cables are also present beyond the property, running parallel to the southern boundary.

An underground waste runoff storage tank is located at the north-western corner of the Project site.

2.2.3 Access

Access and egress to the Project site is presently via Zagreb Street, situated at the north-western corner of the property.

2.3 The Surrounding Area

2.3.1 Regional and Local Context

Bathurst is a regional city in the Central Tablelands of NSW, approximately 200 kilometres (km) north-west of Sydney. Kelso is a suburb of Bathurst, within the Bathurst LGA.

Bathurst is located on the western edge of the Great Dividing Range on the Macquarie River plain, also known as the Bathurst plains. Bathurst is situated adjacent to the Great Western Highway, which extends from the centre of the city of Sydney to Bathurst. Two main state highways commence within Bathurst: the Mitchell Highway to Bourke and the Mid-Western Highway to Hay. Bathurst is also located approximately mid-way along a regional road route from Canberra and Goulburn to Mudgee and the Hunter Region.

Bathurst is also situated on the Main Western Railway line that commences at Sydney Central Station and proceeds for 242 km to Bathurst.

2.3.2 Land Use

The Project site is zoned IN1 General Industrial under the Bathurst Regional LEP 2014, as is all adjacent properties (refer to Figure 2.2). A number of lots are zoned B5 Business Development within the surrounding industrial land, while RE1 Public Recreation occurs further east and west of the Project site. The proposed asphalt plant is considered to be permissible with consent within the IN1 General Industrial zone, as it can be sufficiently characterised as an industrial activity (refer to **Section 4.3.1**).

The Project site is bounded to the north and west by industrial land uses, to the east by a spur line and rail yards associated with the main Western Railway and to the south by an open grassed lot also zoned IN1 General Industrial.



Image Source: Nearmap (Feb 2016)

0 50 100 150m
1:3 000

Legend

- Project Site
- Zoning:
- IN1 - General Industrial
- RE1 - Public Recreation
- RU1 - Primary Production

FIGURE 2.1
Project Site

File Name (A4): 3901_002.dgn
20191212 14.00

The primary land use in the vicinity of the Project is industrial, however, a variety of other land uses are present including recreational public land, primary production and infrastructure. The Bathurst town centre is located approximately 2.2 km to the north-west of the Project site, with the suburb of White Rock located approximately 0.5 km to the south and Kelso approximately 0.7 km to the north.

The Alec Lambertton Field playing field is located to the east of the Project site on land zoned recreational public land (refer to **Figure 2.2**). The Scots School is located approximately 150 m east - south-east of the Project site on O'Connell Road. The closest school building is approximately 360 m from the Project.

The Project site is located within the industrial precinct in the suburb of Kelso, within the Bathurst LGA. It covers an area of approximately 1.9 ha and bounded by a spur line and loading yards of the Main Western Railway to the east, a tributary of Raglan Creek to the south and industrial buildings of the Kelso Industrial Estate to the west and north. The Scots School Bathurst is situated approximately 450 m north-west of the Project site with the closest residential dwelling in the suburb of Kelso being approximately 240 m to the south-west.

2.3.3 Sensitive Receivers

The closest sensitive receiver is a residential receiver located approximately 240 m to the north-north-east of the Project site on Lee Street (refer to Figure 2.3). The residential subdivisions of Kelso and White Rock are located approximately 700 m to the north and 500 m to the south respectively. The closest structures of the Scots School Bathurst is situated approximately 350 m south-east of the Project site (refer to Figure 2.3).

There are no hospitals or other sensitive receivers in the vicinity of the Project site.



Image Source: Nearmap (Oct 2019)

0 100 250 500m
1:10 000

Legend

- Project Site
- Sensitive Receiver

FIGURE 2.3

Sensitive Receivers

3.0 Proposed Project

3.1 The Project

Downer is a provider of a range of engineering, construction, operation and maintenance services to customers in markets including infrastructure, transportation, mining, energy and industrial engineering, utilities, communications and facilities. Downer's existing asphalt plant at Bathurst has been providing asphalt products for projects in the local area and region for over 60 years. Across Australia, Downer regularly upgrades and/or replaces its asphalt plants to improve efficiency, reduce costs and deploy improved products.

The new fixed asphalt plant will be used to supply local demand. To be able to adequately meet the demands of a large project Downer proposes to produce up to 1,200 t per day, with daily production rates fluctuating in response to customer demand and typically substantially less than this. While generally undertaken during standard work hours (6.00 am to 6.00 pm Monday to Friday) occasional campaigns on weekends and at night-time are likely to be required from time to time. The likely annual production rate is expected to be approximately 60,000 t of asphalt but will be dependent on the market. The layout of the existing plant and associated infrastructure is shown in **Figure 3.1**.

Downer proposes to decommission and remove the existing asphalt plant (refer to **Figure 3.1**) and establish the new fixed asphalt plant within the Project site. The existing fixed plant will be removed from site prior to a new fixed asphalt plant being installed. Decommissioning and removal of the existing fixed asphalt plant is anticipated to take approximately 1-2 weeks. Construction and commissioning of the new permanent fixed asphalt plant is likely to take between 6-12 months. At no time will two plants operate simultaneously. The maximum depth of excavation for the proposed works is 5 m.

Plant and equipment proposed for the Project are detailed in **Table 3.1**.

Table 3.1 List of Plant and Equipment

Equipment	Description
Asphalt Plant - Ammann UniBatch ValueTech 180 series	Plant to be used on a daily basis.
Wheeled Front End Loader – WA 320	Mobile equipment to be used on a daily basis.
Crane	Mobile equipment to be used on an as needs basis.
Forklift	Mobile equipment to be used on an as needs basis.
Cherry picker	Mobile equipment to be used on an as needs basis.

3.2 Proposed Asphalt Plant

An asphalt plant is used for the manufacture of asphalt which is predominantly used for surfacing of roads and trafficable areas. Asphalt requires the combination of a number of raw materials (refer to **Section 3.3.1**) in the production of the asphalt to meet the relevant standards for product.



Image Source: Nearmap (Oct 2019)

Legend
 Project Site

FIGURE 3.1
Site Layout

Downer proposes to use Ammann's UniBatch ValueTech 180 series fixed asphalt plant for the permanent plant at the site (refer to **Figure 3.2**). The technological design of the plant, the design and general arrangement of which is reproduced as **Figure 3.3**, has been adapted for Australian requirements and operating conditions. Some key aspects of the UniBatch ValueTech 180 series include:

- (a) low noise and air emissions
- (b) energy efficiency
- (c) its design meets Australian Standards
- (d) production capacity of 180 tonnes per hour
- (e) minimal waste.

Figure 3.3 presents an overlay of the proposed fixed asphalt plant at the existing site.

Types of Asphalt Produced

The proposed asphalt plant will produce predominantly dense graded asphalt. The types of dense graded asphalt will include heavy duty, normal duty and fine gap graded. Nominal sizes ranging from 7 mm to 28 mm (AC7, AC10, AC14, AC20, AC28).

The proposed plant will also be able to produce open graded asphalts like stone mastic asphalt or Griptex which includes cellulose fibres used for added strength as well as cold mix using non-diesel based flux. The dominant binder will be AR450, with A15E binder used for stone mastic asphalt and Griptex. The proposed asphalt plant can produce hot mix asphalt (output around 170°C) and warm mix asphalt (output at approximately 150°C).

Recycled Materials

The improved technology of the proposed fixed asphalt plant will allow for use of recycled products in the asphalt production process. These recycled products include Reclaimed Asphalt Product (RAP), printer toner (for 'Reconophalt'), pelletised rubber from recycled tyres and recycled crushed glass (diverting waste from landfill). The use of these recycled products reduces the impact on landfill and natural resources. The improved technology enables Downer to produce the same volume of asphalt using less energy and raw materials. The asphalt produced is also more energy efficient which will allow Downer to improve the sustainability of the operation, reducing black balloons (CO₂ emissions) and the impacts on the environment. These changes to the operation are in line with the NSW Government's 'Waste Less, Recycle More' initiative.

Reconophalt is a new low carbon asphalt with enhanced performance properties due to the inclusion of recycled polymers and other additives. The polymers used are post-consumer recycled polymers sourced from the recycling of toner cartridges, waste acrylic paint and/or rubber crumb from recycled car and truck tyres, but the core product behind Reconophalt is MTP (Modified Toner Polymer). MTP is made from post-consumer recycled toner powder. Reconophalt is made by adding MTP to standard asphalt. Every 1 t of MTP used replaces 600 kilograms (kg) of bitumen and 400 kg of fines (very fine dust). Carbon modelling has shown that for every 1 t of MTP used, 0.27t CO₂ greenhouse gases are saved from entering the atmosphere.

As discussed in **Section 4.3** a waste exemption order applies to the use of RAP and recycled tyres (pelletised rubber).

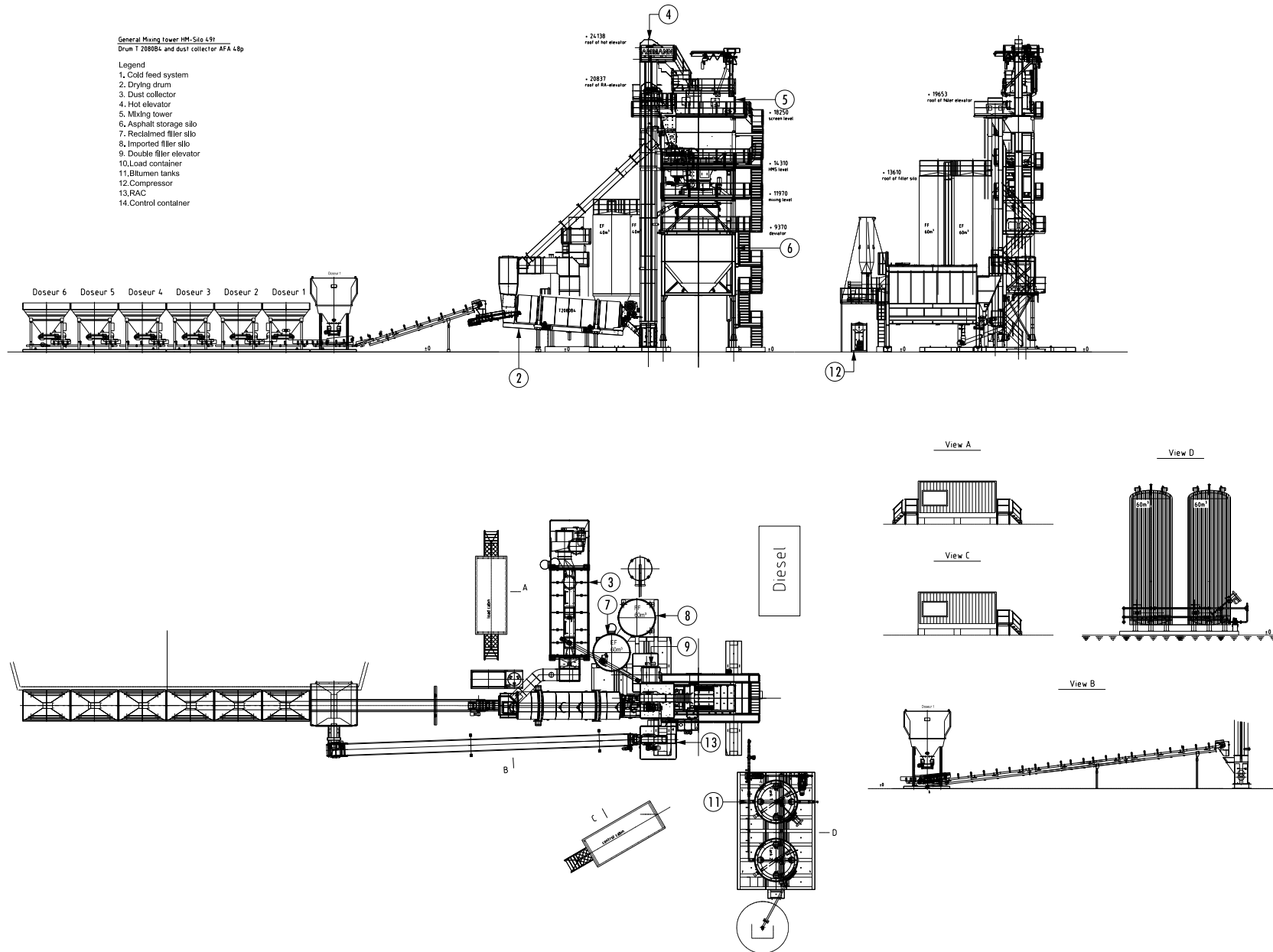


FIGURE 3.2
 Asphalt Plant
 General Arrangement



Image Source: Nearmap (Oct 2019)
 Data Source: Ammann (2019)

0 2.5 50 75m
 1:1500

Legend

- Project Site
- Stormwater Pit

FIGURE 3.3

**Proposed Asphalt Plant
 Design and Arrangement**

3.3 Traffic, Access and Car Parking

3.3.1 Transportation of Material Supply to Site

A number of materials will be used in the production of asphalt and will be sourced from various locations. Based on the maximum proposed daily production rate, the following provides an indicative outline of the types of materials, sources and quantities to be imported to the Project site.

1. RAP would be transported to site in the trucks that would then also deliver hot asphalt back to the job site (termed “double trucking” in the industry due to the use of both legs of the vehicles’ journey which minimises the total emissions output by the Project). Approximately 200 tonnes of the RAP would be required in the course of a production day.
2. Bitumen, to be transported to site from Port Botany as the primary supply point. Approximately 50 t of bitumen would be delivered to site per day.
3. Hydrated lime, to be transported to site from Charbon.
4. Fine sand, to be transported to site from Cowra. Approximately 216 t of fine sand product would be delivered to site 8 times per day.
5. Aggregate and quarry products, to be supplied from Oberon Quarry. Approximately 800 t of aggregate and quarry product will be supplied to site per day.

As set out above, at daily production of 1,200 tonnes per day there will be approximately 14 laden truck movements per day delivering raw materials to the Project site. This equates to approximately 1 laden truck every hour during standard operating hours when deliveries of raw materials are most likely.

At an approximate production level of 60,000 tpa, and an average payload of 16 t per truck, it is estimated that delivery of raw material will generate approximately 3,700 laden truck movements per year or on average approximately 18 laden truck movements per day.

3.3.2 Site Access

All truck movements to and from the Project site would be via the existing site access on Zagreb Street, with local roads of the Kelso industrial estate (Whyalla Circuit, Toronto Street, Lee Street) used to access Littlebourne Street/O’Connell Road. Quarried product material will continue to be delivered from Oberon Quarries via O’Connell Road (to the south), with deliveries and the importation of other materials to/from Littlebourne Street to the north. Littlebourne Street intersects with the Great Western Highway at a two lane roundabout.

3.3.3 Car Parking

There are currently 18 light vehicle parking spaces at the site. The Project would not require any additional car parking spaces to be created.

3.4 Utilities and Services

The Project would not require any changes to the existing utilities and services available at the site. The site is serviced by electricity, telecommunications, sewer and reticulated water.

3.5 Workforce

There will be a total of 12 full time employees and 2 casual employees working onsite. There is also an asphalt crew made up of 10 people including permanent and casual staff (not including sub-contractors). Additionally, there will be approximately 10-14 sub-contracted truck drivers will make up the ancillary staff.

Shift times are 6.00 am to 6.00 pm for a day shift, and 4.00 pm to 4.00 am for a night shift.

3.6 Hours of Operation

Downer is seeking approval for the ability to operate the asphalt plant on a 24 hour, 7 days per week in order to meet the requirement for the supply of material for road construction on a project by project basis. However, it is important to note that it is not intended to operate 24 hours a day unless required to meet particular project needs.

The Project is planned to predominantly operate during the daytime, with operation during the evening and night-time periods occurring on a project specific basis only of short duration, typically not exceeding 6 weeks. Typical hours are 6.00 am to 6.00 pm Monday to Friday.

3.7 Need and Justification for the Project

Downer own and operate in excess of 30 asphalt plants across Australia. These asphalt plants are regularly upgraded and/or replaced to improve efficiency and reduce costs through improved capability and to bring new products to market.

Downer propose to replace the existing asphalt plant with an improved technology plant that will allow for a greater number of products to be supplied to Downer's customers, as well as provide resource and energy efficiencies that will assist in Downer remaining competitive in the marketplace. Examples of resource and energy efficiency include replacement of up to 25% of virgin material with RAP (Reclaimed Asphalt Product), and up to 15% less energy consumption to produce the same volume of asphalt – both of which have a significant impact on improving the environmental sustainability of the operation.

Downer also manufactures a product called "Reconophalt" which reuses printer toner and is developing a pelletised tyre rubber product for reuse in asphalts to reduce waste to landfill. Production of these products requires particular equipment such as a hopper, screw conveyor, and separate entry point into the drum which is controlled by a computer system. It is not feasible to retrofit the current plant with this equipment due to its age. In addition to this, Downer has trialled a 99% recycled asphalt which is cutting edge technology and industry leading.

The Project benefits include:

- Reduced energy and costs to produce asphalt
- Maintaining Downer's market share in the region
- Capability to produce Downer's new 'low carbon asphalt' range of products
- Continued employment of local people at the site
- Appropriate use of an existing brownfield site.
- Upgrade and modernisation of plant in order to minimise air and noise emissions.

3.8 Alternatives Considered

Several alternatives to the replacement of the existing asphalt plant at the proposed site were considered in the Project planning stage:

- Option 1 – the ‘do nothing’ option. This option was not feasible as it does not meet the desired outcome of improved sustainability, product range, efficiency and cost reduction. Further, this option has the potential to drive the cost of asphalt up in the region if the existing aging asphalt plant ceases operating in the future and a local source of asphalt is not available. This option would not deliver any economic benefits to the local community.
- Option 2 – establish a mobile plant at the site and once operational decommission the existing plant and construct a new fixed plant. Once the new fixed plant is operation the mobile plant would be removed from site. This option was not considered feasible as there is not enough physical room within the existing site for both the new and existing asphalt plants.
- Option 3 – remove existing asphalt plant at the site and replace with a permanent fixed plant. This option would require the existing plant to be decommissioned and then the new plant constructed during which time no asphalt could be produced from the site. During this time asphalt would be sources from an existing Downer asphalt plant located in Oberon. This option is the most suitable as it allows continuous supply to the market, allows production of new products, improves resource and energy efficiency, provides a long term solution for the site and provides good management of capital investment into Downer’s business.

4.0 Planning Context

The following section identifies relevant State and Commonwealth legislation and discusses the application of these planning provisions to the Project.

4.1 Commonwealth Legislation

4.1.1 Environment Protection and Biodiversity Conservation Act 1999

In accordance with the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act), any action which may have a significant impact on matters of natural environmental significance (MNES) requires approval by the Commonwealth Minister for the Environment. These matters which may be impacted include:

- World Heritage Properties
- National Heritage Places
- Wetlands of International Importance
- Threatened Species and Ecological Communities
- Migratory Species
- Commonwealth Marine Areas
- Nuclear Actions
- A water resource, in relation to coal seam gas development and large coal mining development.

Any 'action' that is likely to have a significant impact on a MNES will require a Referral to the Commonwealth Department for the Environment and Energy (DOEE). If the DOEE deem the action to be a 'controlled action', further investigation and assessment may be required.

The only provisions of the legislation which are potentially relevant to the Project relate to potential impacts on migratory species, threatened species, or ecological communities listed under the EPBC Act, as none of the other matters would be impacted by the Project (and it is not a nuclear action or a coal seam gas or coal mining development). As discussed in **Section 2.0**, the Project site has been subject to extensive disturbance as part of the ongoing asphalt production and is largely cleared of native vegetation. The Project does not propose any additional disturbance of naturally occurring vegetation. It is therefore not predicted to have a significant impact on migratory species, threatened species, or ecological communities listed under the EPBC Act (refer to **Section 6.5**).

For this reason, Downer does not consider that the Project requires referral to the Commonwealth Minister under the EPBC Act.

4.2 New South Wales Legislation

4.2.1 Environmental Planning and Assessment Act

The EP&A Act provides the statutory basis for planning and environmental assessment in NSW and is administered by DPIE and local government. The EP&A Act aims to protect and conserve the environment through ecologically sustainable development. This is achieved through managing development to conserve resources, including agricultural land, natural areas, forests, minerals, water, and towns with the purpose of promoting social and economic welfare of the community and an enhanced environment.

As designated development, as defined by Section 4.10 of the EP&A Act and Clause 5 of Schedule 3 of the EP&A Reg which provides that bitumen pre-mix and hot-mix industries of a certain type and scale are classified as designated development, consent for the development is required in accordance with Division 4.3 of the EP&A Act. Clause 5 of Schedule 3 of the EP&A Reg is as follows.

5 Bitumen pre-mix and hot-mix industries

(1) Bitumen premix or hot-mix industries (being industries in which crushed or ground rock is mixed with bituminous materials):

(a) that have an intended production capacity of more than 150 tonnes per day or 30,000 tonnes per year, or

(b) that are located:

(i) within 100 metres of a natural waterbody or wetland, or

(ii) within 250 metres of a residential zone or dwelling not associated with the development.

(2) This clause does not apply to bitumen plants located on or adjacent to a construction site and exclusively providing material to the development being carried out on that site:

(a) for a period of less than 12 months, or

(b) for which the environmental impacts were previously assessed in an environmental impact statement prepared for the development.

As designated development, the development application must be accompanied by an EIS which will be assessed by Bathurst Regional Council against the requirements of section 4.15 of the EP&A Act. On the basis that the Capital Investment Value is less than \$5 million, the development remains below the threshold for regionally significant development (as nominated by Clause 3(b) of Schedule 7 of State Environmental Planning Policy (State and Regional Development) 2011) and the application will be determined by Bathurst Regional Council.

As noted in **Section 1.5**, the Project does not require any integrated approvals and therefore is not integrated development under section 4.46 of the EP&A Act

Objectives of the EP&A Act

The objectives of the EP&A Act relevant to the Project and the Project's consistency with these objectives are discussed in **Table 4.1**.

Table 4.1 Objectives of the Environmental Planning and Assessment Act 1979

Objective	Comments	Project Consistent?
Promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State's natural and other resources	<p>The Project will utilise an existing disturbed site that has previously been used for asphalt production, providing the opportunity to undertake the Project without the need for substantial disturbance of additional land.</p> <p>The Project is expected to have minimal additional impacts on social and environmental aspects. Any potential impacts will be managed in accordance with the mitigation and management measures outlined in this EIS.</p>	Yes
Promote the orderly and economic use and development of land	The Project will utilise already disturbed land within an existing site currently used for asphalt production, with no requirement for substantial disturbance of additional land. The Project will have minimal impact on other land uses in the vicinity of the Project.	Yes
Protect the environment	The Project proposes to utilise an existing disturbed site. This means that no substantial additional disturbance to land or the environment is required. The Project will have minimal additional impacts compared to the existing situation.	Yes
Facilitate ecologically sustainable development (ESD) by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment	The Project proposes to utilise already disturbed land with no change to the existing disturbance footprint. Consistency of the Project with the principles of ESD is discussed further in Section 7.4 .	Yes
Provide increased opportunity for community participation in environmental planning and assessment	Throughout the development of the EIS Downer have actively sought feedback from the surrounding residential and business land holders. Agency consultation is discussed in Section 5.1 . The public exhibition and development application process provide an opportunity for public participation in the consideration of this Project.	Yes
Promote good design and amenity of the built environment	The Project proposes to decommission the existing asphalt plant and construct and commission a new asphalt plant which promotes improved design and amenity. The Project will have minimal impacts to visual amenity compared to the existing operations.	Yes

Matters for Consideration (Section 4.15)

Section 4.15 of the EP&A Act identifies matters for the consent authority to take into account when evaluating a development application. A checklist of these matters and where they have been addressed in the EIS is outlined in **Table 4.2**.

Table 4.2 Section 4.15 Matters for Consideration

Matters for Consideration	Relevant EIS Section
The provisions of: <ul style="list-style-type: none"> Any environmental planning instrument. 	Section 4.0
<ul style="list-style-type: none"> Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved). 	None known
<ul style="list-style-type: none"> Any development control plan. 	Section 4.3.2
<ul style="list-style-type: none"> Any planning agreement that has been entered into under section 7.4 or any draft planning agreement that a developer has offered to enter into under section 7.4. 	Not applicable
<ul style="list-style-type: none"> The regulations (to the extent that they prescribe matters for the purposes of this paragraph). 	Section 4.0
<ul style="list-style-type: none"> Any coastal zone management plan (within the meaning of the <i>Coastal Protection Act 1979</i>) that applies to the land to which the development application relates. 	Not applicable.
The likely impacts of that development, including environmental impacts, on both the natural and built environments, and social and economic impacts in the locality.	Section 6.0
The suitability of the site for the development.	Sections 6.0 and 7.2
Any submissions made in accordance with this Act or the regulations.	After public exhibition
The public interest.	Section 7.3

4.2.2 Protection of the Environment Operations Act 1997

The *Protection of the Environment Operations Act 1997* (POEO Act) is administered by the NSW Environment Protection Authority (EPA) and requires licences for environmental protection, including waste, air, water and noise pollution control for certain scheduled activities. Schedule 1 of the POEO Act identifies scheduled activities. The Project is not a scheduled activity under the POEO Act and as such will not require an Environment Protection Licence (EPL).

Resource recovery exemptions

Clause 93 of the *Protection of the Environment Operations (Waste) Regulation 2014* enables the EPA to issue resource recovery exemptions 'where the application of a waste material to land, its use as a fuel, or use in connection with a process of thermal treatment is a bona-fide, fit-for-purpose, re-use opportunity rather than a means of waste disposal' (EPA 2015).

The Reclaimed Asphalt Pavement Exemption 2014 applies to the supply of reclaimed asphalt pavement for use as an alternative raw material in the manufacture of asphalt. An EPL is not required provided the Project complies with the conditions of the Reclaimed Asphalt Pavement Exemption 2014.

Similarly, the Recovery of Tyres Exemption 2014 applies to the supply of the pelletised tyre rubber product proposed for use as an alternative raw material in the manufacture of asphalt. An EPL is not required provided the product is sourced from an exempt or appropriately licenced supplier that complies with the conditions of the Recovered Tyres Exemption 2014 where relevant and that the asphalt produced is in accordance with the relevant Australian Standard.

4.2.3 State Environmental Planning Policies

State Environmental Planning Policies (SEPPs) are environmental planning instruments created by the State government. The SEPPs that are potentially relevant to the Project have been discussed below:

4.2.3.1 State Environmental Planning Policy No. 33 – Hazardous and Offensive Development

State Environmental Planning Policy No. 33 – Hazardous and Offensive Development (SEPP 33) requires a consent authority to consider whether an industrial development is a potentially hazardous industry or a potentially offensive industry. A hazard assessment is completed for potentially hazardous developments to assist the consent authority to determine acceptability.

A preliminary risk screening has been undertaken for the proposal in accordance with SEPP 33 and is included in **Section 6.10**. None of the hazardous materials to be stored at the Project site are above SEPP 33 screening thresholds and therefore a Preliminary Hazard Analysis is not required. The assessment concluded that the Project is neither a hazardous nor offensive development.

4.2.3.2 State Environmental Planning Policy No. 55 – Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55) requires the consent authority to consider whether the land on which the proposed development will be undertaken is contaminated and if it is suitable for the proposed use. A soil and groundwater investigation of the Project site completed by BlueSphere Environmental identified elevated levels of hydrocarbons which is consistent with the historical and existing use of the site as an asphalt plant. Results of the investigation, which are included in full as , confirm the Project site is suitable for the continued operation of an asphalt plant.

4.2.3.3 State Environmental Planning Policy (infrastructure) 2007

Clause 85 of the *State Environmental Planning Policy (Infrastructure) 2007* (Infrastructure SEPP) relates to developments immediately adjacent to rail corridors. Developments with the potential to adversely impact rail safety require the consent authority to inform and take into consideration any response from the rail authority for the rail corridor. The Project site is located adjacent to railway line spur; however is unlikely to have an adverse effect on rail safety as all works are located within the existing fenced site and no work or access to/from the rail corridor will be required. No cranes are proposed to be used in air space above the rail corridor and the asphalt plant will be non-reflective.

4.2.3.4 State Environmental Planning Policy 44 – Koala Habitat Protection

SEPP No. 44 Schedule 1 restricts a Council from granting development consent for proposals on land identified as core koala habitat without preparation of a plan of management. SEPP No. 44 Schedule 2 restricts a Council from granting development consent for proposals which will impact koala feed tree species.

The Project site does not contain suitable koala habitat. The Project site has previously been devoid of vegetation, and with no further vegetation to be cleared, the Project will not impact koala feed tree species.

4.2.4 Summary of Other State Legislation

In addition to development consent under Part 4 of the EP&A Act, the Project may be subject to further legislative requirements. A summary of other State legislation and its relevance to the Project is provided in **Table 4.3**.

Table 4.3 Other Potentially Relevant Acts and Environmental Planning Instruments

Act	Comments
<i>Environmentally Hazardous Chemicals Act 1985 (EHC Act)</i>	<p>The EPA is granted power under the EHC Act to assess and control chemicals and declare substances to be chemical wastes. A licence is required for any storage, transport or use of prescribed chemicals.</p> <p>Downer does not propose to store, transport or use any chemicals currently subject to a Chemical Control Order (CCO) under this Act. Should such chemicals be required during the life of the Project, Downer will manage the chemicals in accordance with the relevant CCO, including obtaining appropriate licences.</p>
<i>Crown Lands Act 1989</i>	<p>The <i>Crown Lands Act 1989</i> provides for the administration and management of Crown land in the eastern and central divisions of NSW. Crown land cannot be occupied, used, sold, leased, dedicated, reserved or otherwise dealt with unless authorised by this Act or the <i>Crown Land (Continued Tenures) Act 1989</i>. The Minister may grant a 'relevant interest' such as a lease, licence or permit, over Crown land for the purpose of any infrastructure, activity or other purposes that the Minister considers fit.</p> <p>The Project site is owned by Bathurst Regional Council and is not considered to be Crown land.</p>
<i>Roads Act 1993</i>	<p>The <i>Roads Act 1993</i> is administered by the Roads and Maritime Services (RMS), the local council or the NSW Department of Lands. The RMS has jurisdiction over major roads, the local council over minor roads, and the Department of Lands over Crown road reserves.</p> <p>The Project will not result in any impact to roadways. Approval under the Act will not be required.</p>
<i>National Parks and Wildlife Act 1974</i>	<p>This <i>National Parks and Wildlife Act 1974</i> (NPW Act) is the principal legislation concerning the management of Aboriginal heritage and NSW National Parks. It is an offence under the Act to harm or desecrate an Aboriginal object or Aboriginal place, except in accordance with an Aboriginal Heritage Impact Permit (AHIP) issued under s.90 of the Act.</p> <p>A search of the Aboriginal Heritage Information Management System (AHIMS) on 27 June 2017 was conducted. No known Aboriginal heritage items or places are recorded within or in proximity to the Project site. The Project site is indicated in Bathurst Regional LEP Heritage Maps as being devoid of any heritage items or conservation areas, as well as the land surrounding it. No further assessment under the NPW Act is required.</p>

Act	Comments
<i>Heritage Act 1977</i>	<p>The <i>Heritage Act 1977</i> makes provisions to conserve the environmental heritage of the State. It provides for the identification and registration of items of State heritage significance, provides for the interim protection of items of State heritage significance, constitutes the Heritage Council of NSW and confers on it functions relating to the State's heritage.</p> <p>A search of relevant databases has identified that there are no heritage items within the Project site or immediate surrounds. No permits or further assessment under the <i>Heritage Act 1977</i> is required.</p>
<i>Biodiversity Conservation Act 2016 (BC Act)</i>	<p>Under the EP&A Act, impacts on threatened species listed under the BC Act are required to be assessed.</p> <p>The Project site consists of an existing industrial area, and is unlikely to provide sufficient habitat or foraging areas for threatened species. The Project does not include the clearing of any vegetation. No impacts to threatened species listed under the BC Act are anticipated (refer to Section 6.5).</p>
<i>Water Management Act 2000 and Water Act 1912</i>	<p>The <i>Water Management Act 2000</i> (WM Act) regulates the taking, interception, storage and use of surface water and groundwater within areas subject to water sharing plans. The <i>Water Act 1912</i> regulates water use and access in areas of NSW where water sharing plans under the WM Act have not yet been gazetted.</p> <p>No works impacting on waterways or groundwater are proposed. Activities associated with the proposed modification will remain greater than 40 m from Raglan Creek and therefore no controlled activity approval or water licences are required.</p>

4.3 Local Legislation

4.3.1 Bathurst Local Environmental Plan 2014

Permissibility

The Project is located within the Bathurst LGA on land which the Bathurst Local Environmental Plan (LEP) 2014 applies. Under the Bathurst LEP 2014, the Project is on land zoned as IN1 General Industry (refer to Figure 2.2).

The proposed development is defined as a “general industry”, which means:

“a building or place (other than a heavy industry or light industry) that is used to carry out an industrial activity.”

The term “industrial activity” within the Bathurst LEP 2014 means:

“the manufacturing, production, assembling, altering, formulating, repairing, renovating, ornamenting, finishing, cleaning, washing, dismantling, transforming, processing, recycling, adapting or servicing of, or the research and development of, any goods, substances, food, products or articles for commercial purposes, and includes any storage or transportation associated with any such activity.”

The Project satisfies this description and is permitted with consent on land zoned as IN1 General Industry. At the project inception meeting held with Bathurst Council, permissibility of the project was discussed and confirmed by Bathurst Council.

4.3.2 Bathurst Development Control Plan 2014

The Bathurst Development Control Plan (DCP) 2014 applies to industrial developments within the Bathurst LGA.

Key considerations of the DCP for the Project have been reviewed and are addressed in **Table 4.4**.

Table 4.4 Key Considerations of the Bathurst DCP 2014

DCP Section	DCP Requirement	Comment
5.2 Siting Considerations		
5.2.2 Building setbacks	<p>Front Building Line Setback:</p> <ul style="list-style-type: none"> 10 m. <p>Side and Rear Building Line Setback:</p> <ul style="list-style-type: none"> 5 m (unless otherwise specified on a DCP Map) to a side street As specified by the NCC to an adjoining property. 	The Project is located solely within the Project site boundary.
5.3 Soil and Water Management		
5.3.2 b Soil and water management	<p>For developments with a disturbance area of greater than 2,500 m², development must comply with the requirements of the document: <i>Managing Urban Stormwater: Soils and Construction 2004</i>, produced by Landcom.</p> <p>Due consideration is to be given to potential impacts on off-site streams in terms of channel stability under modified flow regimes resulting from development.</p>	The Project will comply with the requirements of the Managing Urban Stormwater: Soils and Construction 2004.
5.3.2 c Soil and water management	As a condition of consent for sites with a disturbance area of greater than 2,500 m ² , Council will require the submission of a soil and water management plan prior to the commencement of any building construction or civil construction works on site. A Soil and Water Management Plan must be lodged with Council prior to the issue of any construction certificate.	A soil and water management plan will be developed prior to the commencement of any building construction and lodged with Bathurst Regional Council.
5.3.2 d Soil and water management	Following approval of the soil and water management plan, erosion and sediment control works will be required to be installed prior to work commencing on the site. Such control measures are to be maintained during the construction period. All work is to be undertaken to the satisfaction of Council.	Erosion and sediment controls will be installed prior to the commencement of works and will be maintained throughout construction.



DCP Section	DCP Requirement	Comment
5.3.2 e Soil and water management	Erosion and sediment control measures are to be maintained in accordance with the recommendations in Council’s <i>Erosion and Sediment Control Guidelines for Building and Work Sites or Managing Urban Stormwater: Soils and Construction 2004</i> and remain in place while ever earthworks are being completed, and until such time that the site is revegetated.	Erosion and sediment controls will be installed prior to the commencement of works and will be maintained throughout construction and until such time that the site is revegetated.
5.6.2 Parking, access and manoeuvring areas	The DCP development standard 5.6.2 a – k pertain to ensuring safe and sufficient provision of access and on-site vehicular and bicycle parking.	As outlined in Section 3.3.2 , the Project does not propose to modify the existing access/ parking arrangements provided at the existing Bathurst Asphalt Plant. There is no proposed change to staff numbers.
5.7.2 a Clean Business and Industry – Drainage and Stormwater Quality	Development must comply with the requirements of the document: <i>Managing Urban Stormwater: Soils and Construction 2004</i> , produced by Landcom. Due consideration is to be given to potential impact on off-site streams in terms of channel stability under modified flow regimes resulting from development.	The Project will comply with the requirements of the Managing Urban Stormwater: Soils and Construction 2004.
5.7.2 b Clean Business and Industry – Drainage and Stormwater Quality	Council may require the submission of a soil and water management plan prior to the commencement of any new building work on-site and the erection and maintenance of control measures during the period of construction.	A soil and water management plan will be developed prior to the commencement of any building construction and lodged with Bathurst Regional Council.
5.7.2 a Clean Business and Industry – Air Quality	An air quality impact assessment report must be prepared and submitted with a Development Application for any development which Council considers may have the potential for significant adverse impact on air quality, including odour.	An air quality impact assessment has been prepared for the Project. The report findings are summaries in Section 6.2 and included in full in Appendix 4 .
5.7.2 a Clean Business and Industry - Noise	A noise impact assessment report must be prepared and submitted with a Development Application for any development which Council considers may have the potential to increase existing noise levels in a locality.	A noise impact assessment has been prepared for the Project. The report findings are summaries in Section 6.1 and included in full in Appendix 3 .
5.7.2 b Clean Business and Industry - Noise	The noise impact assessment must be prepared in accordance with the OEH Industrial Noise Policy.	The noise impact assessment has been prepared in accordance with the OEH industrial Noise Policy. Refer to Section 6.1 and Appendix 3 .
5.8.3 Open Areas and Fencing	All loading/unloading, storage, garbage or open work areas are to be located behind the building alignment and are fully screened from the view of a public road.	All loading/unloading, storage, garbage or open work areas are screened from view by planted trees around the Project site boundaries.

DCP Section	DCP Requirement	Comment
5.8.3 b Open Areas and Fencing	Fences/screen walls (including security fencing) are not to be located within 5 metres of the front property boundary and 3 metres of a property boundary adjoining a side or rear street, unless adequate landscaping screening is provided.	Fences and screen walls are not required as part of the Project.
5.8.3 c Open Areas and Fencing	Details of proposed materials and the type of construction for (a) and (b) above should be included with the Development Application.	Fences and screen walls are not required as part of the Project.
11 Outdoor Lighting	Details the lighting methods that should be used to protect the dark night sky for the purposes of tourism, education and research.	All lighting will be designed in accordance with chapter 11 of the DCP.
12 Signage and colour schemes	Aims to ensure that the type and location of signage and the colour of buildings will contribute in a positive way to the City and the Region.	All signage and colour schemes will be designed in accordance with chapter 12 of the DCP.
13 landscaping and greening	Details measures to ensure the protection and enhancement of biodiversity and encourage revegetation and better biodiversity management.	No vegetation removal is required as part of the Project.
16 Earthworks	Details measures aimed at ensuring that inappropriate filling or cutting of land is reduced.	All filling and cutting will be carried out in accordance with chapter 16 of the DCP.

5.0 Stakeholder Engagement

Consultation with relevant government authorities, stakeholders and Bathurst Regional Council has been undertaken through the preparation of the EIS.

The details of consultation undertaken are outlined in **Section 5.1**. An outline of the key issues identified during the consultation process, and where this has been addressed in the EIS, is included in **Section 5.3**.

5.1 Agency Consultation

Consultation with the relevant government agencies has been undertaken throughout the preparation of the EIS to enable key authority issues to be identified.

Designated development applications require the Secretary of the DPIE (formerly DP&E) to issue SEARs for the Project. The SEARs outline the specific requirements of relevant government authorities that must be addressed as part of the EIS.

The Secretary's EARs required that Downer consult with the following agencies:

- Bathurst Regional Council
- Environment Protection Authority (EPA)
- Office of Environment and Heritage (OEH)
- Roads and Maritime Services (RMS)
- WaterNSW
- Department of Primary Industries.

A summary of the agency consultation undertaken during the EIS preparation is provided in **Table 5.1** below.

Table 5.1 Summary of Agency Consultation

Agency	Date	Purpose
Department of Planning and Environment (DPE)	14 February 2017	Submit request for the SEARs for the Project to DPE.
	17 March 2017	DPE provide agency comments and issue SEARs for the Project.
	7 March 2019	Submit request for a SEARs extension for the Project to DPE.
	11 March 2019	DPE issue SEARs extension for the Project.
Department of Planning, Industry and Environment (DPIE)	12 September 2019	Submit request for additional SEARs extension for the Project to DPIE
	24 September 2019	Email from DPIE advised SEARs extension request referred to agencies.
	15 October 2019	DPIE provide agency comments and issue second SEARs extension for the Project.
	6 December 2019	DPIE provide supplementary comments from Natural Resources Assessment Regulator.
Bathurst	8 February 2017	Initial Project briefing

Agency	Date	Purpose
Regional Council	15 March 2017	Confirmation of distribution area for community consultation
	24 July 2017	Project update, confirmation of permissibility
	25 July 2017	Confirmation of landowners consent
	9 December 2019	Pre-lodgement Meeting
OEH	27 February 2017	OEH provided a response to a request for comment in regard to the Project (as required by the SEARs). Refer to Appendix 1 for a copy of this correspondence.
	17 July 2017	Contacted to provide an opportunity to have further input into the preparation of the EIS. OEH had no further comments and does not require further input or information at this stage.
	26 July 2017	A follow up email was sent with contact details for the project manager should OEH wish to have further input at any stage.
Biodiversity Conservation Division (formerly OEH)	21 October 2019	BCD were called to discuss the biodiversity requirements included as part of the second SEARs extension.
EPA	20 February 2017	EPA provided a response to a request for comment in regard to the Project (as required by the SEARs). Refer to Appendix 1 for a copy of this correspondence.
	25 July 2017	Contacted to provide an opportunity to have further input into the preparation of the EIS. EPA had no further comments and does not require further input or information at this stage. Has requested a copy of the EIS upon submission.
	26 July 2017	A follow up email was sent with contact details for the project manager should EPA wish to have further input at any stage.
Department of Primary Industries – Water	27 February 2017	DPI Water provided a response to a request for comment in regard to the Project (as required by the SEARs). Refer to Appendix 1 for a copy of this correspondence.
	17 July 2017 25 July 2017	DPI Water were called on 17 July 2017 and 25 July 2017 to provide an opportunity to have further input into the preparation of the EIS. No one was available to discuss the Project and a message was left.
	26 July 2017	Follow up email was sent providing contact details should DPI Water wish to have any further input into the EIS at this stage.
Department of Primary Industries – Agriculture	17 February 2017	DPI Agriculture provided a response to a request for comment in regard to the Project (as required by the SEARs). Refer to Appendix 1 for a copy of this correspondence.
	17 July 2017 25 July 2017	DPI Agriculture were called on 17 July 2017 and 25 July 2017 to request further input into the preparation of the EIS. No one was available to discuss the Project and a message was left. In correspondence to DPE dated 17 February 2017, DPI Agriculture had no comment to make as the Project does not impact on agricultural land.
	26 July 2017	Follow up email was sent providing contact details should DPI - Agriculture wish to have any further input into the EIS at this stage.
	26 July 2017	Spoke to DPI - Agriculture who had no further comments and do not require further input or information at this stage.

Agency	Date	Purpose
Department of Primary Industries – Lands	21 February 2017	DPI Lands provided a response to a request for comment in regard to the Project (as required by the SEARs). Refer to Appendix 1 for a copy of this correspondence.
	18 July 2017	DPI Lands were contacted during the preparation of the EIS to request further input. Department of Primary Industries – Lands had no further comments as the Project will not impact on Crown land.
	26 July 2017	Follow up email was sent providing contact details should DPI - Lands wish to have any further input into the EIS at this stage.
Roads and Maritime Service	27 February 2017	Roads and Maritime Services provided a response to a request for comment in regard to the Project (as required by the SEARs). Refer to Appendix 1 for a copy of this correspondence.
	17 July 2017 25 July 2017	RMS were called on 17 July 2017 and 25 July 2017 to request further input into the preparation of the EIS. No one was available to discuss the Project and a message was left.
	26 July 2017	Follow up email was sent providing contact details should RMS wish to have any further input into the EIS at this stage.
	26 July 2017	Spoke to RMS who had no further comments and do not require further input or information at this stage. Have requested a copy of the traffic assessment once finalised.
WaterNSW	26 July 2017	WaterNSW were called on 26 July 2017 to discuss the Project and request input into the preparation of the EIS. No one was available to discuss the Project and a message was left.
	26 July 2017	Follow up email was sent providing contact details should WaterNSW wish to discuss the Project or have input into the EIS at this stage.

Umwelt has considered the assessment requirements raised by the above agencies during the preparation of this EIS.

5.2 Community Consultation

Consultation was also undertaken with the nearest residences, surrounding landowners and occupiers that are likely to be impacted by the proposal.

Downer distributed a letter to surrounding residential property owners in March 2017 and to neighbouring industrial estate in July 2017, in relation to the proposed development. The letter provided details of the proposed development, the EIS and approval process for the Project, and included contact details for Downer and Umwelt should anyone wish to gain further information on the proposed development of EIS process. A copy of these letters is provided in **Appendix 2**.

At the time of finalisation of this EIS, feedback had been received from 1 surrounding property owner and 1 community organisation, the White Rock Progress Association, in relation to the proposed development. Both responses requested further information about the Project including information about noise and odour impacts, access, and operations etc., which was provided via return email.

The EIS will be on public exhibition for a period to be defined by Bathurst Regional Council providing the local community with the opportunity to provide comment on the Project.

5.3 Key Stakeholder Issues

The identification of key environmental and community issues for assessment as part of the EIS for the Project is based on consideration of:

- the planning and environmental context for the locality (refer to **Sections 1.0** and **2.0**)
- outcomes of Council and other authority consultation process (refer to **Section 5.1**)
- baseline studies completed as part of the preparation of the EIS
- the environmental assessment requirements for the EIS (refer to **Appendix 1**).

Table 5.2 provides a summary of the key issues identified through those processes and provides reference to the section of the EIS in which these issues have been addressed.

Table 5.2 Key Environmental and Community Issues

Issue	EIS Reference
Noise	Section 6.1
Air Quality and Odour	Section 6.2
Traffic and Transport	Section 6.3
Water and Soils	Section 6.4
Biodiversity	Section 6.5
Heritage	Sections 6.6 and 6.7
Visual	Section 6.8
Waste	Section 6.10
Hazard and Risk	Section 6.11

6.0 Environmental Assessment

6.1 Noise Impact Assessment

A Noise Impact Assessment has been prepared for the Project by Umwelt and is summarised in this section of the EIS. The full report is presented in **Appendix 3**.

6.1.1 Existing Noise Environment

The Project site is located within the industrial precinct in the suburb of Kelso. It covers an area of approximately 1.9 ha and is situated north-west of the Scots School Bathurst and south of the closest residential dwelling in the suburb of Kelso.

Table 6.1 Locations of nearest receptors

Receiver No.	Address	Distance to site ¹	Direction from site
R1	21 White Rock Road, White Rock	340 m	SE
R2	71, 73 and 75 White Rock Road, White Rock	600 m	SE
R3	The Scots School - Bathurst, 4173 O'Connell Road, White Rock	350 m	SE
R4	58 and 62 Lee Street, Kelso	240 m	N
R5	Alec Lamberton Field playing field	200 m	E
R6	The Scots School - Bathurst, 4173 O'Connell Road, White Rock	440 m	SE
R7	9 and 14 Vista Place White Rock, 45 and 46 Ridgeview Close White Rock	1100 m	SE
R8	68 Lee Street, Kelso	240 m	N

Note 1: Distance to site boundary. Distances to major noise sources on site are typically greater than shown as plant items are located toward the centre of the site

The existing noise environment at the nearest potentially affected receivers is characteristic of rural communities located next to the industrial outskirts of a regional centre, consisting of rural residences with some transport and industry noise. In the absence of industrial noise, the ambient noise levels in the vicinity of receivers shown in Figure 2.3 are expected to be typical of a rural area with the acoustic environment also influenced by noise from two major arterial roads, Great Western Highway and O'Connell Road, as well as industry and the railway line which carries passenger and freight trains.

The local roads in the vicinity of the Project carry regular truck traffic associated with the various industries in the area. However the background noise levels in the area would not be strongly controlled by intermittent truck and train traffic so the existing background LA90 noise levels at receivers R1, R2, R3 and R7 are expected to be relatively low. The existing ambient noise levels at receivers R4 and R8 are expected to be much higher than a normal residential area due to their proximity to industrial noise sources, the railway line and Great Western Highway.

6.1.2 Noise Criteria

6.1.2.1 Noise Policy for Industry Project Noise Trigger Levels

Project Noise Trigger Levels (PNTLs) are derived in accordance with the Noise Policy for Industry (NPfi) (EPA, 2017) provide a benchmark or objective for assessing a site. It is. The PNTL is not intended for use as a mandatory requirement but is a level that, if exceeded, would indicate a potential noise impact on the community, and so ‘trigger’ a management response.

Project Intrusiveness Noise Level (PINL)

The PINL (LAeq(15 minute)) is defined as the rating background noise level (RBL) + 5 dB. The RBL is determined by measurement of the long-term background noise level LA90 and calculated in accordance with the NPfi Fact Sheets A and B.

If the RBLs derived from site measurements are lower than the minimum assumed RBLs, or if background noise measurements are not undertaken, the PINLs are based on the minimum assumed RBLs, as following:

- Day period (7.00 am to 6.00 pm Monday -Saturday; 8.00 am to 6.00 pm Sunday and Public Holidays) – 35 dB(A),
- Evening period (6.00 pm to 10.00 pm) – 30 dB(A), and
- Night period (10.00 pm to commencement of day period) – 30 dB(A).

Project Amenity Noise Levels (PANL)

The PANL is determined by comparing the existing ambient noise levels resulting from industrial noise sources with the recommended acceptable ambient noise levels for the respective noise amenity areas. The PANL at a receiver depends on the type of receiver and the noise amenity area of each receiver. Receivers potentially affected by the project are residential and are within either Rural or Urban amenity areas. The relevant PANLs, based on the surrounding noise environment at the receivers) are shown in **Table 6.2**.

Table 6.2 Project Amenity Noise Levels – Residential Receiver

Time of day	Recommended amenity noise level LAeq(period) dB(A)	PANL LAeq(15 minute) dB(A)
Rural Noise Amenity Area (R1, R2, R3 and R7)		
Day period (7.00 am to 6.00 pm Monday to Saturday; 8.00 am to 6.00pm Sunday and Public Holidays)	50	48
Evening Period (6.00 pm to 10.00 pm)	45	43
Night period (10.00 pm to commencement of Day period)	40	38
Urban Noise Amenity Area (R4 and R8)		
Day period (7.00 am to 6.00 pm Monday to Saturday; 8.00 am to 6.00 pm Sunday and Public Holidays)	60	58

Time of day	Recommended amenity noise level LAeq(period) dB(A)	PANL LAeq(15 minute) dB(A)
Evening Period (6.00 pm to 10.00 pm)	50	48
Night period (10.00 pm to commencement of Day period)	45	43

Project Noise Trigger Levels

The NPfI states that there is no 'one-size-fits-all' approach to determine the impact from an existing industry. The following governing principles should be applied when determining the project noise trigger levels and/or assessment requirements for existing industry:

- The PTNLs should not be applied as mandatory noise limits. The PTNL is the level used to assess noise impact and drive the process of assessing all feasible and reasonable control measures.
- Where an existing industry has been in operation for more than 10 years and existing site operations exceed the PANL, the PANL may be adopted as the PTNL to assess existing, and existing plus proposed site operations, as relevant.

The appropriate project amenity noise level for receivers R4 and R8 would be for the "Urban" noise amenity area as shown in **Table 6.2**. The PNTLs for receivers surrounding the site are given in **Table 6.3**.

Table 6.3 Project Noise Trigger Levels LAeq(15 minute) dB(A)

Receivers	Time of day	PINL	PANL	PNTL
R1, R2, R3 and R7	Day period (7.00 am to 6.00 pm Monday to Saturday; 8.00 am to 6.00 pm Sunday and Public Holidays)	40	48	40
	Evening Period (6.00 pm to 10.00 pm)	35	43	35
	Night period (10.00 pm to commencement of Day period)	35	38	35
R4 and R8	Day period (7.00 am to 6.00 pm Monday to Saturday; 8.00 am to 6.00 pm Sunday and Public Holidays)	-	58	58
	Evening Period (6.00 pm to 10.00 pm)	-	48	48
	Night period (10.00 pm to commencement of Day period)	-	43	43

Receivers R5 and R6 represent active recreation areas, and therefore have daytime PNTLs of 55 dB(A) when in use.

6.1.2.2 Maximum Noise Level Event Assessment

The potential for sleep disturbance from maximum noise level events at residential receivers is assessed by comparison of the predicted noise levels against the screening levels described in section 2.5 of the NPfI. The NPfI screening levels are:

- LAeq (15 minute) 40 dB(A) or the prevailing RBL plus 5 dB(A), whichever is the greater, and/or
- LAFmax 52 dB(A) or the prevailing RBL plus 15 dB, whichever is the greater.

Based on the project RBL's (refer to **Section 6.1.2.1**), the screening noise levels at residential receivers are:

- LAeq (15 minute) 40 dB(A), and
- LAFmax 52 dB(A).

Since the adopted night-time PNTL for receivers R4 and R8 is 43 dB(A) and already exceeds the LAeq(15 minute) screening level of 40 dB(A), the LAFmax screening noise level of 52 dB(A) only has been used to assess maximum noise events at R4 and R8.

6.1.2.3 Road Traffic Noise Criteria

The applicable criteria for traffic movements on the relevant roads are given in the NSW Road Noise Policy (RNP) (DECCW 2011) as shown in **Table 6.4**.

Table 6.4 Road traffic noise criteria

Road category	Type of project/land use	Assessment criteria – dB(A)	
		Day (7.00 am – 10.00 pm)	Night (10.00 pm – 7.00 am)
Local Roads	Existing residences affected by additional traffic on existing local roads generated by land use developments	LAeq, (1 hour) 55 (external)	LAeq, (1 hour) 50 (external)
Freeway/arterial/ sub-arterial roads	Existing residences affected by additional traffic on existing freeways/arterial/ sub-arterial roads generated by land use developments	LAeq, (15 hour) 60 (external)	LAeq, (15 hour) 55 (external)

6.1.2.4 Construction Noise Criteria

The construction noise target levels are the noise management levels (NML) provided in the Interim Construction Noise Guideline (ICNG) (DECC 2009) as shown in Table 6.5.

Table 6.5 ICNG Noise management levels: noise at residences, dB(A)

Time of day	Noise Management Level (NML) LAeq(15 minute)	All receivers
Recommended Standard Hours: Monday to	Noise affected RBL ¹ + 10 dB(A)	50

Time of day	Noise Management Level (NML) LAeq(15 minute)	All receivers
Friday 7.00 am to 6.00 pm Saturday 8.00 am to 1.00 pm No work on Sundays and Public Holidays	Highly noise affected 75 dB(A)	75
Outside recommended standard hours (Evening 6.00 pm to 10.00 pm)	Noise affected RBL + 5 dB(A)	45
Outside recommended standard hours (Night 10.00 pm to 7.00 am)	Noise affected RBL + 5 dB(A)	35

Note: 1. RBL is the Rating Background Level defined in the INP (EPA, 2000)

6.1.3 Assessment Methodology

The computer-based modelling software package CadnaA was used to predict the noise levels likely to be produced by the Project within the surrounding environment. Details on the modelling methodology are provided in Section 6 of the NIA (refer to **Appendix 3**).

Noise emitted from site during the construction phase has been considered in terms of the ICNG (DECC 2009) which aims to provide guidance on managing construction works to minimise construction noise rather than focusing on achieving specified numeric noise level criteria.

Operational noise from the Project site has been assessed in accordance with the NPfl. The NPfl approach to account for noise-enhancing weather conditions is to state the meteorological conditions under which the PTNLs and limits will apply, rather than stipulating the noise modelling parameters that must be used. The two options provided by the NPfl to consider meteorological effects are as follows:

1. Adopt the **noise-enhancing meteorological conditions** for all assessment periods for noise impact assessment purposes without an assessment of how often these conditions occur – a conservative approach that considers source-to-receiver wind vectors for all receivers and F class temperature inversions with wind speeds up to 2 m/s at night.
2. Determine the **significance of noise-enhancing conditions**. This involves assessing the significance of temperature inversions for the night-time period and the significance of light winds up to and including 3 m/s for all assessment periods during stability categories other than E, F or G. Significance is based on a threshold of occurrence of 30% determined in accordance with the NPfl provisions. Where noise-enhancing meteorological conditions occur for less than 30% of the time, standard meteorological conditions may be adopted for the assessment.

Option 2 was used in this case based on a twelve-month meteorological data set obtained from the Air Quality Impact Assessment (AQIA) for the Project. Further detail on the meteorological data set can be found within **Appendix 4**.

Where wind effects were found to be a feature of the area (Summer nights from the south-east, Autumn nights from the south, Spring evenings from the east-north-east and Spring nights from the south), these wind directions would reduce, rather than enhance noise propagation from the Project to the nearest sensitive receivers. Therefore, in accordance with the NPfl, only standard wind conditions were considered in the assessment.

Temperature inversions are a significant feature of the region during the winter nights. Further details on the meteorological parameters incorporated into the noise assessment are provided in **Appendix 3**.

6.1.4 Impact Assessment

6.1.4.1 Operational Noise Assessment

Noise emissions from the site have been estimated using manufacturer's sound power level data for the Amman UniBatch plant (refer to **Appendix 3**). Downer has advised that an oversize duct will not be part of the proposed plant for the Project. The sound power data for the oversize duct was supplied by Downer and this was subtracted from the overall plant sound power. Noise emissions from mobile equipment have been estimated based on the equipment's size, capacity and power ratings using sound emission data for similar plant. Noise from equipment that is expected to be used rarely has not been included in the base noise model.

The Amman UniBatch 180/240 asphalt plant is provided with "Level 1" standard noise mitigation treatments as a minimum, consisting of a silencer installed on the burner. Additional noise mitigation treatments are also available for the plant, as discussed below.

The estimated noise levels at the nearest noise sensitive receivers from operation of the Amman permanent fixed asphalt plant under the various modelled meteorological conditions without additional noise mitigation treatments are shown in **Table 6.6**. The predicted noise levels that exceed the PSNL criteria are shown in **bold**.

Table 6.6 Predicted noise levels with (standard treatment without oversize duct operation)

Receiver	Criteria			Noise Level LAeq(15minute) dB(A)	
	PTNL			Calm Conditions (all times except winter nights)	Winter Nights (with Temperature Inversion)
	Day	Evening	Night		
R1 - 21 White Rock Road, Kelso	40	35	35	37	40
R2 - 73 White Rock Road, Kelso	40	35	35	30	34
R3 - The Scots School	40	35	35	38	41
R4 - 62 Lee Street, Kelso	58	48	43	37	40
R5 - Eastern Active Rec Area	55	NA ¹	NA ¹	47	NA ¹
R6 - School Playground	55	NA ¹	NA ¹	33	NA ¹
R7 - 45 Ridgeview Close, White Rock	40	35	35	24	28
R8 - 68 Lee Street, Kelso	58	48	43	44	47

Note 1: School classroom criteria, noisiest 1 hour period, when in use otherwise Leq,Day 55 dB(A)

As shown in **Table 6.6**, the predicted noise levels exceed the PTNL during the evening and night periods during all seasons (calm and winter conditions) at receivers R1, R3 and R8.

When Level 2 noise controls are applied (as proposed) to the plant (as listed below), the predicted noise levels at Receivers R1 to R8 are shown in **Table 6.7**.

- Burner equipped with silencer (standard with all Amman plant burners) (Level 1).
- Chimney equipped with silencer.
- Cladding for virgin aggregate elevator head.
- Cladding for transfer elevator/screen.

Table 6.7 Predicted noise levels with Level 2 noise mitigation treatments

Receiver	Criteria			Noise Level LAeq(15minute) dB(A)	
	PTNL			Calm Conditions (all times except winter nights)	Winter Nights (with Temperature Inversion)
	Day	Evening	Night		
R1 - 21 White Rock Road, Kelso	40	35	35	35	37
R2 - 73 White Rock Road, Kelso	40	35	35	28	31
R3 - The Scots School	40	35	35	36	38
R4 - 62 Lee Street, Kelso	58	48	43	36	38
R5 - Eastern Active Rec Area	55	NA ¹	NA ¹	45	NA ¹
R6 - School Playground	55	NA ¹	NA ¹	31	NA ¹
R7 - 45 Ridgeview Close, White Rock	40	35	35	22	26
R8 - 68 Lee Street, Kelso	58	48	43	42	44

Note 1: School classroom criteria, noisiest 1 hour period, when in use otherwise L_{Aeq,Day} 55 dB(A)

As shown in **Table 6.7**, with Level 2 noise mitigation implemented, the predicted noise levels comply with the project PNTL at most receivers under calm meteorological conditions. At receiver R3 a minor exceedance of the evening and night-time PNTLs of 1 dB(A) is predicted. Exceedance of the night-time PNTL by 2, 3 and 1 dB(A) respectively is predicted at receivers R1, R3 and R8 under the worst-case meteorological conditions of winter nights with a temperature inversion.

It is noted that Downer has indicated that the plant would only run at night in response to a specific campaign, and in those instances the campaigns would generally last shorter than 6 weeks duration. Additionally, these campaigns are more likely to occur over warmer months as asphalt is generally not laid when the road temperature is too low. Downer have advised the following temperature limits for the following asphalt seal thicknesses.

- <45 mm – 10°
- >45 mm – 5°

Road temperatures around Bathurst would often fall below 5° during the winter months, especially under inversion conditions (which are conducive to frosts and ice formation on roads). Therefore, campaigns during the winter months when inversion conditions are most likely would be much rare than during the warmer months.

It is also relevant that due to the low temperatures, it is expected that receivers would have their windows closed during the months relevant to enhancing weather conditions. The predicted noise level is for outside the receiver with closed windows providing significant additional mitigation to the noise level received within the residence.

Finally, the new plant will incorporate much greater noise mitigation than the current plant. It is reasonable to infer therefore that the noise levels predicted in **Table 6.7** will be lower than those currently generated and received. Downer report that the only noise-related complaint received was from high frequency reverse alarms at night. These were subsequently replaced by low frequency reverse alarms and no further complaints have been received. Furthermore, the new plant will allow

for trucks to drive through after loading, i.e. avoid the requirement to reverse out after loading, further reducing the occurrence of reverse alarms being used.

6.1.4.2 Predicted maximum noise event (sleep disturbance) levels

To assess maximum noise events, a noise event to account for truck air brake release was added to the model including level 2 mitigated plant noise and the front-end loader. A truck air brake release sound power of 123 dB(A) was sourced from Umwelt's technical database and was placed in the model near the plant where a truck would park, once it had entered the Bathurst site.

Without any additional mitigation, **Table 6.8** presents the predicted maximum noise levels attributable to the Project.

Table 6.8 Predicted maximum noise levels in dB(A), with Level 2 noise mitigation treatments

Receiver	PNTL L _{AMax} dB(A)	Noise Level L _{AMax} dB(A)	
		Calm Conditions (all times except winter nights)	Winter Nights (with Temperature Inversion)
R1 - 21 White Rock Road, Kelso	52	46	46
R2 - 73 White Rock Road, Kelso	52	40	40
R3 - The Scots School	52	45	46
R4 - 62 Lee Street, Kelso	52	44	44
R7 - 45 Ridgeview Close, White Rock	52	35	35
R8 - 68 Lee Street, Kelso	52	52	53

It is noted that the use of trucks requiring air brake release would be rare and as such the results presented in **Table 6.8** may be considered conservative. To address the minor exceedance at R8, Downer has indicated that it is willing to make the commitment that if a campaign would require night operation of the plant for longer than 6 weeks duration during the winter months, the use of trucks which require air brake release would be avoided.

6.1.4.3 Construction Noise Assessment

In accordance with the ICNG (DECC 2009), the level of detail required for a quantitative assessment depends on the potential noise generation and the size and complexity of the project. Although the upgrade of the Bathurst Asphalt Plant involves the construction of new plant, the size and complexity of the project is moderate, therefore a qualitative assessment has been undertaken.

Construction activities are proposed to be restricted to the recommended standard hours as defined in the ICNG (DECC 2009). It is expected that construction noise emissions would readily comply with the criteria during standard construction hours due to the separation distance between the site and the nearest receivers and the expected construction activities associated with construction of the new asphalt plants and the decommissioning of the old plant.

In the unlikely event that construction activities are required outside of standard construction hours, additional noise mitigation measures will be implemented in accordance with the ICNG.

Construction traffic volumes are expected to be low and construction noise impacts are expected to be minimal. Noise impacts from construction related traffic will be minimised by avoiding construction related traffic from entering or leaving the site outside of standard construction hours.

6.1.4.4 Road Traffic Noise Assessment

The Project site is located in Zagreb Street Kelso, within an existing industrial estate located to the south of the Great Western Highway. The industrial estate that includes the Project site is accessed via Toronto Street and Lee Street, with connections back to the Great Western Highway (Sydney Road) via Hampden Park Road and Littlebourne Street. The local context currently consists of predominantly industrial activity, with a high proportion of heavy vehicles accessing the estate. The road network in the estate is sized deliberately to be able to handle large heavy vehicles on a regular basis.

Based on the supplied data the peak period volumes (see below), road traffic noise levels have been assessed against the criteria (refer to **Table 6.9**).

- 20 car movements at the start of day shift, into the site.
- 20 car movements at the start of day shift, from the site.
- 2 to 3 truck movements to and from the site in any one hour.

Table 6.9 Predicted Road Traffic Noise Impacts, dB(A)

Road Category	Criteria	Existing Estimated Road Traffic Noise Impact	Predicted Road Traffic Noise Impact with Project	Predicted Noise Increase due to Project
Local Roads – Lee Street, Toronto Street, Zagreb Street ¹	Day (7.00 am to 10.00 pm) LAeq, (15 hour) 60 (external)	66.2	66.2	< 0.1
	Night (10.00 pm to 7.00 am) LAeq, (15 hour) 55 (external)	67.2	67.3	< 0.1
Arterial/sub-arterial roads – Littlebourne Street, O’Connell Road, Great Western Highway ²	Day (7.00 am to 10.00 pm) LAeq, (1 hour) 55 (external)	54.6	55.2	0.8
	Night (10.00 pm to 7.00 am) LAeq, (1 hour) 50 (external)	52.0	52.8	0.8

Note: ¹ For a worst case setback distance of 30 m

² For a worst case setback distance of 40 m

The predicted existing and Project road traffic noise impacts for local roads and arterial and sub-arterial roads for receivers located in close proximity to the road are likely to be above the relevant road traffic noise criteria.

6.1.5 Mitigation and Management Measures

The following mitigation and management measures will be implemented for the Project.

Noise Monitoring Program

It is recommended that noise monitoring be undertaken at or as near as practical to receivers R1 and R4 to confirm noise levels from the asphalt plant during the day, evening and night-time assessment periods for each season during the first year of plant operation to confirm plant noise levels. If possible, monitoring should also be undertaken at receiver R3, however as this location is within the grounds of the Scots School, it may not be feasible to monitor at the location without the consent of the Scots School.

Asphalt Plant

Level 2 noise treatments will be adopted for the fixed asphalt plant, along with the exclusion of the oversize duct.

Road Traffic Noise

Noise impacts from construction related traffic will be minimised by avoiding construction related traffic from entering or leaving the site outside of standard construction hours.

Construction Noise

The ICNG (DECC 2009) provides recommended work practices to minimise noise impacts at residences and other sensitive land uses and provides guidance regarding contact with the community. The ICNG (DECC 2009) recommends universal work practices that should be implemented on all projects at any time of day, and where applicable during night works. The ICNG (DECC 2009) also recommends additional feasible and reasonable mitigation measures in cases where construction noise impacts are expected to exceed the noise management level and/or where construction activities are required to occur during the night.

The recommended universal work practices at any time of day include:

- Regularly train workers and contractors (such as at toolbox talks) to use equipment in ways to minimise noise.
- Avoid the use of radios or stereos outdoors where neighbours can be affected.
- Keep truck drivers informed of designated vehicle routes, parking locations, acceptable delivery hours or other relevant practices (for example, minimising the use of engine brakes, and no extended periods of engine idling).
- Develop a one-page summary of construction noise management conditions described in this report and where applicable the ICNG that relate to relevant work practices, so that all site operators can quickly reference noise information.

If construction activities are required to occur outside of standard hours, the minimum additional work practices that will be required to be implemented to minimise noise during the construction phase are:

- provide notification to the community
 - provide notification before and during construction

- implement an effective and consultative complaints and community enquiry handling procedure
- plant and equipment
 - use quieter construction methods
 - e.g. if possible, avoid the use of equipment which generates impulsive noise
 - avoid dropping materials from a height
 - avoid metal-to-metal contact on equipment
 - schedule truck movements to avoid residential streets if possible
 - use quieter equipment
 - minimise the need for reversing or movement alarms
 - use silenced equipment when available
- on site management
 - avoid mobile plant clustering near residences and other sensitive land uses.
 - design the site layout to minimise reversing alarms
 - position noisy equipment behind structures to provide noise shielding to receivers
- work scheduling
 - ensure periods of respite are provided in the case of unavoidable maximum noise level events
 - schedule activities to minimise noise impacts
 - organise deliveries and site access to minimise noise at receivers.

In the event that construction works are required outside of standard hours, additional consultation and notification should be made with the nearest affected residents.

6.1.6 Conclusion

On the basis of the application of all reasonable and feasible mitigation measures, the predicted noise levels received have been reduced as far as practically possible. Noting that exceedances of PTNLs are only predicted under worst-case conditions, and that operation under these conditions would happen only rarely, as well as the fact that the proposed new plant would incorporate improved noise mitigation measures to that of the existing plant, it is assessed that the project would be able to operate without adversely impacting on surrounding receivers. Noise monitoring has been proposed to assess the accuracy of noise level predictions, with a complaints management system to be maintained to ensure any issues are identified and rectified in a timely manner.

6.2 Air Quality Impact Assessment

An Air Quality Impact Assessment has been prepared for the Project by Jacobs and is summarised in this section of the EIS. The full report is presented in **Appendix 4**.

6.2.1 Existing Air Quality Environment

No air quality monitoring has been carried out specifically for this Project, however, the NSW government has established a network of monitoring stations across NSW which are managed by OEH (within the DPIE). Records are available on the OEH website. The closest monitoring station to the Project site is approximately 4 km to the northwest and measures Particulate Matter (as PM₁₀). Nitrogen dioxide (NO₂), carbon monoxide (CO), Particulate Matter (as PM_{2.5}) and SO₂ are not measured by the OEH at rural locations so data from Newcastle and the Upper Hunter were reviewed in order to estimate the likely concentrations levels of other substances in the air. This is a conservative approach since background levels at these locations are more densely populated with more pollution sources than at Bathurst.

Based on the measured average and maximum measured concentrations for PM₁₀, PM_{2.5}, nitrogen dioxide (NO₂), sulfur dioxide (SO₂) and carbon monoxide (CO), **Table 6.10** summarises the background levels established for the purpose of estimating impacts at surrounding receivers.

Table 6.10 Background Air Quality

Substance	Averaging time	Assumed background level	Notes
Nitrogen dioxide (NO ₂)	1-hour	101 µg/m ³	Maximum 1-hour average of all data collected between 2013 and 2015 from Beresfield, Newcastle and Wallsend.
	Annual	17 µg/m ³	Average of all data collected between 2013 and 2015 from Beresfield, Newcastle and Wallsend.
Carbon monoxide (CO)	1-hour	3 mg/m ³	Assumed to be the same as the 8-hour average. One hour averages are not available.
	8-hour	3 mg/m ³	Maximum 8-hour average of all data collected between 2013 and 2015 from Newcastle.
Particulate matter (PM ₁₀)	24-hour	29 µg/m ³	95 th percentile of all data collected between 2013 and 2015 from Bathurst.
	Annual	14 µg/m ³	Average of all data collected between 2013 and 2015 from Bathurst.
Particulate matter (PM _{2.5})	24-hour	18 µg/m ³	95 th percentile of all data collected between 2013 and 2015 from Muswellbrook and Singleton.
	Annual	8 µg/m ³	Average of all data collected between 2012 and 2015 from Muswellbrook and Singleton.
Sulfur dioxide (SO ₂)	1-hour	498 µg/m ³	Maximum 1-hour average of all data collected between 2013 and 2015 from Muswellbrook and Singleton.
	24-hour	60 µg/m ³	Maximum 24-hour average of all data collected between 2013 and 2015 from Muswellbrook and Singleton.
	Annual	5 µg/m ³	Average of all data collected between 2013 and 2015 from Muswellbrook and Singleton.

Source: Jacobs (2019) – Table 9

Jacobs (2019) makes the following analysis on the data as presented in **Table 6.10**.

- While not measured at Bathurst, concentrations of NO₂, CO and SO₂ are likely to be below the EPA criteria
- Existing concentrations of PM₁₀ and PM_{2.5} have exceeded the EPA's criteria in recent years. Exceedances are common in many parts of NSW and are predominantly influenced by events such as dust storms and bushfires or, in the case of PM_{2.5}, domestic heating in winter. Domestic heating in winter has been identified (OEH 2013) as one of the main causes for elevated levels.

6.2.2 Air Quality Criteria

Air quality impacts from the Project are determined by the level of compliance with the air quality criteria set by the EPA as part of their *Approved Methods for the Modelling and Assessment of Air Pollutants in NSW (Approved Methods)* (NSW EPA, 2016). These criteria apply to existing and potential sensitive receptors such as residences and schools in the vicinity of a Project. NSW EPA assessment criteria relate to the total concentration of pollutant in the air rather than just the contribution from project-specific sources.

The relevant EPA criteria are outlined in **Table 6.11** and apply to existing and potential sensitive receptors such as residences, schools and hospitals.

Table 6.11 Relevant air quality assessment criteria

Substance	Averaging time	Criteria	Agency
Nitrogen dioxide (NO ₂)	1-hour	246 µg/m ³	EPA
	Annual	62 µg/m ³	EPA
Carbon monoxide (CO)	1-hour	30 mg/m ³	EPA
	8-hour	10 mg/m ³	EPA
Particulate matter (PM ₁₀)	24-hour	50 µg/m ³	EPA
	Annual	25 µg/m ³	EPA
Particulate matter (PM _{2.5})	24-hour	25 µg/m ³	EPA
	Annual	8 µg/m ³	EPA
Sulfur dioxide (SO ₂)	1-hour	570 µg/m ³	EPA
	24-hour	228 µg/m ³	EPA
	Annual	60 µg/m ³	EPA
Polycyclic Aromatic Hydrocarbons (PAH) (Benzene)	1-hour	29 µg/m ³	EPA

6.2.3 Assessment Methodology

A "Level 1" assessment approach has been adopted, as per the procedures outlined in the "Approved Methods for the Modelling and Assessment of Air Pollutants in NSW (EPA 2016)". This involved determining maximum potential impacts by adding maximum background levels to maximum predicted Project increments. Jacobs (2019) used Ausplume, a computer-based air dispersion model, to predict ground-level pollutant concentrations due to the identified emission sources, and the model predictions have been compared with relevant air quality criteria previously discussed in **Section 6.2.2**. This level of assessment represents a conservative approach that will likely overestimate actual impacts.

Emissions for the proposed plant were calculated from the maximum plant release limit, as reported by the manufacturer (Ammann), and are reproduced in **Table 6.12**. Maximum plant release limits are considered worst case conditions for the proposed plant. It was assumed that emissions were released constantly for 24 hours per day, every day of the year.

Table 6.12 Maximum release limit from Ammann Unibatch/Valuebatch 180 series (Ammann, 2019)

Substance	Maximum release limit
Dust (particulates)	20 mg/Nm ³
CO	500 mg/Nm ³
SO _x ¹	350 mg/Nm ³
NO _x	350 mg/Nm ³
VOC	50 mg/Nm ³
PAH (1,3 Butadiene; benzene)	<2.5 mg/Nm ³

¹ SO_x is influenced only by fuel and/or raw material, so the manufacturer cannot control or influence this parameter

6.2.4 Air Quality Impact Assessment

The Project has been reviewed for sources of air emissions and the proximity of the sources to sensitive receptors. Emissions to air from asphalt plant processes would be predominately emitted from the stack and comprise PM₁₀, PM_{2.5}, CO, NO_x, SO_x, and PAH (as benzene). The total emissions identified in **Table 6.13** are a combination of the maximum predicted impact and the background concentration. The cumulative concentrations have been compared to the air quality assessment criteria.

Table 6.13 Predicted ground level concentrations

Statistic	Predicted maximum ground level concentration due to plant	Background level	Predicted maximum ground level concentration with background levels	Criterion
Predicted maximum 1-hour average CO (mg/m ³)	0.3	3	3.3	30
Predicted maximum 8-hour average CO (mg/m ³)	0.2	3	3.2	10
Predicted maximum 1-hour average NO ₂ (µg/m ³)	4.7	101	105.7	246
Predicted annual average NO ₂ (µg/m ³)	1.3	17	18.3	62
Predicted maximum 1-hour average SO ₂ (µg/m ³)	23.3	498	521.3	570
Predicted maximum 24-hour average SO ₂ (µg/m ³)	8.4	60	68.4	228
Predicted annual average SO ₂ (µg/m ³)	1.3	5	6.3	60
Predicted maximum 24-hour average PM ₁₀ (µg/m ³)	0.5	29	29.5	50



Statistic	Predicted maximum ground level concentration due to plant	Background level	Predicted maximum ground level concentration with background levels	Criterion
Predicted annual average PM ₁₀ (µg/m ³)	0.1	14	14.1	25
Predicted maximum 24-hour average PM _{2.5} (µg/m ³)*	0.5	18	18.5	25
Predicted annual average PM _{2.5} (µg/m ³)*	0.1	8	8.1	8
Predicted maximum 1-hour average benzene (µg/m ³)	2.0	-	-	29

* All PM₁₀ has been assumed to be PM_{2.5}.

6.2.4.1 Nitrogen Dioxide (NO₂)

The results show that maximum 1-hour average NO₂ concentrations, due to the maximum plant emissions, and with maximum assumed background levels would not exceed the EPA’s 246 µg/m³ criterion. The highest annual average NO₂ concentrations would be below the EPA’s annual average criterion. Based on these results, NO₂ concentrations are expected to comply with EPA criteria at all locations, including sensitive receptor locations.

6.2.4.2 Carbon Monoxide (CO)

The results show that maximum 1-hour average CO concentrations, due to the maximum plant emissions, and with maximum assumed background levels would not exceed the EPA’s 30 mg/m³ criterion. The maximum 8-hour average CO concentrations would be below the EPA’s 8-hour average criterion. Based on these results, CO concentrations are expected to comply with EPA criteria at all locations, including sensitive receptor locations.

6.2.4.3 Particulate Matter (as PM₁₀ and PM_{2.5})

The results show that the project specific contribution to the maximum 24-hour average PM₁₀ concentrations would be up to 0.5 µg/m³. Background PM₁₀ concentrations have been estimated, to be up to 29 µg/m³ as a 24-hour average. Adding the maximum project contribution of 0.5 µg/m³ to maximum background levels of 29 µg/m³ would still demonstrate compliance with the EPA’s 50 µg/m³ criteria. Similarly, compliance is predicted for annual average PM₁₀ concentrations. Adding the maximum project contribution of 0.1 µg/m³ to maximum background levels of 14 µg/m³ would still demonstrate compliance with the EPA’s 25 µg/m³ criteria.

Based on these results, PM₁₀ concentrations are expected to comply with EPA criteria at all locations, including sensitive receptor locations.

Based on a conservative approach that all PM₁₀ emissions are PM_{2.5} the model results show that PM_{2.5} concentrations due to the plant will be well below the EPA’s 24-hour average criterion. The model results suggest that annual average PM_{2.5} concentrations would exceed the EPA’s criterion of 8 µg/m³ however this is because the assumed background level is already at the criterion being 8 µg/m³. The maximum contribution from the plant is predicted to be low at 0.1 µg/m³ and as such, the plant is unlikely to be the sole cause of annual average PM_{2.5} concentrations exceeding the criterion as the assumed background level is already at the criterion.

6.2.4.4 Sulfur Dioxide (SO₂)

The results show that SO₂ concentrations for all averaging periods would not exceed relevant EPA criteria, based on maximum emission rates and assumed maximum background levels. The plant is therefore not expected to cause adverse air quality impact with respect to SO₂ emissions.

6.2.4.5 PAH (as Benzene)

The results show that even at maximum emission rates, the ground level concentration of 0.2 µg/m³ would be well below the relevant EPA criterion (29 µg/m³). Background levels are not required to be added to model predictions for assessment of benzene. The plant is therefore not expected to cause adverse air quality impact with respect to benzene emissions.

6.2.4.6 Odour

Odour from asphalt plants has often been characterised as a strong smell of burnt rubber. This type of odour will likely be a mixture of volatile organic compounds and influenced by crumb rubber being used for production. In addition, the potential fugitive odour emissions would be from:

- The loading of hot asphalt mix into delivery trucks, and
- The loaded hot mix on trucks prior to being covered with a tarpaulin.

These are transient activities and, as such, it is not possible to know when emissions will occur. It is important to note that there has been no history of odour complaints relating to emissions from the existing plant. The Project involves replacement of the existing plant with a more modern technology plant and as such, improvements in all emissions will be expected. The proposed plant will not increase the number or nature of odour sources on the site. Nevertheless, the use of liquid bitumen, petroleum distillates and emulsifiers could result in the fugitive release of odorous compounds, as noted above, and it will be important to manage these activities in order to minimise odour impacts as far as practicable.

6.2.5 Mitigation and Management Measures

- Particulate matter emissions from the dryer and the main tower will be captured and directed to a cyclone to remove coarser particulates and then to a fabric filter (bag-house) to remove fine particulates. The captured particulates would be returned to the production process. The fabric filter will be equipped with an online dust monitor to alert personnel in the event of bag leakage or failure. Particulate matter collection efficiency is in the order of 99.9%.
- The drum dryer, elevator and mixing tower would operate under slight vacuum to minimise dust escaping through seals
- The dryer burner would be routinely maintained and tuned to improve combustion efficiency and reduce emissions of carbon monoxide and organic compounds associated with incomplete combustion
- All process controls need to be regularly inspected and maintained in accordance with an inspection and maintenance schedule for the plant
- Low sulfur fuels would be chosen, where possible, to minimise SO₂ emissions from combustion
- Wind conditions would be reviewed at the time of handling potentially odorous materials, and the timing or duration of activities is modified accordingly to minimise the transport of emissions

towards sensitive receptors. Data from the Bureau of Meteorology's weather station at Bathurst Airport would be an appropriate source.

6.2.6 Conclusion

The model predictions indicated that the plant would not cause exceedances of the EPA air quality impact assessment criteria for all pollutants at all ground-level locations. It was therefore concluded that the Project is unlikely to cause adverse air quality impact at all off-site sensitive receptor locations.

6.3 Traffic and Transport Impact Assessment

A Traffic Impact Statement has been prepared for the Project by Better Transport Futures and is summarised in this section of the EIS. The full report is presented in **Appendix 5**.

6.3.1 Local Setting

6.3.1.1 Transport Network

Local Roads

The Project site is located on Zagreb Street, accessed via Whyalla Circuit, within an existing industrial estate located to the south of the Great Western Highway. The industrial estate is accessed via Toronto Street and Lee Street, with connections back to the Great Western Highway (Sydney Road) via Hampden Park Road and Littlebourne Street. A former access via a railway level crossing on Lee Street has been closed.

Zagreb Street, Whyalla Circuit, Toronto Street and Hampden Park Road are 2 lane with full sealed pavement and kerb and gutter drainage industrial standard subdivision streets, classed as minor roads in Bathurst Regional Council Development Control Plan (DCP) 2014. These roads provide access to a range of industrial land uses. All local intersections within the estate operate under priority control.

Lee Street is also a minor industrial road within the Kelso industrial estate, connecting to Hampden Park Road and Littlebourne Street. Between Hampden Park Road and Littlebourne Street the carriageway does not include kerb and gutter drainage, reverting to a two lane two way road with unsealed shoulders.

Littlebourne Street is classed as a major road in Councils DCP 2014. Its standard varies from two lane two way with unsealed shoulders in the vicinity of Lee Street, to two lane two way with kerb and gutter drainage from within the vicinity of Hampden Park Road. Immediately south of Lee Street there is an active School Zone in place.

Sydney Road (Great Western Highway) is the major east west arterial road in the Bathurst region. It has recently been upgraded to 4 lane dual carriageway standard in the vicinity of Littlebourne Street, with the intersection controlled by two lane roundabout operation.

Cycling Facilities

The road network serving the industrial subdivision in the vicinity of the Project site does not include specific cycling facilities.

Public Transport Services

The Project site is serviced by the Bathurst Bus lines Route 525 Kelso service which operates along Littlebourne Street and is the closest public transport service available to the Project site. The nearest railway service is at Bathurst Railway Station.

6.3.1.2 Existing Daily Traffic volumes

Traffic volume data for the Project was collected for the Project on Thursday 11 May 2017 at two intersections along the approach route to Zagreb Street from the Great Western Highway:

- Great Western Highway/Littlebourne Street
- Lee Street/Toronto Street.

The surveys were completed using video monitoring and data capture techniques and allow post survey viewing of video footage for review of characteristics such as queuing and driver behaviour. Data analysis was completed to focus on the typical peak periods for commuters (and school based activities) at the start and end of the business day, i.e. 7.00 am to 10.00 am and 3.00 pm to 7.00 pm.

A summary of the 11 May 2017 traffic data is presented in **Table 6.14**. The results presented are drawn from the urban flow conditions and Levels of Service definitions as presented in the *Guide to Traffic Generating Developments* (NSW RTA 2002). The ultimate capacity for a local street is 900 vph at the acceptable technical limit of flow conditions under urban conditions of Level of Service 'D'.

Table 6.14 Existing traffic volumes

Road	Location	Peak Period	Peak flow ⁽¹⁾	Mid-Block Road Capacity	Level of Service
Great Western Highway	East of Littlebourne Street	AM peak	459 E/B 632 W/B	900 (one-way) (2)	A A
		PM peak	683 E/B 898 W/B	900 (one-way) (2)	A A
Great Western Highway	West of Littlebourne Street	AM peak	734 E/B 1072 W/B	900 (one-way) (2) 1400 (one-way) (2)	A B
		PM peak	1006 E/B 1314 W/B	1400 (one-way) (2) 1400 (one-way) (2)	B B
Littlebourne Street	South of Great Western Highway	AM peak	559 N/B 321 S/B	600 (one-way) (2) 380 (one-way) (2)	C B
		PM peak	565 N/B 472 S/B	600 (one-way) (2) 600 (one-way) (2)	C C
Lee Street	North of Toronto Street	AM peak	0 N/B 1 S/B	200 (one-way) (2)	A A
		PM peak	0 N/B 11 S/B	200 (one-way) (2)	A A
Lee Street	South of Toronto Street	AM peak	120 N/B 86 S/B	200 (one-way) (2)	A A
		PM peak	90 N/B 134 S/B	200 (one-way) (2)	A A



Road	Location	Peak Period	Peak flow ⁽¹⁾	Mid-Block Road Capacity	Level of Service
Toronto Street	West of Lee Street	AM peak	86 E/B 121 W/B	200 (one-way) (2)	A
		PM peak	123 E/B 87 W/B	200 (one-way) (2)	A

Notes: ¹ Peak flow from 11th May 2017 traffic survey results by TTS for Mark Waugh Pty Ltd

² RTA 2002, Urban Road Conditions, One Lane, Level of Service (refer to Table 4.1 above)

The local industrial estate traffic is well within Level of Service ‘A’ operations, Littlebourne Street is currently operating at an acceptable LoS ‘B’ or ‘C’ range, and the Great Western Highway service levels were observed at LoS ‘A’ or ‘B’. The conclusion drawn from this data is that the technical lane capacity of the approach road system adjacent to the Project site is not exceeded and performance (LoS) levels are very good.

6.3.1.3 Existing Intersection Performance

There are a number of intersections and local access streets serving the Project site. Local intersections are all operating under priority control. This reflects the relatively low volume local function of these roads.

The Austroads (2009) *Guide to Traffic Management - Part 3 Traffic Studies and Analysis* identifies threshold levels for intersection capacity under uninterrupted flow conditions below which intersection analysis is considered unnecessary. Where traffic flows fall within these limits intersection performance is essentially operating with little or no delay for approaching drivers other than to obey the requisite road rules.

All local intersection traffic volumes were below the threshold in the Austroads (2009) guideline indicating that intersection analysis modelling was not required. At each of these locations traffic is required to slow down to negotiate turns with little if any delay for the through traffic movements. This is consistent with the site observations during the intersection surveys.

6.3.2 Traffic Impact Assessment

6.3.2.1 Operation

During peak production, there would be 20 car movements at the start of day shift, into and from the site and 2 to 3 truck movements to and from the site in any one hour. The primary traffic routes to and from site would be 100% via Zagreb/Whyalla/Toronto/Lee/Littlebourne route to the Great Western Highway.

The modelled traffic generation levels from the Project site are of the order of 25 vehicles in any one hour of operation. Even if this is added to every one of the existing survey monitoring points there is no discernible change in mid-block performance along approach/transport route for the Project site.

Roads serving as the main access routes for the Project site will continue to operate well within their technical, functional and environmental capacity levels.

The traffic assessment identified that the road network would continue to have very satisfactory performance. Even if all the predicted traffic were to access the Project site via the Littlebourne Street/Lee Street intersection the level of flows is such that there would be no discernible change in operations (it is expected that the flows are likely to be split between both Lee Street and Hampden Park Road.)

The proposed layout of the new plant will be capable of allowing all vehicles to enter and leave the site in a forward direction, and to provide for the requisite parking levels. There would be no change to the existing on site car parking (refer to Figure 2.2).

6.3.2.2 Background Growth

NSW RMS has for some time considered it necessary to make allowance for 'background growth' along its road corridors. This is slated as being required to take account of additional traffic flows from unknown sources that add to the base traffic flows.

In the case of the Project, and with an existing performance levels at LoS 'A' for the Littlebourne Street/Great Western Highway roundabout, even if a background growth level of 30% (i.e. 3% per annum) were to be assumed the performance level is still at LoS 'A'.

6.3.2.3 Construction Traffic Management

Construction activities would occur during the decommissioning and removal of the existing fixed asphalt plant and then again during establishment of the new fixed plant. Construction traffic related to these activities is expected to occur for up to six months, however, it is anticipated that the levels of traffic required for deliveries and construction employees will be less overall than the operational activities. As such, construction traffic impacts are not expected as a result of the Project.

6.3.3 Mitigation and Management Measures

Whilst the production capability of the site will increase the projected operational levels and predicted traffic flows generated by the proposal are quite small and well within the technical mid-block and intersection capacities available to access the main road network.

The type of traffic remains consistent with the existing and surrounding land use in the Kelso Industrial estate. The local access requirements of the Project site remain unchanged, and with minimal changed to predicted hourly traffic volumes it is recommended that the Project site be approved on traffic and transport considerations.

Accordingly, no mitigation or management measures are considered to be required.

6.4 Soils and Water Resources

6.4.1 Local Setting

6.4.1.1 Soils

The Project site is a relatively level lot that is predominately hardstand with some landscaping around the perimeter. There are no undisturbed soil resources remaining on the Project site.

6.4.1.2 Surface Water, Drainage and Flooding

Stormwater drains to the north western corner of the Project site from the car park and plant area where it discharges off-site into the stormwater inter-allotment drainage system on Zagreb Street. Stormwater then flows west along Zagreb Street into an open channel which continues west under the Kelso Industrial Area flood levy into a tributary of Raglan Creek, a tributary to the Macquarie River.

The Project site is shown to be outside of the 1% AEP flood extent in the Bathurst Council *Floodplain Management Policy* (2008). Therefore, no further assessment of flooding impacts is required.

6.4.1.3 Groundwater

Analysis of groundwater bores surrounding the Project site (BlueSphere, 2019 – refer to **Appendix 9**) confirm groundwater flowing towards the Macquarie River at a depth of between 2.5 m and 4.5 m below ground level. The proposed development will not interfere with or intersect groundwater and requires no licensing under the *Water Management Act 2000* as it will utilise water from the reticulated mains system.

The potential for contamination of groundwater is considered in a Contamination Assessment completed by BlueSphere Pty Ltd which is provided in full as **Appendix 9**. **Section 6.4.5** summarises the results with respect to current and potentially future contamination of groundwater.

6.4.2 Potential Impacts

The most likely impacts on soil and water resources associated with the Project are associated with the potential for entrainment of sediment, hydrocarbons and other contaminants in stormwater runoff and discharge or leaching to surrounding soil and water resources.

6.4.3 Approach to Assessment

Based on the most likely impacts, a soil and groundwater investigation was undertaken by BlueSphere Environmental Pty Limited (BlueSphere) to assess the environmental condition of the Project site. BlueSphere conducted an initial desktop review (May 2017) which identified the need for a detailed site investigation. The site investigation was undertaken from 7 to 9 August 2018 and 15 to 16 August 2018. The full report is provided as **Appendix 9**.

The results of the site investigation of BlueSphere were assessed with reference to existing and proposed management measures and controls to determine the likely impact of the Project.

6.4.4 Operational Safeguards, Management Measures and Controls

6.4.4.1 Water Quality

Erosion and Sediment Controls

The proposed site layout (refer to **Figure 3.2**) has been arranged to ensure stockpiles are remote from drains and upslope runoff is diverted around the stockpiles. As part of the Project a roof will be installed over the stockpiles.

Stormwater runoff from the plant area drains to stormwater pit CP1 (refer to **Figure 3.1**) which subsequently discharges into the existing Triple Interceptor Pit designed to remove both sediment and hydrocarbons. Stormwater runoff from the car park drains to stormwater pit CP2 (refer to **Figure 3.1**). The Triple Interceptor Pit is inspected monthly to ensure correct operation and excess sediment and retained hydrocarbons are removed as required.

During the construction phase some excavation would be required, to a maximum depth of excavation is 5 m, for the installation of steel foundations. Temporary erosion and sediment controls will be utilised as required in accordance with Bathurst Council's *Erosion and Sediment Control Guidelines for Building and Work Sites* and Landcom's *Managing Urban Stormwater: Soils and Construction Volume 1 and Volume 2* (2004) (the "Blue Book").

Hydrocarbons

Pre-coat and cold mix materials will be stored on an impermeable surface to ensure there is no potential for leaching of hydrocarbons into the underlying soil. Downer proposes to reseal these surfaces following installation of the new plant, as well as construct covers over the stockpiled materials to minimise contact with stormwater and limit entrainment of hydrocarbons in stormwater runoff.

All hydrocarbons will be stored in accordance with *AS1940 – 2004 The storage and handling of flammable and combustible liquids*. While this will help to reduce the risk of hydrocarbons being entrained in stormwater runoff there is still the potential for minor spills and leaks of hydrocarbons to enter the stormwater drainage system. As such, both stormwater pits CP1 and CP2 are equipped with “Drain Wardens” that are designed to contain hydrocarbons and sediment while allowing clean water to pass through. Water from CP1 and CP2 diverts to a Triple Interceptor Pit for the capture and prevention of release of hydrocarbons from site.

6.4.4.2 Water Use

Water is used on site for dust suppression and amenities usage and the Project is expected to have similar water demands to the existing operation. Historical water usage rates for the existing operation show a water demand of between 0.45 and 0.6 ML/year.

Water for these purposes will be drawn from primarily from town water supply, however, rainwater harvesting from building rooves is proposed to reduce demand for non-potable requirements, i.e. dust suppression and/or non-potable amenities (e.g. toilet flushing).

6.4.5 Impact Assessment

6.4.5.1 Sources of Contamination

The following potential sources of contamination identified during the desktop review and site investigation include:

- Historical locations of surface staining from bitumen and diesel, including former and existing aboveground storage tanks (ASTs)
- Underground storage tanks (USTs) for leaded petrol and diesel
- Waste oil storage area
- Former tar storage area and gravel drainage line located at the south-west section of the Project site
- Onsite laboratory
- Bitumen operations.

6.4.5.2 Contaminants of Concern

Contaminants of concern identified include total recoverable hydrocarbons (TRH), metals, polycyclic aromatic hydrocarbons (PAHs), benzene, toluene, ethyl benzene, total xylenes and naphthalene (BTEXN), heavy metals, lead, ethanol, volatile chlorinated hydrocarbons (VCHs), creosote, phenols and monocyclic aromatic hydrocarbons (MAHs).

6.4.5.3 Soil and Groundwater Investigation

The soil and groundwater investigation involved the drilling and installation of 18 soil bores and three groundwater monitoring wells between 7 and 9 August 2018. Soil samples were collected during the drilling and installation period and groundwater samples were collected from four bores on 15 and 16 August 2018. For further information on the investigation program refer to the Contamination Assessment Report provided as **Appendix 9**.

6.4.5.4 Results

Soil

Analysis of the soil samples show that the contaminant concentrations measured in the soil were either below the limit of detection or below the adopted criteria, with the exception of three soil sampling points (located at the south-west section of the Project site) which exceeded the adopted criteria for TRHs. No potential asbestos containing material (ACM) was observed onsite or detected during analysis.

Groundwater

All four groundwater wells reported dissolved metals (including copper, lead, nickel and zinc) in exceedance of the adopted guideline criteria. However, based on the concentrations of copper, nickel and zinc in the up-gradient well these analytes are likely to reflect natural background conditions. TRH, BTEX and naphthalene concentrations were detected in one monitoring and based on comparison to upstream samples, it is expected these are site generated. Notably, there are no specific groundwater criteria to evaluate TRH against with the concentration of BTEX and naphthalene were well below the relevant criteria for the relevant environmental values outlined in the *Environmental Objectives for Water Quality and River Flow* (NSW Government 2006).

A more detailed analysis of results is provided in section 7.2 of the Contamination Assessment Report with some of the minor exceedance of relevant criteria considered acceptable based on the magnitude of these and likely attenuation prior to entry of any water to aquatic environments or drinking water supply.

Perched water located at the gravel drainage line at the south-west section of the Project site had an odour and contained elevated TRHs and naphthalene concentrations.

6.4.6 Conclusion

Elevated TRH concentrations in soil in the south-west section of the Project site would require further investigation to determine the significance of the extent and magnitude of the impacts. Downer will implement additional soil testing to determine TRH concentrations in this section. The BlueSphere report recommended the gravel material within the gravel drainage line is excavated and replaced to minimise the potential runoff of hydrocarbons off-site. Downer will either remediate or replace the aggregate drain as part of the development after further investigations have been undertaken. Additional mitigation measures are discussed in **Section 6.3.3**.

Results of the soil and groundwater investigation suggest the Project site is suitable for the continued operation of an asphalt plant.

6.5 Ecological Impact Assessment

The Project site has been previously disturbed and is clear of all vegetation.

A desktop analysis of potential impacts to the Project site and surrounding areas was undertaken. The following database searches were undertaken as part of this analysis:

- The OEH NSW Bionet Atlas of NSW Wildlife records using a 10 km radius around the Project site (October 2019)
- The DoEE EPBC Act Protected Matters Search Tool (PMST) using a 1 km around the Project site (October 2019).
- The OEH Biodiversity Values Map and Threshold (BMAT) tool using the address of the Project site (October 2019)

The Atlas of NSW Wildlife records identified no species within close proximity of the Project site (refer to **Appendix 6**).

The PMST identified the following Protected Matters as having the potential to occur within the local area:

- Two listed threatened ecological communities
- 23 listed threatened species
- 12 listed migratory species (refer to **Appendix 6**).

As an existing, highly disturbed industrial site, the Project site does not contain any known ecological values. No Biodiversity Values were identified for the Project site using the BMAT search tool and as the Biodiversity Offset Scheme (BOS) threshold was not triggered, a Biodiversity Development Assessment Report (BDAR) is not required. It is considered unlikely that the Project site presents habitat for any threatened species, as the property has been cleared of all vegetation, excluding planted trees around its boundaries. The Project is proposed to occur wholly within the existing industrial site and will not require the removal of any vegetation. Accordingly it is unlikely to have any on or off-site ecological impacts. Mitigation and management measures will be implemented to ensure the continued unlikelihood of ecological impacts occurring as a result of the Project including:

- All employees and contract staff will be inducted and trained on environmental requirements.
- Erosion and sediment controls will be implemented as required to ensure no runoff occurs off-site.
- Planted trees bordering the Project site will be maintained.

Having regard for the nature of the proposed works, the existing characteristics of the Project site and the implementation of mitigation and management measures, it is considered unlikely any significant ecological impacts will occur as a result of the proposal.

6.6 Aboriginal Heritage

An AHIMS search was undertaken for the Project on 15 October 2019 and indicated that no known items or places of Aboriginal heritage significance are located in or within 1 km of Lot 300 DP 1099537 (containing the site) (refer to **Appendix 7**). It is considered that there will be no impact on any unknown items or places, as the Project site consists of an existing industrial site. In accordance with the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* (the Code) published by the NSW Department of Environment, Climate Change & Water (now the OEH), further assessment of potential Aboriginal cultural heritage impact is not required.

In the unlikely event that during the course of construction operations Downer becomes aware of any previously unknown Aboriginal archaeological material on the site, all works likely to affect the material or site will cease immediately and OEH, relevant Aboriginal stakeholders and a suitably qualified archaeologist will be consulted to determine an appropriate course of action prior to the recommencement of work at the site.

6.7 Historic Heritage

A search of local, State and National heritage databases was undertaken on 15 October 2019 (refer to **Appendix 8**), including:

- Bathurst Regional Local Environmental Plan 2014, Schedule 5- Environmental Heritage
- NSW State Heritage Register and State Heritage Inventory
- Australian Heritage Database
- PMST, which includes World Heritage Sites, National Heritage, Commonwealth Heritage and the Register of the National Estate.

No historic heritage sites were found to be located within or in close proximity to the Project site. The closest listed heritage item was located approximately 770 m south east (original Karralee buildings at Scots School, 4173 O'Connell Road), a sufficient distance to not experience disturbances associated with the Project. Any historic archaeological material that may have existed within the Project site is likely to have been buried by filling works undertaken as part of construction of the subdivision completed by Council and works completed under DA 85/78. The Project is not considered likely to impact any listed heritage items, directly or indirectly.

6.8 Visual

6.8.1 Existing Environment

The Project site is located within an area that has been used for industrial purposes for many years. The Project site itself is a brownfield site and has been operating as an asphalt plant for 39 years. Trees along the boundary of the Project site and the local topography including an existing bund along the western side of White Rock Road and Lee Street form an effective screen, obstructing surrounding views of the existing asphalt plant.

6.8.2 Proposed Changes

The key change within the Project site will be the replacement of the fixed asphalt plant which is the largest visual element within the site. The proposed fixed asphalt plant will be approximately 24 m high. The proposed fixed asphalt plant will be pale cream and grey in colour. A photo of the proposed fixed plant the Amman UniBatch ValueTech 180 is shown in **Plate 6.1**.



Plate 6.1 Amman UniBatch ValueTech 180

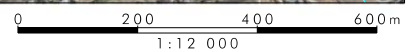
© Umwelt, 2017

The increase in height of the proposed asphalt plant may result in passing motorists on Lee Street and White Rock Road having glimpses of the plant. This represents a small change to the existing visual environment with any views of the plant being temporary as motorist pass by the site.

As it is proposed to be able to operate the site 24 hours a day, lighting will be required. All lighting will be in accordance with *Australia Standard 4282-1997 Control of the obtrusive effects of outdoor lighting* (AS 4282-1997). In general, lights will always be directed within the site boundary, specifically at key task areas, for example below the asphalt load-out bins, at the weighbridge and in the cold-feed bin loader area. Approximately 15 lights consisting of floodlights and small spotlights will be used around the site.



Image Source: Nearmap (Oct 2019)



Legend

- Project Site
- Visible Terrain

FIGURE 6.1
Radial Analysis

There will be additional lights on the asphalt plant tower for service and access safety. All lights at the site will be either full cut-off or fully shielded. There will be no lights pointing into the sky or away from the plant. When the plant is not operating at night, there will be general lights around the buildings and at access points for security purposes as is the existing situation

6.8.3 Assessment Methodology

To assess the visual impacts of the Project a radial analysis has been completed for the new asphalt plant (refer to Figure 6.1). Radial analyses are developed using 3D topographic information and electronic data files relating to the Project to identify what can theoretically be seen from particular vantage points around the Project. The radial analysis is based on topography and vegetation surrounding the Project.

6.8.4 Visual Impact Assessment

6.8.4.1 Views from Private Residences

The closest visually sensitive receiver is a residential receiver located approximately 240 m to the north-east of the Project site on Lee Street (refer to Figure 2.3). There are a number of additional residential receivers in this location (refer to Figure 2.3). As demonstrated in Figure 6.1, these receivers are anticipated to be largely shielded from the Project by vegetation and the existing industrial buildings and are afforded only filtered views.

The residential subdivisions of Kelso and White Rock are located approximately 700 m to the north and 500 m to the south respectively. The Scots School is situated approximately 450 m south-east of the Project site (refer to Figure 2.3). As demonstrated in Figure 6.1, these receivers are anticipated to be all largely shielded from the Project by vegetation and existing buildings, and are afforded only filtered views. A grassed berm along the western boundary of White Rock Road further shields the Project from view as do the mature trees that bound the Project site.

The Project site is surrounded by industrial land use on all sides, and the Project is not considered to be out of character with the surrounding visual environment. Further, it is considered that lighting will not have any significant visual impact on any neighbouring private properties.

6.8.4.2 Views from Public Vantage Points

Looking north-west to the Project site from White Rock Road, the Project is largely blocked from view from the street by a grassed berm, which limits vision of passing individuals into the Kelso Industrial Area (refer to Figure 2.3). Looking south-west toward the Project site from Lee Street, views of the Project site are shielded by neighbouring industrial buildings. The proposed asphalt plant is in keeping with the diversity and land zoning intentions of industrial sites in the surrounding Kelso Industrial Area.

6.8.5 Visual Management Controls

The following mitigation and management measures will be implemented for the Project.

- All lighting will be in accordance with AS 4282-1997 and ensure light is directed into the site and not towards neighbouring properties or into the night sky
- When work is not being undertaken at night, lighting will be kept to the minimum required for security.

6.9 Waste

6.9.1 Approach

Downer is committed as part of its Sustainability Policy to the management of waste streams in accordance with the principles of the waste hierarchy, where emphasis is placed upon reduce, reuse, recycle prior to disposal of its wastes. As discussed in **Section 3.2**, this includes the reuse of Recycled Asphalt Product (RAP) as part of proposed asphalt production at the Project site. The use of recycled products reduces the impact on landfill and natural resources. Further this improved technology enables Downer to produce the same volume of asphalt using less energy and raw materials. Introduction of RAP into asphalt at a rate of 20-30% reduces emissions and lowers volume of quarried materials required for operation.

The *NSW Waste Avoidance and Recovery Strategy 2014-21* (EPA, 2014) provides a framework for waste management over the next seven years, aligning with the NSW Government's waste reforms in *NSW 2021: A Plan to Make NSW Number One*. The Strategy identifies the following waste avoidance and resource recovery goals:

- avoid and reduce waste generation
- increase recycling
- divert more waste from landfill
- manage problem wastes better
- reduce litter
- reduce illegal dumping.

As discussed in **Section 4.2** the Protection of the Environment Operations (Waste) Regulation 2014 enables the EPA to issue resource recovery exemptions 'where the application of a waste material to land, its use as a fuel, or use in connection with a process of thermal treatment is a bona-fide, fit-for-purpose, re-use opportunity rather than a means of waste disposal' (EPA 2015).

The Reclaimed Asphalt Pavement Exemption 2014 applies to reclaimed asphalt pavement for use as an alternative raw material in the manufacture of asphalt. Similarly, the Recovered Tyres Exemption 2014 applies to the supply of the pelletised tyre rubber product 'crumb rubber' for use as an alternative raw materials in the manufacture of asphalt. An EPL is not required provided the products are sourced from an exempt or appropriately licenced supplier that complies with the conditions of the relevant exemption and that the asphalt is produced in accordance with the relevant Australian Standard. The use of these materials will increase recycling and divert more waste from landfill.

6.9.2 Predicted Waste Systems

6.9.2.1 Classification

Under the Waste Classification Guidelines (DECC, 2009b), waste can be classified into six different classes based on risks to the environment and human health, these classes are:

- special waste
- liquid waste

- hazardous waste
- restricted solid waste
- general solid waste (putrescible)
- general solid waste (non-putrescible).

6.9.2.2 Construction Waste

Given the nature of the equipment that is proposed to be installed on site, minimal waste will be generated during the construction phase of the Project. Potential waste streams include:

- General Solid Waste (putrescible and non-putrescible) including limited construction waste and general waste from construction personnel.

Construction wastes will be separated and recycled where possible and facilities will be provided for general wastes generated by construction staff. Any construction waste that cannot be recycled will be collected by an appropriately licensed contractor and disposed of at an appropriately licensed facility.

6.9.2.3 Operations Waste

The wastes likely to be generated during operation of the Project include:

- general solid waste (putrescibles), associated with food waste and waste from litter bins from employees
- general solid waste (non-putrescible), associated with recyclable products such as glass, paper and cardboard.

Limited quantities of general domestic and office waste will be generated by staff and will be disposed of through an appropriately licenced waste and recycling services.

As identified previously Downer will receive RAP and crumb rubber to be reused in the asphalt production process. These materials are all subject to resource recovery exemptions and will be managed on site in accordance with the relevant conditions and requirements of the relevant exemption.

Estimated quantities of RAP is outlined in **Section 3.1**. Quantities of crumb rubber are used to produce specific products and the quantities required will be determined by market demand.

6.9.3 Mitigation and Management Measures

The following management measures would be implemented as part of the project:

- Waste streams will be managed in accordance with the principles of the waste hierarchy, with emphasis on reduce, reuse, recycle prior to disposal of its wastes.
- All material used will be done in accordance with the requirements and conditions of the exemptions outlined above.

- General waste generated by site personnel during operation of the Project will be accommodated through the use of a 240 litre municipal waste bin to be collected by Council or a licensed contractor for disposal/recycling at an appropriate waste management facility.

6.10 Hazard and Risk

6.10.1 Approach

Under *SEPP 33 – Hazardous and Offensive Development* (DoP, 1992) (SEPP 33), a preliminary risk screening of a proposed development is required to determine the need for a Preliminary Hazard Analysis (PHA). The preliminary screening involves identification and assessment of the storage of specific dangerous goods classes that have the potential for significant off-site effects. If, at the proposed location, and in the presence of controls, the risk level exceeds the acceptable criteria for impacts on the surrounding land use, the development is classified as a ‘hazardous’ and/or ‘offensive’ industry as appropriate and may not be permissible within certain land zones in NSW.

A ‘hazardous industry’ under SEPP 33 is one which, when all locational, technical, operational and organisational safeguards are employed continues to pose a significant risk. An ‘offensive industry’ is one which, even when controls are used, has emissions which result in a significant level of offence e.g. odour or noise emissions. A proposal cannot be considered either hazardous or offensive until it is firstly identified as potentially hazardous or potentially offensive and subjected to the assessment requirements of SEPP 33. A PHA is required if a proposed development is potentially hazardous.

A proposed development may also be potentially hazardous if the number of traffic movements for the transport of hazardous materials exceeds the annual or weekly criteria outlined in *Table 2 of Applying SEPP 33* (DoP, 2011). If these thresholds are exceeded a route evaluation study is likely to be required.

6.10.2 Preliminary Risk Screening

Preliminary risk screening is undertaken to determine if a PHA is required. The preliminary risk screening compares the Project hazardous material storage quantities that have the potential to create off site impacts as well as transport quantities and frequency with SEPP 33 trigger values. **Table 6.15** provides a list of the hazardous materials to be stored at the Project, dangerous goods class of the material, storage quantity and the respective SEPP 33 threshold quantity. **Figure 6.2** presents a site layout showing the storage locations of the hazardous materials.

Where flammable liquids and combustible liquids are stored in close proximity the total inventory would be assessed as the most hazardous substance, i.e. the flammable liquid. As the flammable (ethanol, toluene, unleaded petrol) and combustible liquids (diesel) will be separated by an adequate distance (> 7 metres), in accordance with AS1940 – 2004 *The storage and handling of flammable and combustible liquids* (AS1940), the flammable and combustible liquids may be considered separately.

Diesel storage is typically not subject to SEPP 33 screening thresholds unless stored with flammable liquids or at an elevated temperature above its flash point, i.e. the temperature at which the vapours released from the surface of the liquid will form a flammable mixture with air. **Figure 6.2** shows that the diesel storage tanks (Depot 9 and Depot 10B) are adjacent to elevated temperature bitumen storages (Depot 10A and Depot 11). To maintain a conservative approach to the risk screening the aggregate inventory of diesel and elevated temperature bitumen (approximately 91,000 kg) has been assessed as Class 3 (II) flammable liquid. To avoid triggering the SEPP 33 screening threshold a separation distance from a store of 91,000 kg of Class 3 (II) materials to the Project site boundary must be at least 10 m.

Table 6.15 Hazardous Materials Inventory

Material	Storage Location	ADG Code ¹ Class (PG)	Estimated Project Storage Capacity (kg)	Screening Threshold (kg)	Trigger SEPP 33
Flammable Liquids (Toluene, Kerosene, Ethanol)	Depot 1	3 (II)	4500	5,000	No
Diesel	Depot 9 ²	C1	5,900	- ⁴	NA
Diesel	Depot 10B ²	C1	13,500	- ⁴	NA
Bitumen	Depot 10A ³	9 (III)	20,400	- ⁴	NA
Bitumen	Depot 11 ³	9 (III)	51,000	- ⁴	NA
Bitumen	Depot 17	9 (III)	408,000	- ⁴	NA
LPG		2.1	102	10,000	No
Motor Oils	Workshop	C2	200	- ³	NA

Note: ¹ ADG Code – Australian Dangerous Goods Code, ² Stored adjacent to elevated temperature liquid, ³ Stored at elevated temperature, ⁴ No SEPP 33 quantity screening thresholds for these materials

Table 6.16 Transportation Screening Thresholds

Material	ADG Code ¹ Class (PG)	Bulk or Package	Vehicle Movements		Minimum Quantity (T)
			Annual Threshold	Weekly Threshold	
Flammable Liquids	3 (II)	Package	>750	>45	10
Bitumen	9 (III)	Bulk	>1,000	>60	no limit
LPG	2.1	Package	>500	>30	5

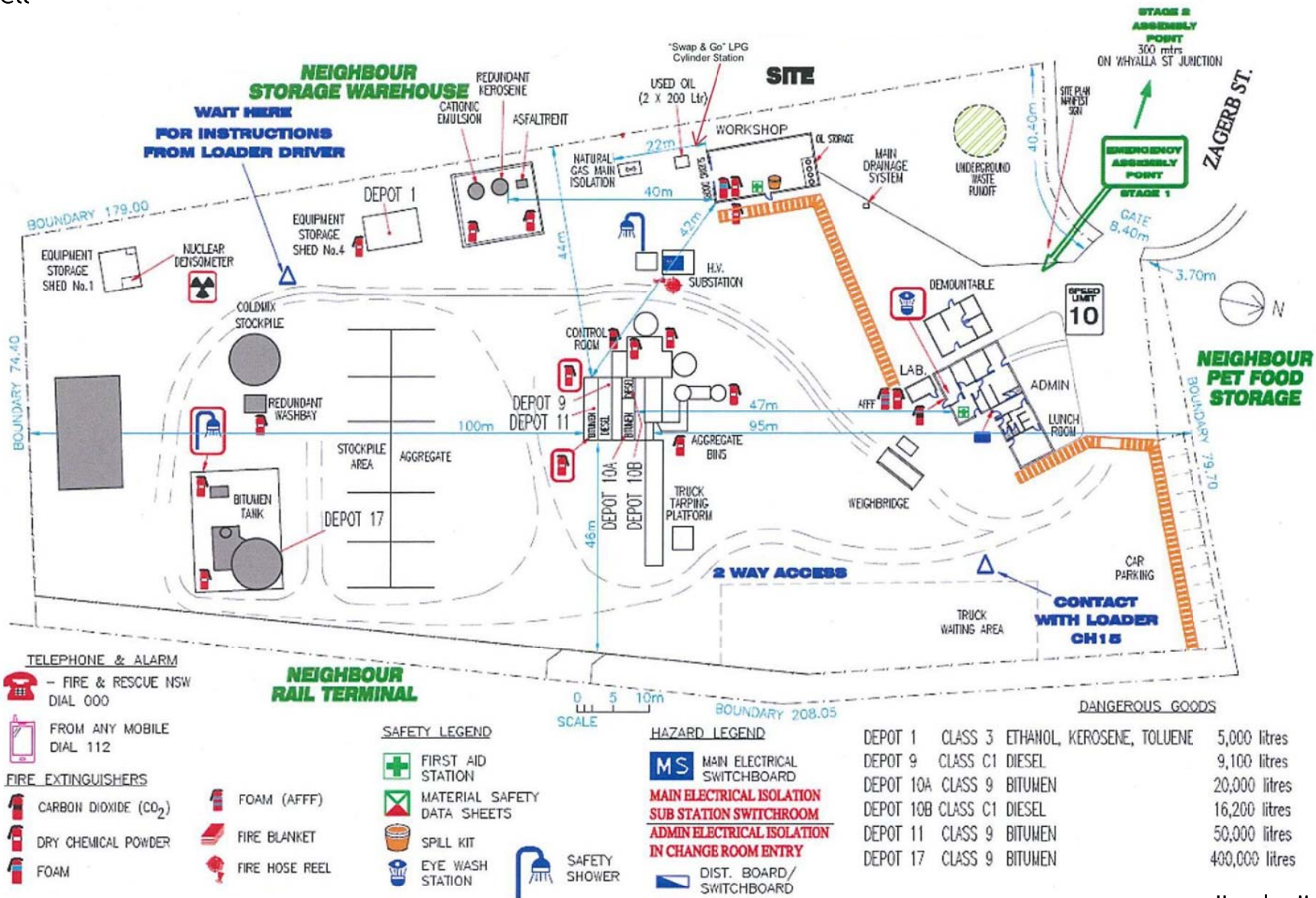


FIGURE 6.2

Hazardous Materials Storage Plan

Image Source: Emergency Fire Safety Training Pty Ltd

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Figure 6.2 demonstrates that the shortest distance to a site boundary from the diesel and bitumen storage area will be 44 metres and therefore the SEPP 33 screening threshold is not triggered.

Table 6.15 and **Figure 6.2** demonstrate that none of the hazardous materials to be stored at the Project are above SEPP 33 screening thresholds and therefore a PHA is not required.

Table 6.16 presents the SEPP 33 transportation screening thresholds. The number of transport movements for Class 3 (II), Class 9 and Class 2.1 materials will not exceed either the weekly or screening thresholds and therefore a route evaluation study is not required for the Project.

6.10.3 Management Measures

6.10.3.1 Flammable and Combustible Liquids Storage

Downer will store all flammable and combustible liquids in accordance with the requirements of AS1940. Although bitumen is not classified as a combustible liquid it may be ignited and the risk of fire is increased when stored at elevated temperatures as it will be at the Project. It is therefore recommended that it be treated as a Class C1 liquid and that separation distances and fire-fighting requirements of AS1940 be applied.

The proposed storage locations for the bitumen tanks, diesel tank and flammable liquids store meet the requirements of AS1940 for separation from the Project site boundary and on site protected places. To meet the fire protection requirements of AS1940 the Project site should be equipped with at least two powder type fire extinguishers for the bitumen and diesel tanks. The flammable liquids store should be equipped with two powder-type extinguishers, one powder-type extinguisher at each entrance to the storage area and two foam-type extinguishers.

6.10.3.2 Safety Management

Downer have a number of safety management system documents and procedures including the Emergency Preparedness and Response management procedure, a safe work method statement for the storage and handling of dangerous goods, site specific emergency management plans as well as a register for emergency equipment testing. The Emergency Preparedness and Response management procedure will be applied to ensure that all foreseeable emergency events are considered, and adequate site specific systems are put in place to ensure site personnel and equipment are ready and able to deal with an emergency situation.

6.11 Socio-economic

The Project is considered likely to have a number of positive social and economic impacts. As discussed, the capital investment value of the Project is approximately \$5.6 million. The Project is proposed to provide asphalt to a range of projects for Local and State Government as well as private industry.

In regard to the immediate local community, there will be the opportunities for the ongoing employment for 12 full time employees and 2 casual employees working full time onsite at the plant. There is also an asphalt crew made up of 10 people including permanent and casual staff; and a requirement for additional contract drivers for haulage; who are anticipated to be sourced from the local area.

The Project is unlikely to cause negative effects on the local economy. Expenditure from Downer and its employees will benefit the local and regional economies through direct spending of wages and employing the services of contractors, transport operators and other associated service providers. In addition, the Project will support local and regional industry and employment through sourcing of aggregate and quarry products used in the production of asphalt from Oberon Quarry and through the provision of a local supply of asphalt for road works.



Local and State government will receive economic benefits, including revenue from taxes and levies. In addition, the Commonwealth government will also receive revenue from the Project, through means including company tax, excise on imported equipment and goods, fuel excise and other taxes such as goods and services tax and income tax.

Downer has undertaken detailed environmental studies, reported in this EIS, to assess the potential impact of the Project on the environment and community. The proposed asphalt plant is located within an area that has been used for asphalt production for many years and is well removed from most residential land uses. The environmental impact assessment findings have identified that the Project will not result in any unacceptable impacts to the environment or community with the application of appropriate management and mitigation strategies, is considered to outweigh the costs. This is supported by the predicted impacts being able to be ameliorated by the proposed management and mitigation measures. The socio-economic benefits of the Project are therefore considered to outweigh the potential costs.

The Project will also benefit the community through improved energy efficiency and sustainability. As outlined in **Section 3.1**, the proposed fixed plant will be more energy efficient than the existing plant using less energy to produce the same volume of asphalt resulting in less greenhouse gas emissions. The proposed fixed plant also offers improved sustainability outcomes through the ability to reuse RAP that would have otherwise ended up needing to be disposed of thus reducing pressure on local landfill capacity. Downer have entered into an agreement to include used printer toner in the Asphalt product which will further reduce in the pressure on land fill capacity and result in improved sustainability outcomes.

Downer is committed to developing and maintaining long-term relationships with all stakeholders. Downer has engaged with the local community in relation to the proposed development and will maintain open lines of communication throughout the life of the Project. Telephone contact details will be provided at the site entrance for the purpose of receiving any inquiries from the public in relation to activities conducted at the site or by vehicles associated with the site. Downer will also maintain a register of community complaints in relation to the operations of the site.

Although the Project is a relatively small operation, the direct and indirect economic benefits of the Project are considered to provide a net benefit to the State as well as local and regional economies.

7.0 Conclusion

7.1 Environmental Impacts

The potential environmental impacts of the Project have been identified through a process involving:

- assessment of site characteristics,
- consultation with government agencies and community, and
- expert technical assessments.

The key issues identified were the subject of comprehensive technical assessment to identify and assess the potential impacts of the Project on the existing environment and community. The results of these assessments are detailed in **Section 6.0**.

The environmental and social impacts of the Project have been minimised through maintaining the existing and approved disturbance area, and implementation of appropriate control measures as part of an iterative Project design process. With the proposed measures to avoid, minimise and/or manage impacts associated with the Project, it is anticipated that the Project can proceed without having a significant adverse impact on the environment or local community.

7.2 Suitability of the Site

The Project is located within an industrial area of Kelso, approximately 230 m south of the nearest residential area with land uses in the immediate vicinity of the site being predominantly industrial in nature.

The Project site allows for the efficient supply of asphalt to local and regional markets and employment in the local area. As discussed in **Section 3.3**, the location of the Project site is preferred to considered alternatives on the basis of proximity of sensitive receivers, suitable location to service the market and good access to the road network. The Project will also result in very little change to the existing environment in terms of disturbance footprint.

The comprehensive environmental impact assessment demonstrates that the Project site is suitable for the proposed asphalt plant and that the environmental impacts of the Project can be effectively managed.

7.3 Benefits of the Project

The Project will provide a more energy efficient and cost effective system of asphalt production, and create a number of benefits for the local community through direct means such as continued local supply of asphalt, local employment and wages, and indirectly via spending on goods and services in the region. The key benefits associated with the Project are summarised below:

The Project benefits include:

- Reduced energy and costs to produce asphalt
- Reuse of RAP to minimise amount of quarried material required to meet production



- Maintaining Downer's market share in the region
- Capability to produce Downer's new 'low carbon asphalt' range of products
- Continued employment of local people at the site.

7.4 Ecologically Sustainable Development

The EP&A Act aims to encourage ecologically sustainable development (ESD) within NSW. As outlined in **Section 4.0** the Project requires approval from Bathurst Regional Council under Part 4 of the EP&A Act. As such, the approval authority needs to be satisfied that the Project is consistent with the principles of ESD. This section provides an assessment of the Project in relation to the principles of ESD.

To justify the Project with regard to ESD principles, the benefits of the Project in an environmental and socio-economic context should outweigh any negative impacts. The ESD principles encompass the following:

1. the precautionary principle
2. inter-generational equity
3. conservation of biological diversity
4. valuation and pricing of resources.

Essentially, ESD requires that current and future generations should live in an environment that is of the same or improved quality to the one that is inherited.

7.4.1 The Precautionary Principle

The EP&A Reg defines the precautionary principle as:

- namely, that if there are threats of serious or irreversible environmental damage, lack of full scientific certainty should not be used as a reason for postponing measures to prevent environmental degradation.

In the application of the precautionary principle, public and private decisions should be guided by:

- careful evaluation to avoid, wherever practicable, serious or irreversible damage to the environment, and
- an assessment of the risk-weighted consequences of various options.

In order to achieve a level of scientific certainty in relation to potential impacts associated with the Project, this EIS has undertaken an extensive evaluation of the key components. Detailed assessment of all key issues and necessary management procedures has been conducted and is documented in this EIS.

The assessment process has involved a detailed study of the existing environment and the use of scientific modelling and study to assess and determine potential impacts as a result of the Project. To this end, there has been careful evaluation to avoid, where possible, irreversible damage to the environment.

The decision making process for the equipment selection, impact assessment and development of management processes has been transparent in the following respects:

- Relevant government authorities and nearby residents were consulted during EIS preparation (refer to **Section 5.0**). This enabled comment and discussion regarding potential environmental impacts and proposed environmental management procedures.
- Downer will establish an Environmental Management System (EMS) and environmental management plan to manage Project impacts.
- The EIS has been undertaken on the basis of the best available information about the Project site. Where uncertainty in the data used in the assessment has been identified, a conservative worst case analysis has been undertaken and contingency measures have been identified to manage that uncertainty.
- A monitoring process will form an integral component of Downer's EMS for the Project, providing for review of future Project performance.

7.4.2 Intergenerational Equity

The EP&A Regulation defines intergenerational equity as:

- that the present generation should ensure that the health, diversity and productivity of the environment are maintained or enhanced for the benefit of future generations.

Intergenerational equity refers to equality between generations. It requires that the needs and requirements of today's generations do not compromise the needs and requirements of future generations in terms of health, biodiversity and productivity.

As detailed in **Section 6.0**, the Project can be undertaken without resulting in significant adverse impact on the local environment or community. The environmental management measures discussed in **Section 7.0** have been developed to minimise the impact of the Project on the environment and community to the extent reasonably practicable.

The management of environmental issues as outlined in this EIS will maintain the health, diversity and productivity of the environment for future generations.

7.4.3 Conservation of Biological Diversity

The conservation of biological diversity refers to the maintenance of species richness, ecosystem diversity and health and the links and processes between them. All environmental components, ecosystems and habitat values potentially affected by the Project are described in this EIS. As outlined in this EIS, the Project will not result in direct impacts to biodiversity values with no clearing of vegetation or disturbance proposed for the Project. The Project is not predicted to result in adverse biological diversity outcomes.

7.4.4 Valuation and Pricing of Resources

The goal of improved valuation of natural capital is detailed in Schedule 2 Clause 7(4)(d) of the EP&A Reg and has been included in Agenda 21 of Australia's Intergovernmental Agreement on the Environment. The principle of improved valuation and pricing refers to the need to determine proper values of services provided by the natural environment. The objective is to apply economic terms and values to the elements of the natural environment. This is a difficult task largely due to the intangible comparisons that need to be drawn in order to apply the values.



The asphalt plant will allow for the production of a valuable resource of high quality for use in the completion of infrastructure projects for both local and regional users.

Project feasibility considerations have included the costs of integration of effective management measures to minimise potential environmental and social impacts.

7.5 Conclusion

The Project provides an opportunity for Downer to improve the environmental performance of their asphalt operations within their existing site without the need for further disturbance or increased operational impacts. The Project would allow Downer to be more energy efficient through the improved technology of the upgraded asphalt plant providing the capability to produce Downer's new 'low carbon asphalt' products. The site location allows for the efficient supply of these asphalt products to local and regional markets for clients.

On considering the balance of the potential impacts of the Project on the environment and community, and the benefits of the proposed changes, it would be reasonable to conclude that the benefits of the proposed modifications outweigh the impacts.

8.0 References

Department of Environment and Climate Change (DECC) (2009a). *Waste Classification Guidelines*.

Department of Environment and Climate Change (DECC) (2009a). *Interim Construction Noise Guideline*.

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Department of Planning (DoP) (2011b). *Hazardous Industry Planning Advisory Paper No. 6 - Guidelines for Hazard Analysis*.

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Landcom (2004) *Managing Urban Stormwater: Soils and Construction Volume 1 and Volume 2 (the Blue Book)*

NSW Environment Protection Authority (EPA) (2014). *NSW Waste Avoidance and Resource Recovery Strategy 2014-21*.

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EXECUTIVE SUMMARY

Introduction

This Bathurst 2040 Open Space Strategy sets out the rationale for planning and provision of open space to meet the needs of the Bathurst Region community over the next 20 years.

Supply of open space

The Bathurst Region includes a wide range of open spaces from community parks, sporting land, natural areas, and multiple use open space, to “special” open space such as a greyhound racing track.

The distribution of open space by 12 Planning Areas in the Bathurst Region is shown below. The distribution of open space by Planning Area is uneven, which is addressed in the recommended actions.

Summary of Open Space Supply in Bathurst Region

Planning Area	Community Parkland (hectares)	Sporting Land (hectares)	Dual Purpose, Natural Areas, Special Open Space, Other (hectares)	Total Open Space (hectares)
Abercrombie - Llanarth	13.57	0.0	41.79	55.36
Bathurst	29.01	40.9	25.96	95.87
Eglington (all “parkland” is in linear drainage open space)	0.0	8.47	15.05	23.52
Kelso North - Laffing Waters	10.44	53.09	199.77	263.3
Kelso South	0.89	6.21	58.67	65.77
Mitchell - Robin Hill – Mt Panorama	27.81	78.66	259.24	365.71
Perthville	0.49	5.96	0.2	6.65
Raglan	4.75	5.39	15.38	25.52
South Bathurst – Gorman’s Hill - White Rock	4.01	60.45	7.99	72.45
West Bathurst	15.95	7.39	31.7	55.04
Windradyne	17.04	2.68	17.35	37.07
Rural Remainder	24.93	82.46	3,238.83	3,346.22
TOTAL	148.89	351.66	3,911.93	4,412.48

Bathurst Region compares favourably with other regional inland Councils in NSW in terms of the amount of public open space in general, developed parkland, active developed parkland, and natural areas; and slightly less favourably regarding passive developed parkland.

Demand for open space

The Bathurst Region population increased by 15% in the last 10 years from 36,900 people in 2006 to 42,400 people in 2016. The Bathurst Region population is expected to further increase in the next 20 years by 30% to 55,250 people in 2036. Increased population and development area will lead to demand for increasing areas of maintained open space.

Urban growth areas shown in the Bathurst Local Environmental Plan 2014 and listed in the Housing Strategy show that expected development will be:

- ❑ on the fringe of Eglinton with some penetration into the village.
- ❑ within the newer suburban areas of Kelso, Llanarth and Windradyne.
- ❑ as infill development in the older areas of the city of Bathurst, and urban and rural villages.
- ❑ scattered development throughout the rural areas.

Community and stakeholder engagement

The community and stakeholder engagement undertaken for this Strategy highlighted a number of key themes in regard to open space planning:

- ❑ **appreciation of Council's efforts in key "destination" parks** such as Victoria Park, Machattie Park, and the Macquarie River parks. It appears that community appreciation of open spaces is centred in Bathurst City and there is less mention of satisfaction in other towns or villages or the outer suburbs of the city.
- ❑ **concern regarding potential loss of existing parks or open space.** Existing parks and natural areas are valued and the comments indicate that there may be a concern Council is considering disposing of some parklands.
- ❑ **minimise urban sprawl.**
- ❑ **need to match provision of parkland and its development for community use to the growth in numbers of residents.** There is a strong theme received as part of the community engagement for this project that Council has not been timely in providing parkland for recreation or sport in the new development and growth areas.
- ❑ **preference for larger, more developed and diverse parklands.** A number of comments and responses appear to indicate that the community appreciates the value of district and higher level parks that provide for longer stays and have a diversity of recreation uses. To illustrate, one comment indicated support for greater investment in this level of parks rather than trying to provide numerous small local parks with minimal development.
- ❑ **better accessibility and distribution.** A number of comments indicate that there are some concerns regarding the lack of good/safe active transport links to parks for local/neighbourhood level recreation. This theme also seems to be reflected in comments about lack of footpaths, insufficient road frontage of some parks (e.g. provided as internal reserves with very little visibility) and the issues emerging from transport barriers affecting access.
- ❑ **improve the standard of multiple use open space.** Where the dominant level of provision is linear drainage related open space, there is indication that the community is comfortable with some level of multiple use open space to provide park opportunities but that the open space should be embellished to a standard that supports recreation use.
- ❑ **improve maintenance of parks.** There were wide ranging comments on maintenance, which complemented Council for much of the maintenance activity in the main Bathurst area and the high standard of key parks. However there were negative comments received which related to the frequency and ongoing maintenance of parks in the Bathurst suburbs,

particularly during the summer growing season; and that rural areas seemed to lack the same level of maintenance and that the linear open space systems could be better maintained.

Desired Recreation Opportunity Outcomes

The following outcomes for open space are desirable:

- ❑ Most residents will have safe walking and cycling access to **recreation parks and informal outdoor recreation** and local play opportunities.
- ❑ Within the Bathurst Region **a community park opportunity should be within 400-500 metres safe walking distance from residences in urban areas**. For rural villages, access to a community park is desirable within 1,000 metres.
- ❑ Most residents will have access to **a larger destination recreation park and/or sporting opportunities** within 10-20 minutes via car.
- ❑ Public parks and community facilities are **located and designed so as to maximise visual and physical access** and to allow for a wide range of potential uses and user groups.
- ❑ All parks **should provide opportunities for physical activity**, social inclusiveness, interaction and participation in outdoor recreation.
- ❑ Public parks should **improve the visual amenity of the locale** for both residential and non-residential areas. To achieve this it is desirable that a diversity of landscape settings are provided across the network and that opportunities to define character through the inclusion of unique or notable landscape features (such as elevated features, mature trees, view scapes) be taken where possible.
- ❑ Public parks should be **complemented by a walk and ride pathway network** which adds value to the accessibility of parks and contributes to the diversity of outdoor recreation opportunities available to a community.
- ❑ **Public parks should contribute to the strengthening of community** by providing spaces and places for social interaction, expression of community culture (including youth) and the activities of community based groups.

Standards of Service for open space

The overall Standards of Service for Public Open Space is comprised of two main elements:

- ❑ a preferred **Minimum Level of Supply (MLS)** of various types of land for parks which cater for informal and formal public recreation. This can be described as the “planned provision” of raw land supply that will be embellished (or developed) to provide for a range of public recreation opportunities.

In overall terms the anticipated broad outcome of land supply for public recreation is:

- 3 hectares per 1,000 residents for community parks ie. formal parkland settings providing non-organised outdoor recreation opportunity at local and “destination” levels.
- 1.5 hectares per 1,000 residents for formal sporting and organised public recreation activity.
- ❑ a Minimum Level of Development or embellishment for each type of park. This is termed the **“Minimum Level of Development” (MLD)**.

Criteria for community parks – local and district – and sports parks – district and regional – are given in terms of preferred minimum size (stand-alone and recreation node), service access radius, minimum road frontage, useable area for main purpose, slope and topography, flooding and other hazards, and paths and access.

Design criteria for each open space type are also provided in terms of boundary fencing, water taps and irrigation, toilets, bike/ pedestrian paths and facilities, power and lighting, playgrounds, youth facilities- informal active facilities, active recreation elements, sporting fields/courts, picnic tables/seats/barbecues, shade, landscape works, car parks and internal roads, and special elements.

Assessment

The current rate of provision of community parks in the Bathurst Region is 3.51 hectares per 1,000 people. Provision of land for local and district community parks currently and/or will in 2036 fall below the recommended 3 hectares per 1,000 people in Abercrombie-Llanarth, Bathurst, Eglinton, Kelso North/Laffing Waters, Kelso South, Perthville, South Bathurst-Gormans Hill-White Rock, and West Bathurst.

Across the Bathurst Region sporting land provision is currently around 3.58 hectares/1,000 people (excluding major “outliers” such as the Bathurst Bicycle Park, racecourses and private facilities). This includes whole parcels which, while predominantly used for sport, can have large areas of bush-land or other open space within the boundary. Taking into account the forecast population in 2036 of 55,250 people the rate of provision then will reduce to 2.78 hectares per 1,000 people, but will still be above the recommended rate of 1.5 hectares per 1,000 people.

Provision of active open space and land for sport is uneven, with local planning areas such as Bathurst having high rates of provision of sporting land, but North Kelso/Laffing Waters having undesirably low provision of active open space and land for sport. By 2036 provision of sport land will be below the recommended 1.5 hectares per 1,000 people if no additional land is provided in Abercrombie-Llanarth, Kelso South, Perthville and Windradyne.

Recommendations

Recommended actions by Planning Area are:

Planning area	Recommendations
Abercrombie-Llanarth	<ol style="list-style-type: none"> 1. Continue to enhance the riverside parklands as district level parks with play, picnic and active facilities. 2. Consider a new community park within the western growth area of at least 1 hectare, with frontage to Evernden Road. 3. Provide a community park of at least 1 hectare to service future residential areas on the western boundary. 4. Ensure all new parks or dual purpose open space have at least 50% road frontage. 5. Develop informal/ training only fields in the detention basin adjacent to Eglinton Road. 6. Acquire a corridor along the western side of Sawpit Creek (Windradyne and Llanarth) when the land is developed for residential purposes. 7. Implement the Freeman Park Masterplan.
Bathurst	<ol style="list-style-type: none"> 1. Long term strategic planning for the Macquarie River corridor to become a major regional open space corridor with public access, pathways and recreation nodes from Gorman’s Hill to Abercrombie-Eglinton. 2. Short- to medium term master planning for the eastern side of the river corridor to link multiple areas of public open space and provide links and informal recreation use.

Planning area	Recommendations
	<ol style="list-style-type: none"> 3. Develop an extended running/walking cycling path network along the river and levee banks. 4. Implement the Centennial Park Master Plan. 5. Continue to develop Victoria Park (the Adventure Playground). Stage 2 works are proposed in the 2019/20 budget. 6. Retain all existing open space within the Bathurst Planning Area, acknowledging that it is difficult to acquire additional open space into the future.
Eglington	<ol style="list-style-type: none"> 1. Consider a longer term strategy to create an open space and park corridor along Saltram Creek linking the river to the Saltram Circuit open space. 2. Provide for local play in the Saltram Crescent open space and in the proposed new park mentioned in (1) above. 3. Plan in the longer term for additional investment in the riverside open space to create a new picnic and nature focused play area. Development should be complementary to the Ranken's Bridge/O'Keefe Parks on the opposite bank. 4. Explore opportunities for active recreation within the land use buffers on the northern, eastern and western sides of the village. 5. Develop an additional sports precinct of a minimum of 5 hectares on the western boundary of the village, inclusive of local play. 6. Explore opportunities for cycle paths and tree planting in the open space surrounding the village.
Kelso North – Laffing Waters	<ol style="list-style-type: none"> 1. Implement proposals for open space shown on the Laffing Waters Master Plan. 2. Consider developing a local community park including play and active space in the four sites around Coates Drive. 3. Develop two new local parks of at least 0.5 hectares (preferably 1 hectare) as part of the Laffing Waters Master Plan as development progresses. 4. Provide one new district level community park of 2+ hectares using part of the existing sports area and other open space. 5. Provide active transport links to the river and to larger community parks and the future Neighbourhood Activity Centre at Laffing Waters. 6. Develop a large multi use district park and sports field north of Marsden Lane (5 hectares) as part of the Laffing Waters Master Plan. 7. Explore opportunities for cycle paths and tree planting in the open space between the rural and residential land.
Kelso South	<ol style="list-style-type: none"> 1. Acquire additional land for a district park (minimum 3 hectares) and a new local park (minimum 0.5 hectares). Ensure land is fit for purpose and has minimum 50% road frontage. 2. Encourage Housing NSW to improve Bell Park to minimum standard for local community park. 3. Explore opportunities for cycle paths and tree planting in the open space between the rural and residential land.
Mitchell-Robin Hill-Mount Panorama	<ol style="list-style-type: none"> 1. Provide a new dual use riparian open space corridor along Sawpit Creek (south of the Mitchell Highway) and include a local-district sized community park as part of this with road frontage access to new development to the east.

Planning area	Recommendations
	<ol style="list-style-type: none"> 2. Consider enhancing the local play area in George Park and increase local park opportunities here- possibly in the Rankin-Brilliant Street corner.
<p>Perthville</p>	<ol style="list-style-type: none"> 1. Implement the Perthville Village Square Master Plan (CL 52) to provide a multi-use district park for the village with both play and picnic facilities, multi-use courts and small informal field.
<p>Raglan</p>	<ol style="list-style-type: none"> 1. Develop a local play opportunity in the west of the planning area at either Christie Street dual use open space, Elmo Lavis Park, or Landseer Street Park. 2. Develop a district park at Ralph Cameron Oval with larger play area, youth activity node and picnic and community gathering facilities.
<p>South Bathurst- Gormans Hill-White Rock</p>	<ol style="list-style-type: none"> 1. Upgrade and investigate opportunities to expand Gorman’s Hill Park. 2. Consider further enhancement and embellishment of Jacques Park. 3. Prepare and implement a landscape master plan for multiple uses of Alec Lamberton Field: informal and formal sport, and informal community recreation use.
<p>West Bathurst</p>	<ol style="list-style-type: none"> 1. Provide locally accessible community park and play in the two locations identified as underprovided ie. around Green Street and Osbourne Avenue in the north-west corner, and Rosehill Street in the north. 2. In response to (1) consider strategies for enhancing access to and opportunities in Edgell Street Drainage Reserve. 3. Purchase land when the opportunity arises to provide road frontage and access to PK00051. Investigate the possible expansion of PK00051 into private land to the north. 4. Retain existing parks if urban renewal proceeds, and seek opportunities to expand local parks both in area and access/road frontage.
<p>Windradayne</p>	<ol style="list-style-type: none"> 1. Duplicate the Sawpit Creek Riparian Corridor on the western side of Sawpit Creek when the land is rezoned, but ensure that road frontage and some larger areas of land (minimum 0.5 hectares of usable space) are provided. 2. Upgrade Booth Street reserves as a district park. 3. Consider the potential for informal sport and training use of a field in the Richardson Street detention basin. 4. Develop a central local park within Council’s current Windradayne 1100 subdivision (minimum 0.5 hectares).
<p>Rural Remainder</p>	<ol style="list-style-type: none"> 1. Consider adopting a minimum service level for parkland opportunities for rural villages of: <ol style="list-style-type: none"> a. Access to a community parkland supporting play and picnic opportunities within the village. b. Access to sport and active recreation via either outdoor courts or a sports field/ sports reserve (within or adjacent to village and can include shared use of school facilities). c. Access to a community hall or covered space for indoor activities, meetings.

Planning area	Recommendations
	<p>Sofala:</p> <ol style="list-style-type: none"> 2. Provide a multi-use sport field for Sofala at the showgrounds, Wattle Flat Heritage Grounds, or in consultation with Wattle Flat and Sofala Public Schools. 3. Investigate a new recreation area on the Turon River based on Crown land (as shown on Provision Plan). <p>Peel</p> <ol style="list-style-type: none"> 4. Provide a playground and picnic setting at the Peel tennis court and community hall. <p>Wattle Flat</p> <ol style="list-style-type: none"> 5. Investigate potential for a public park and play area at the Wattle Flat Heritage Grounds or the Crown conservation areas. <p>Rockley</p> <ol style="list-style-type: none"> 6. Enhance play and other recreation opportunities at Stevens Park at Rockley. <p>Trunkey Creek</p> <ol style="list-style-type: none"> 7. Investigate opportunities to improve the Trunkey Creek Recreation Ground for informal recreation.

Recommendations for effective open space planning and management processes within Council include to:

- ensure Council's Workforce Plan identifies the needs of the Recreation team to have the relevant skills and experience in greenkeeping, horticulture, landscape architecture, recreation planning and project management, and arboriculture.
- Prepare, and update as necessary, Plans of Management for community and Crown land.
- ongoing development assessment.
- rezone identified open space land as RE1 Public Recreation or E2 Environmental Conservation as appropriate.
- zone drainage lines as SP2 Drainage to reflect their drainage use and function rather than as RE1 Public Recreation.
- develop and adopt guidelines on the minimum expected embellishment of local open space by developers at the time of dedication to Council.
- identify open space in the Bathurst Regional Development Control Plan with its intended use (eg local open space, community parks, sport, drainage, natural, district, sport) to inform the community on the planned open space provision.
- include open space planning controls and design requirements in the Bathurst Regional Development Control Plan.
- refer development applications and subdivision plans with open space land to be dedicated to Council or landscape plans to the Recreation team for their review and comment.
- review developer contributions plans to reflect the estimated cost of open space works.
- continue to levy and collect developer contributions (Section 7.11 of the *Environmental Planning and Assessment Act 1979*).

Attachment 8.2.6.1

- prioritise operational and capital expenditure and Council resources on open space.
- adopt the recommended classification system for open space.
- community engagement in planning and design of open spaces, then get a professional to design in conjunction with community engagement with local residents (letterbox drops, surveys, interest groups).
- ongoing asset management.
- benchmark activity to determine the appropriate maintenance budget.

Recommendations for masterplanning in new subdivisions to plan and provide open space early in the planning process are given.

Embellishment of open space is to be completed by the developer prior to the dedication of the open space as a works-in-kind arrangement.

The process for acquiring, rationalising and disposing of land for open space are also provided.

Attachment 8.2.6.2

From: [Your Say Bathurst Region](#)
To: [Nicholas Murphy](#); [Council](#); [Martin Holley](#)
Subject: Morgs completed Bathurst 2040 Open Space Strategy feedback (20.00314)
Date: Monday, 9 March 2020 8:46:19 PM

Morgs just submitted the survey 'Bathurst 2040 Open Space Strategy feedback ' with the responses below.

Name

Michele Morgan

Postal Address

7 Lomas Close Kelso

Your email address

sonseb2795@hotmail.com

Please outline your submission

Personal needs regarding open space strategy.

Would you like to upload a document?

https://s3-ap-southeast-2.amazonaws.com/ehq-production-australia/b3e6da4a4805be6909dbaf9044344131a76e1908/file_answers/files/042/271/756/original/2040_submission.docx?1583747159

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I currently utilise the river walk while walking my dogs on the Trinity Heights side at least 5 days a week and only use the Showground side in Winter when there's little likelihood of encountering snakes. We walk around Learmonth Park; down the highway; down Gilmour Street; Stephens and Church lanes; Hereford Street and basically anywhere with shaded areas and footpaths.

The best open space for my purposes would be Learmonth Park where I can let my dogs run more freely on 25 metre leads. It is particularly good as it must be sprayed so there are no catheads.

My particular area of concern is the condition of the river and its banks between the Denison and Gordon Edgell bridges. Reeds and weeds have clogged parts of the river and taken over the bank edges. There used to be areas where you could go into the river with your dogs in relative safety and that is no longer the case. This year relatively safe entry areas were reduced to 2 and as at today's date 1 although my vet seriously queries even that!

I realise this is not solely a Council issue however I really hope the Council can use its clout with relevant government departments to make the river safe for human and animal recreation as it used to be and not just a habitat for Tiger and Eastern Brown snakes.

From: [Your Say Bathurst Region](#)
To: [Nicholas Murphy](#); [Council](#); [Martin Holley](#)
Subject: Gary completed Bathurst 2040 Open Space Strategy feedback (20.00314)
Date: Tuesday, 10 March 2020 12:08:45 PM

Gary just submitted the survey 'Bathurst 2040 Open Space Strategy feedback ' with the responses below.

Name

Gary

Postal Address

No Answer

Your email address

gaz.dood@gmail.com

Please outline your submission

Council needs to improve the areas around existing playgrounds for children. Spray to kill cathead weeds. People won't use the facility if they cannot be safe near them. Falling in catheads is a hazard. Stepping on catheads is a hazard. Examples are the playground near the bridge at Eglinton, the park in Windradyne between Swanbrooke St & Cangoura St. Also the nature strips near the CBD. Particularly Russell St between Rankin St and George St - stay off the grass as it is almost all catheads on the western side

Would you like to upload a document?

No Answer

[Report this message as spam](#)

Bathurst Regional Council: 2040 Open Space Strategy, Final Draft Report

The Friends of Centennial Park Inc wish to support and commend the general deliberations, findings, values, and recommendations outlined in the draft report.

Over the past 6-7 years, Council has undertaken considerable planning and consultation around the preservation, protection, and enhancement of Centennial Park as an open space for all.

We are delighted that this report recommends, in many places, that the Centennial Park Master Plan be implemented. We agree.

This will have the effect:

1. A welcome addition to the supply of quality parkland. It will satisfy the recommended ratio of parkland 3ha:1000 people, and will supply quality open space amenity within 400-500m walk. Park supply needs to increase in order to meet projected population increases.
2. That quality design of public open space is ensured. The design for Centennial Park has been carried out. Council's Parks and Recreation department wishes to ensure quality execution of the design.
3. A quality and unique park in a high population density area. Centennial Park is a rare historical survivor. It is located in one of the low socio-economic yet most highly populated areas in the LGA.

We urge that Centennial Park be included in planning and policies outlined in the report:

1. Retaining all existing open space; recognising that use of parkland is increasing.
2. Planning and planting for low maintenance solutions in parks.
3. Providing easy access to users.
4. The estimated 27% population increase by 2036 means potential infill in local housing stock, smaller yards.
5. Centennial Park was the 4th most popular park in Bathurst, based on the consultants findings (page 76/91). Many see its potential, and also its existing beauty.
6. In providing linkages and building networks, "linear public open space corridors" between parks, open spaces, rivers, with access, paths, and cycleways (page 16/31).

Attachment 8.2.6.2

The draft report is generally easy to read and well understood. There are two instances where this could be improved:

1. Section 5 became repetitive in part.
2. Is it a typo on page 88/104 where the “tropical nature of the city” is described?

While the Draft Report deals extensively with new developments and open space standards for subdivisions, we will be pleased to use the comprehensive background material provided. It supports the efforts of The Friends of Centennial Park Inc in wishing to preserve and enhance the park.

We note that the relatively old Machattie Park is a local jewel, and that highly valued Bicentennial Macquarie River Park and the Adventure Playground in Victoria Park are relatively new. We look forward to the addition of a revived Centennial Park to this list (page 108/123).

We look forward to continuing to contribute to successful open space projects in Bathurst.

Yours sincerely,

Vianne Tourle
on behalf of The Friends of Centennial Park Inc.

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2. Is it a typo on page 88/104 where the “tropical nature of the city” is described?

While the Draft Report deals extensively with new developments and open space standards for subdivisions, we will be pleased to use the comprehensive background material provided. It supports the efforts of The Friends of Centennial Park Inc in wishing to preserve and enhance the park.

We note that the relatively old Machattie Park is a local jewel, and that highly valued Bicentennial Macquarie River Park and the Adventure Playground in Victoria Park are relatively new. We look forward to the addition of a revived Centennial Park to this list (page 108/123).

We look forward to continuing to contribute to successful open space projects in Bathurst.

Yours sincerely,

Vianne Tourle
on behalf of The Friends of Centennial Park Inc.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy



The Bathurst Regional sport , recreation, leisure , arts , environment , technology community of 2040 will be different and at odds to the one of today as we evolve as a result of changing factors and experiences.

A couple of practical and current anecdotal examples include the withdrawal of GMH and Holden from Australia, the impact of Holden away from Mount Panorama significant and diverse . The second example is the impact of growth of the city on activity-centric sports facilities and when to position a new facility or change the purpose of a poorly performing amenity. The membership levels and engagement of football is significant whereas croquet is a small purpose proposition but both equally important to the regions culture.

These themes individually and collectively are areas impacted by all manner of characteristic issues from changing weather and climate variations for example higher temperatures in summer will discourage growth in junior cricket.

Sport , Recreation , Leisure , technology , environment , community building and art impact both individually as well as cross-over touchpoints . It is where an understanding that sport , recreation and leisure etc as such has different needs and priority for people from the cradle to the grave or 0-100 years of age.

The impacts of water with these themes have not really been widely discussed but rather observed in usage opportunity at key destination Chifley Dam where water sports are undertaken year-round from sailing , water skiing , fishing , rowing , dragon boats and camping . This will change but needs for this precinct of a multi-user group clubroom with amenities , meeting room is necessary .

Bathurst Regional Community sports would benefit from learning a time exists where developing cooperative development strategies could be uppermost and most advantageous as a ongoing action by administrators , council and supporters.

The competing pressure of sourcing funding through grants and sponsorship is widely understood on delivering projects but a need exists to prevent duplications of effort in people's time poor conditions.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

The decline of interest in volunteerism in the sport , recreation , leisure landscape is understood but supportive strategies to deal with administration across the community should be a priority.

Bathurst has centralised organised sports activity facility in most cases and as growth occurs in the membership of these it places increases in pressures on the governance of these sports. Solution strategies present themselves in such things as shared new technologies from web platforms, shared resources and knowledge from such things as documented design of amenities blocks and canteen suppliers.

The sports and social outlets of 2040 may see growth of fitness infrastructure in public domains and as such take-up of amenity in parklands is necessary.

The family unit , family reunions is in need of aesthetically appealing vistas to come together year round with amenity as such parks like Centennial Park , new ones in Raglan , Kelso should be of high level of importance.

The social and economic conditions in the family unit of many residents , visitors alike suggest commercial touch-points in the sports , recreation and leisure landscape needs to be mindful of budget.

Parkland projects in the regional community are reminded benefit exists in the formal photography industry with weddings and other in this historical setting. This is widely accepted that water based amenity, bush-rock and well vegetated vistas are accessible.

The leisure industry in Bathurst for families is a potential drawcard with development of such activities as a Toboggan-luge , Go Karting , low cost visitation entertainment experiences such as those identified from Italy , UK and USA. The Winterfest experience with Carousel Ferris Wheel and skate park endorses this belief.

Bathurst regional council use of technology in support of the theme of Sport , recreation , leisure , community building can always be improved from management of amenity , to promotion and information , training , tourism and all allied touchpoints .

If Bathurst Regional Council are using its social and spatial database to start to analyse the themes across the Local government area , the opportunity of other roles should be considered to develop best practice efficiencies and position a point of difference to the region. Drone mapping of all major sports activity and events from a promotion and marketing of activity and events alongside Mount Panorama is obvious supportive of Cities Destination Management Plan.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

Travel around the world and people see ideas of what could be adapted and delivered in this local government setting but we don't have a dynamic mechanism to get these ideas brought to the decision making table for implementation after debate.

70 initiatives that could assist Bathurst Sport Recreation and Leisure Opportunity in the Bathurst Regional Community up to 2040 and Beyond .

In response to the Draft study

1. The potential value In the LGA for placement of technology supporting LED integrated signage to promote sporting , tourism cultural and community events on the gateway corridor building value with community building themes.
2. The Evans bridge precinct to the south as a potential parkland high impact with multi-dimensional gateway corridor attraction potentially as a hallmark visitation point , with a recirculating water feature using wind , light , movement , technology and visual sensory experiences. The idea of a functional man made pond or lake as a focus to this parkland space offers a freely accessible usage location for new activity.
3. The investigation into current and future Amenities blocks should be built with additional elements , baby change , disabled , dog- watering amenity and drinking bubbler also shade space or tree cover. On the gateway corridor picnic table and shade cover should be considered.
4. Police Paddock amenities in need of radical overhaul.
5. Cooke Oval Hockey complex, Mathews Centre Netball , Tennis Program, Proctor Park Football Complex identified as expansion sites to be windows to sport in central NSW such things as best practice sports education , innovation development , on site accommodation linked to harnessing all opportunity. We can accomplish far more in the sports education space offering new teaching , learning experience opportunity for locals and sports tourists alike if we so desire building a diversified benefit to Mount Panorama into all sports or those who get on board a plan.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

6. Flood prone infrastructure investigation of storage solutions that could be lifted above flood water with a jacking system or located on piers. Example cricket nets, rollers etc.
7. Football infrastructure should consider the Craig Johnston Supaskills sports data analytics amenity in the region for University , primary , secondary schools , clubs and association participants as well as tourism touchpoints
8. Football Infrastructure should consider Regional Football Learning Centre as a stakeholder best practice concept to anchor sports development point of difference where the aim is development opportunity for player , coach , administrator , teacher and volunteers where process , technique and outcome opportunity.
9. The enhancement of recreation opportunity, commercial and rate payer funded along the Macquarie Riverbank when high profile and traffic flow is significant and desired by people.
10. The Opportunity to harness Football education as a 21st century goal where male female sport is high, Womens World Cup Bid and other franchise engagement opportunity is possible. If Football federation of franchises such as this one links up with CSU and schools you have a significant social benefit moving forward.
11. The development of unique low cost coin operated attractions such as coin operated cars www.selacarshop.com
12. The placement of unique low cost coin operated attraction such as coin operated boats <https://www.tornado-uk.com/80cm-mini-marina-boats> positioned in a man- made pond , small lake or other feature
13. The understanding and development of best practice Bathurst regional clubroom amenities where time poor volunteers come together to organise and conduct Bathurst regional sport , recreation and community building programs , activities , events and organisations . Technology placement, communication and promotion amenity.
14. The Bathurst Showground , a better year round engagement and utilisation of all amenity
15. The Carrington Park amenity is enhanced alongside Bathurst sports ground and adjacent Morse Park with improvement program
16. The development of a Transitional grandstand community centre entertainment site suitable as a CBD community engagement site <https://www.stadiarena.com/>

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

17. Parkland settings should include stainless steel dog watering systems, bubblers and dog bags receptacle stations and garbage bins.
18. Mount Panorama to College road incline area identified as a potential toboggan Luge site.
19. A location for a Gokart amenity if current Mount Panorama issues can't be addressed somewhere sympathetic to the wishes of the supporters of this activity.
20. Bike way connectivity and suitable lighting to promote use of amenities across the city.
21. The development of academy models with an innovative framework promoting after school and weekend supplementary access of sports supporters.
22. A review of Bathurst Sport and Recreation Council and implementation of a 21st century organization and encouraging the community along these lines.
23. Bowls , Croquet ,Archery activity looked at to grow memberships so signage systems put in place but all facilities linked by pictorial graphic that flows into all promotion strategies .
24. A comprehensive thematic branding of Bathurst Sport and recreation activity where such things as entry to facility signage, event board, web site opportunity and social media.
25. A ongoing commitment to have regular councilor tours of Bathurst Sport and recreation amenity
26. Develop a community sports united workshop program targeting unified promotion of Bathurst sports events , activity , development programs , education opportunity and VIP visits
27. Develop a Sports Museum as part of The Bathurst Motor Racing Museum
28. Develop a sympathetic tree coverage strategy on lengthy cycle-way routes for pedestrian walkers.
29. Energy efficient training and match day lighting at all interested sport recreation locations
30. The development of a Chifley Dam water sports amenity for users of the Dam
31. The development of a Regional Parkland setting between Raglan and Kelso with high user appeal introduced bush rock , grade change and aesthetically appeal-points
32. The link between Centennial Park and the arts precinct and Keppel Street with Outdoor art.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

33. The Clubhouses at Bathurst Bulldogs, Bathurst St Pats and Bushrangers be adopted for future category one infrastructure. with corporate branding at other centres are identified benefit .
34. Bathurst Netball be considered to relocate to Hector Park with a view to bring Basketball and netball growth together if satisfactory
35. Lamberton Park Plan be used as a gateway entry to city from Oberon Goulburn with suitable inclusions from amenities block , shelter , BBQ , flood lighting solar powered , dog watering station , playground , multiuse sports space , Half- court basketball or other activity.
36. Area of parkland that features a recirculating waterfall with garden feature with high visibility and other contemporary attraction.
37. Preadolescent unique attractions that is a family drawcard for locals and tourists building a diversified support to the Victoria Park Adventure Playground.
38. The development and placement of rebound wall hand-ball courts, half- court basketball courts near the Skate Park.
39. A willingness by Bathurst Regional council to embrace , debate and discuss innovative fresh sport , recreation and leisure infrastructure , concepts and programs.
40. The development of an annual nostalgia based toy fair promoting railway museum alongside slot cars, tin toys, matchbox, dinky, collectables of a by- gone era possible location Bathurst Show ground or Keppel Street Tremains Mill or Crago Mill.
41. Placement of unique playgrounds around Bathurst Regional council, these are mapped and linked to website and childrens visitation centres to engage families with young people. Consider the waterpark stage 2 of Adventure Playground as a requisite social project.
42. Bathurst Hockey Clubhouse in need of a revamp and expansion with second floor design to accommodate best practice resourcing, consider multi-media, dormitory, expanded kitchen / canteen, storage, meeting rooms , shop etc.
43. The Bathurst Golf Club and a proposed mini Putt Putt feature on the Orange Road.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

44. Hector Park, consider upgrade to highlight environmental opportunities if netball is not an option.
45. A botanical style gardens complementing the Mayfield project with a community based concept with shade and colour as a theme
46. The expansion of the Brick-pit through to the River with a bush walk style corridor mirrored off Gosling Park in Orange.
47. The idea that Outdoor Cinema is an ongoing social community option and tailoring a space for such events to occur in warmer monthes.
48. The Winterfest to promote diversified and other unique Winter sports as part of its event space each year.
49. Parkrun be considered to expand its run to south of Evans Bridge with an increase on concrete walkway and improvements to this vista.
50. Off Leash dog parks be given an improvement program rather than a maintenance program.
51. The Rugby and League Clubs have a academy model supportive of the sports goals and ambitions
52. The Matthews Complex tennis Program be looked at in terms of innovative tennis programs and event spaces leveraging sports popularity.
53. Pressures on schools suggest teaching and learning spaces can be positioned incorporating sports facility infrastructure, discussion with tiers of government required supportive of this alongside CSU research and internship programs.
54. The concept that across the LGA in all village communities we adopt a best practice model for stopovers and residents use throughout and this is mapped modelled, photographed and marketed for tourism as well as local community access. An example of a best practice village parkland could include toilet amenity for able access, disability, baby change facility, companion pet watering station and refuse bag site. BBQ, shelter, playground location, possible support to community meeting space for the village.
55. The concept of a Skate park addition to the Eglinton Village parkland site to cross pollinate event and programs for weekend and holiday period.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

56. The expansion and purchase of a mobile sports trailer for village events taking resources to small sites building opportunity as well as development and promotion days fitted out as per article example <https://www.westernadvocate.com.au/story/5338973/bathurst-community-op-shop-seeking-funding-for-football-trailer/>
57. The concept of a relocatable amenity for Chifley Dam patrons as a solution to evolving dam growth plans.
58. The investment in resources for Australia Day and other youth based focussed events to build value systematically into recreational experiences in the region year round . The purchase and placement of an inflatable football pitch in Kelso is a practical successful example of this outcome . https://yardgames.com.au/games/garden-games.html?product_list_limit=36&gclid=EAlaIQobChMItcDY9rj_5wIV2bWWCh0m_wNaEAYASAAEgLSO_D_BwE
59. Bathurst tourism and sport should have a seamless relationship and as such this is in need of supportive development if this is to truly harness all future opportunity.
60. Footpath connections could improve across the city linking profile locations and offering residential safe pedestrian access could be mapped , maintained with technology link to spatial dataset. Poor and under stress access should be dealt with and a plan discussed with residents.
61. The value, creation and placement of conceptual picnic area visit locations in the region where such things as rock grotto style features and other water based bush rock concepts are places who may want photography and other artistic representations , unique destination , bush walk or a family or group gathering site. The urban water feature has value and aside from Macquarie River we could look at conceptual development as this offers new opportunity. This interest is for a wide age profile and tourism value as well as broadening activity suite in the region.
62. The potential application and use of Bathurst Regional geospatial data to sport and recreation management and promotion in innovative new ways with use of fly-overs , audio visual platforms , drone mapping , new smart apps opportunity for Bathurst organisations can anchor down event promotion. This could be linked to proposed gateway corridor signage system for event management.
63. Bathurst gliding club be afforded every encouragement to build value into the activity in the region alongside activities at the Bathurst airport.
64. The precinct at Carrington Park , Bathurst Sports ground and Morse Park be looked at in terms of a major upgrade of amenity offering point of difference for full suite of events , programs with supplementary support to Bathurst Showground.

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

65. The William Street Ambulance station be repurposed to a Bathurst Youth Café / centre entertainment space with retro leisure amenity bringing a teen and post teen age profile , aside to family unit visitation site.
66. Bathurst regional villages be accessed to consistent support for event equipment to offset staging costs , share the cost and expose a benefit across the region by working together more often throughout the year.
67. Bathurst Aquatic Centre be encouraged to promote at all sports facilities to encourage cross utilisation in the region by perimeter signage or other action.
68. All interested sports to identify potential and current events that could be brought to the region identifying support required at outset.
69. CSU encouraged to bring University Games to the city but with a community willingness to embrace hosting the event.
70. The understanding of broadening retiree and aged recreation activity into the region is placed under the microscope and diversity of touchpoints explored.

This is some of the opportunity and issues raised but not communicated with your consultancy teams in the process of putting your draft plan together as they chose not to communicate.

Tony Thorpe

Project Coordinator

Gold Country Sport-21k

4-March 2020

Submission by Tony Thorpe in response to Draft Bathurst 2040 Open Space Strategy

BATHURST A POINT OF DIFFERENCE FOR SPORT , RECREATION AND LEISURE 10

Summary Report

10 February 2020 - 10 March 2020

Your Say Bathurst Region

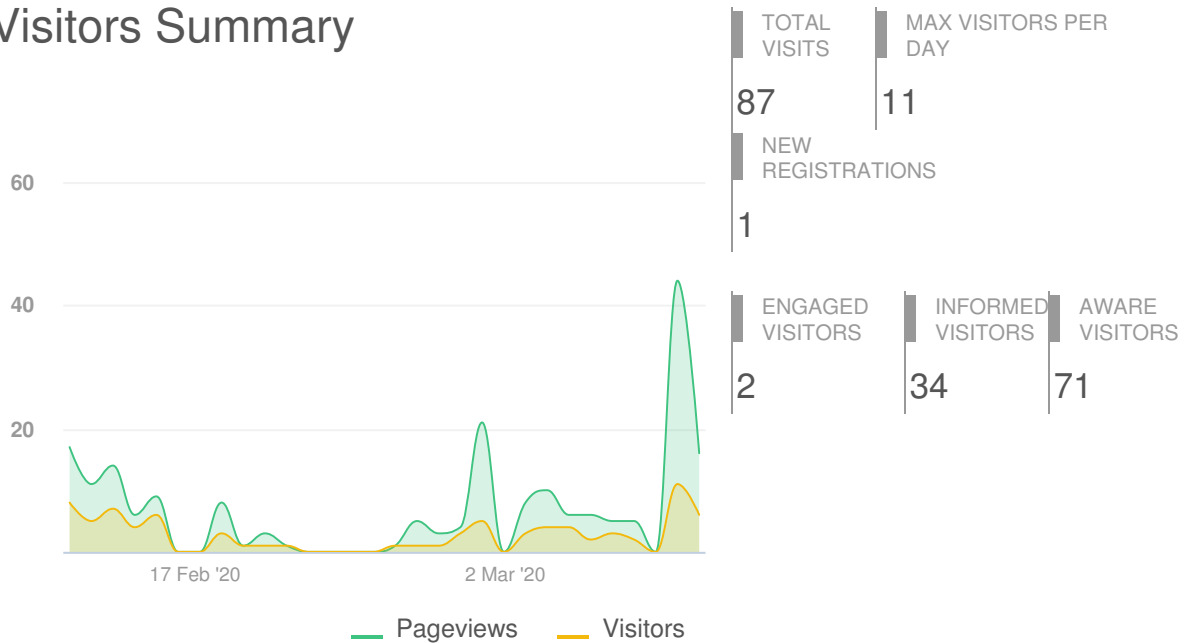
PROJECTS SELECTED: 1

Bathurst 2040 Open Space Strategy

FULL LIST AT THE END OF THE REPORT



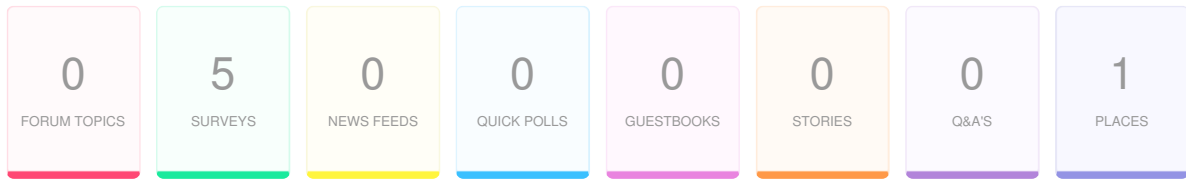
Visitors Summary



PARTICIPANT SUMMARY

ENGAGED	2 ENGAGED PARTICIPANTS			(%)
	Registered	Unverified	Anonymous	Bathurst 2040 Open Space S... 2 (2.8%)
INFORMED	Contributed on Forums	0	0	0
	Participated in Surveys	2	0	0
	Contributed to Newsfeeds	0	0	0
	Participated in Quick Polls	0	0	0
AWARE	Posted on Guestbooks	0	0	0
	Contributed to Stories	0	0	0
	Asked Questions	0	0	0
	Placed Pins on Places	0	0	0
	Contributed to Ideas	0	0	0
	<i>* A single engaged participant can perform multiple actions</i>			<i>* Calculated as a percentage of total visits to the Project</i>
ENGAGED	34 INFORMED PARTICIPANTS			(%)
			Participants	Bathurst 2040 Open Space S... 34 (47.9%)
INFORMED	Viewed a video		0	
	Viewed a photo		0	
	Downloaded a document		24	
	Visited the Key Dates page		12	
AWARE	Visited an FAQ list Page		0	
	Visited Instagram Page		0	
	Visited Multiple Project Pages		33	
	Contributed to a tool (engaged)		2	
	<i>* A single informed participant can perform multiple actions</i>			<i>* Calculated as a percentage of total visits to the Project</i>
ENGAGED	71 AWARE PARTICIPANTS			
			Participants	Bathurst 2040 Open Space S... 71
INFORMED	Visited at least one Page		71	
AWARE	<i>* Aware user could have also performed an Informed or Engaged Action</i>			<i>* Total list of unique visitors to the project</i>

ENGAGEMENT TOOLS SUMMARY



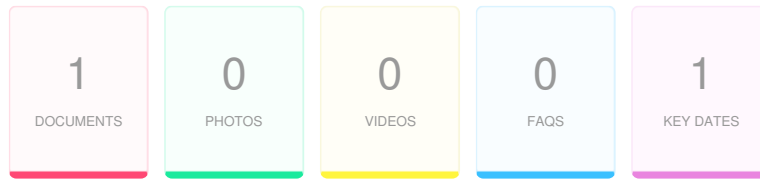
SURVEYS SUMMARY	
5	Surveys
2	Contributors
2	Submissions

TOP 3 SURVEYS BASED ON CONTRIBUTORS		
2 Contributors to Bathurst 2040 Open Space Strategy feedback	0 Contributors to Bathurst 2040 Open Space Strategy feedback	0 Contributors to Bathurst 2036 Housing Strategy feedback-(copy)

PLACES SUMMARY	
1	Places
0	Contributors
0	Pins

TOP 3 PLACES BASED ON CONTRIBUTORS
0 Contributors to Bathurst 2040 Open Space Strategy

INFORMATION WIDGET SUMMARY



DOCUMENTS	
1	Documents
24	Visitors
29	Downloads

TOP 3 DOCUMENTS BASED ON DOWNLOADS
<p>29</p> <p>Downloads</p> <p>Draft Bathurst 2040 Open Space Strategy</p>

KEY DATES	
1	Key Dates
12	Visitors
12	Views

TOP 3 KEY DATES BASED ON VIEWS
<p>12</p> <p>Views</p> <p>Bathurst 2040 Open Space Strategy</p>

TRAFFIC SOURCES OVERVIEW

REFERRER URL	Visits
www.google.com	14
www.facebook.com	6
m.facebook.com	5
www.google.com.au	4
www.westernadvocate.com.au	4
www.bathurst.nsw.gov.au	1

SELECTED PROJECTS - FULL LIST

PROJECT TITLE	AWARE	INFORMED	ENGAGED
Bathurst 2040 Open Space Strategy	71	34	2

List of Land Parcels to be Rezoned

Address	Lot No. & DP.	Parcel No.	Proposed Rezoning	Reason for Rezoning
Location 1. Abercrombie - Llanarth				
Logan Street EGLINTON NSW 2795	Lot: 111 DP: 865948	21364	RU4 to RE1	To ensure the northern side of O'Keefe park is correctly zoned
Location 2. Bathurst City				
Peel Street BATHURST NSW 2795 DP: 1248819	Lot: 6 DP: 1248819	93254	R1 to RE1	To correctly zone the footpath next to Macquarie River
	Lot: 7 DP: 1248819	93255	R1 to RE1	
	Lot: 8 DP: 1248819	93256	R1 to RE1	
	Lot: 9 DP: 1248819	93257	R1 to RE1	
Peel Street BATHURST NSW 2795 DP: 1205690	Lot: 15 DP: 1205690	91737	R1 to RE1	
	Lot: 14 DP: 1205690	91736	R1 to RE1	
	Lot: 13 DP: 1205690	91735	R1 to RE1	
	Lot: 12 DP: 1205690	91734	R1 to RE1	
	Lot: 11 DP: 1205690	91733	R1 to RE1	
205 Morrisset Street WEST BATHURST NSW 2795	Lot: 4 DP: 1042075	27226	RU4 to RE1	To rezone an area that connects Morrissett Street to the Macquarie River connectivity
Hope Street BATHURST NSW 2795	N/A	N/A	RU4 to RE1	Rezone the unbuilt land dedicated to the eastern portion of Hope Street to allow Macquarie River connectivity
Location 3. Eglinton				
Duramana Road EGLINTON NSW 2795	Lot: 233 DP: 1244342	92852	RU1 to RE1	Bring forward the recommendations of the Open Space Strategy
Hobson Close (Council Road not Constructed)	N/A	N/A	RU4 to RE1	
Logan Street EGLINTON NSW 2795	Lot: 92 DP: 865590	24272	R5 to RE1	
Hamilton Street EGLINTON NSW 2795	Lot: 94 DP: 879007	24980	R5 to RE1	
Rankens Bridge Road EGLINTON NSW 2795	Lot: 103 DP: 1006130	25421	R5 to RE1	
Location 4. Kelso North - Laffing Waters				
Kelso North – Laffing Waters Map 1				
38 Church Lane KELSO NSW 2795	Lot: 1 DP: 815692	11769	RU4 to RE1	(Sydney Road to Hereford Street South)
40 Church Lane KELSO NSW 2795	Lot: 2 DP: 38484	11770	RU4 to RE1	Bring forward the recommendations of the Open Space Strategy and to rezone Council owned land within the floodplain to recreation usage.
61 Church Lane KELSO NSW 2795	Lot: 1 DP: 193944	11777	RU4 to RE1	
59 Church Lane KELSO NSW 2795	Lot: 2 DP: 996212	11778	RU4 to RE1	
29 Church Lane KELSO NSW 2795	Lot: 17 DP: 1120478	11788	RU4 to RE1	
N.B. The proposed rezoning				

Attachment 8.2.6.4

5 Church Lane KELSO NSW 2795	Lot: A DP: 157645	11795	RU4 to RE1	would not stop the agricultural use of these lands.
Gilmour Street KELSO NSW 2795	Lot: 60 DP: 801725	13337	RU4 to RE1	
1 River Road KELSO NSW 2795	Lot: 1 DP: 743755	17979	RU4 to RE1	
River Road KELSO NSW 2795	Lot: C DP: 157645	17985	RU4 to RE1	
11 River Road KELSO NSW 2795	Lot: 5 DP: 744611	17986	RU4 to RE1	
14-16 Stephens Lane KELSO NSW 2795	Lot: 2 DP: 154468	19144	RU4 to RE1	
51 Stephens Lane KELSO NSW 2795	Lot: 1 DP: 716930	19151	RU4 to RE1	
41-43 Church Lane KELSO NSW 2795	Lot: 1 DP: 986778	25076	RU4 to RE1	
25 Church Lane KELSO NSW 2795	Lot: 7 DP: 1073489	37744	RU4 to RE1	
57A Church Lane KELSO NSW 2795	Lot: 2 DP: 1115543	40462	RU4 to RE1	
57A Church Lane KELSO NSW 2795	Lot: 3 DP: 1115543	40463	RU4 to RE1	
106 Gilmour Street KELSO NSW 2795	Lot: 2 DP: 1131946	42576	RU4 to RE1	
200 Gilmour Street KELSO NSW 2795	Lot: 2 DP: 1132992	42502	RU4 to RE1	
Gilmour Street KELSO NSW 2795	Lot: 4 DP: 1130147	42610	RU4 to RE1	
Gilmour Street KELSO NSW 2795	Lot: 6 DP: 1142438	42723	RU4 to RE1	
94 Stephens Lane KELSO NSW 2795	Lot: 221 DP: 1147157	88105	RU4 to RE1	
27 River Road KELSO NSW 2795	Lot: 6 DP: 1074887	89014	RU4 to RE1	
71 Hereford Street KELSO NSW 2795	Lot: 1 DP: 1223252	91781	RU4 to RE1	
5 Hereford Street KELSO NSW 2795	Lot: 140 DP: 726976	14227	RU4 to RE1	
3 Hereford Street KELSO NSW 2795	Lot: 141 DP: 726976	14228	RU4 to RE1	
Hereford Street KELSO NSW 2795	Unknown & Unknown Owner	90996	RU4 to RE1	
Kelso North – Laffing Waters Map 2				
12 Hereford Street KELSO NSW 2795	Lot: 79 DP: 726976	14125	RU4 to RE1	(North of Hereford Street)
48 Hereford Street KELSO NSW 2795	Lot: 96 DP: 726976	14146	RU4 to RE1	To rezone Council owned land within the floodplain to recreation usage.
50 Hereford Street KELSO NSW 2795	Lot: 97 DP: 726976	14147	RU4 to RE1	
52 Hereford Street KELSO NSW 2795	Lot: 98 DP: 726976	14149	RU4 to RE1	N.B. The proposed rezoning would not stop the agricultural use of these lands.
52 Hereford Street KELSO NSW 2795	Lot: F DP: 374736	14150	RU4 to RE1	
Edgells Lane KELSO NSW 2795	Lot: G DP: 374736	14152	RU4 to RE1	
6 Hereford Street KELSO NSW 2795	Lot: 1 DP: 1074115	37769	RU4 to RE1	

30 Hereford Street KELSO NSW 2795	Lot: 2 DP: 1076686	37968	RU4 to RE1	
58 Hereford Street KELSO NSW 2795	Lot: 3 DP: 1073258	37714	RU4 to RE1	
Gilmour Street KELSO NSW 2795	Lot: 1 DP: 1125206	42077	RE2 to RE1	
Hereford Street KELSO NSW 2795	Lot: 401 DP: 1131422	42490	RU4 to RE1	
224 Gilmour Street KELSO NSW 2795	Lot: 11 DP: 1140971	42693	RU4 to RE1	
Kelso North – Laffing Waters Map 2				
67 Hereford Street KELSO NSW 2795	Lot: 4 DP: 1074119	38973	RU4 to RE1	(Ann Ashwood Park) To ensure the existing sporting use is appropriately zoned.
Hereford Street KELSO NSW 2795	Lot: 1 DP: 194761	19143	RU4 to RE1	(Proposed pitches between RU and RL pitches) To ensure the proposed sporting use is appropriately zoned.
19 Hereford Street KELSO NSW 2795	Lot: 104 DP: 1073272	38351	RU4 to RE1	(Jack Arrow RL) To ensure the existing sporting use is appropriately zoned.
15 Hereford Street KELSO NSW 2795	Lot: 5 DP: 1073621	37746	RU4 to RE1	To ensure the existing sporting use is appropriately zoned.
Kelso North – Laffing Waters Map 3				
Baillie Street BATHURST NSW 2795	Lot: 42 DP: 1035358	27030	R1 to RE1	(Ballie Street - Bryant Street)
Council Road not Constructed – parcel between Lower Durham Street and Bryant Street	N/A	N/A	R1 to RE1	Bring forward the recommendations of the Open Space Strategy
Council Road not Constructed – parcel between Lower Durham Street and Bryant Street	N/A	N/A	R1 to RE1	
Location 8. Raglan				
Adrienne Street RAGLAN NSW 2795	Lot: 221 DP: 830125	21903	IN1 to RE1	Rezone drainage line
Location 10. West Bathurst				
Weeks Place WEST BATHURST NSW 2795	Lot: 135 DP: 714353	20399	R1 to RE1	Bring forward the recommendation of the Open Space Strategy
Edgell Street WEST BATHURST NSW 2795	Lot: 2 DP: 1127985	12775	R1 to RE1	
Bradwardine Road WEST BATHURST NSW 2795	Lot: 68 DP: 848393	11219	R1 to RE1	
Location 11. Gormans Hill				
11 Fishs Parade GORMANS HILL NSW 2795	Lot: 74 DP: 35928	13005	R1 to RE1	To correctly zone a parcel of land within Proctor Park

Map of Location 1. Abercrombie – Llanarth parcels



Map of Location 2. Bathurst City parcels



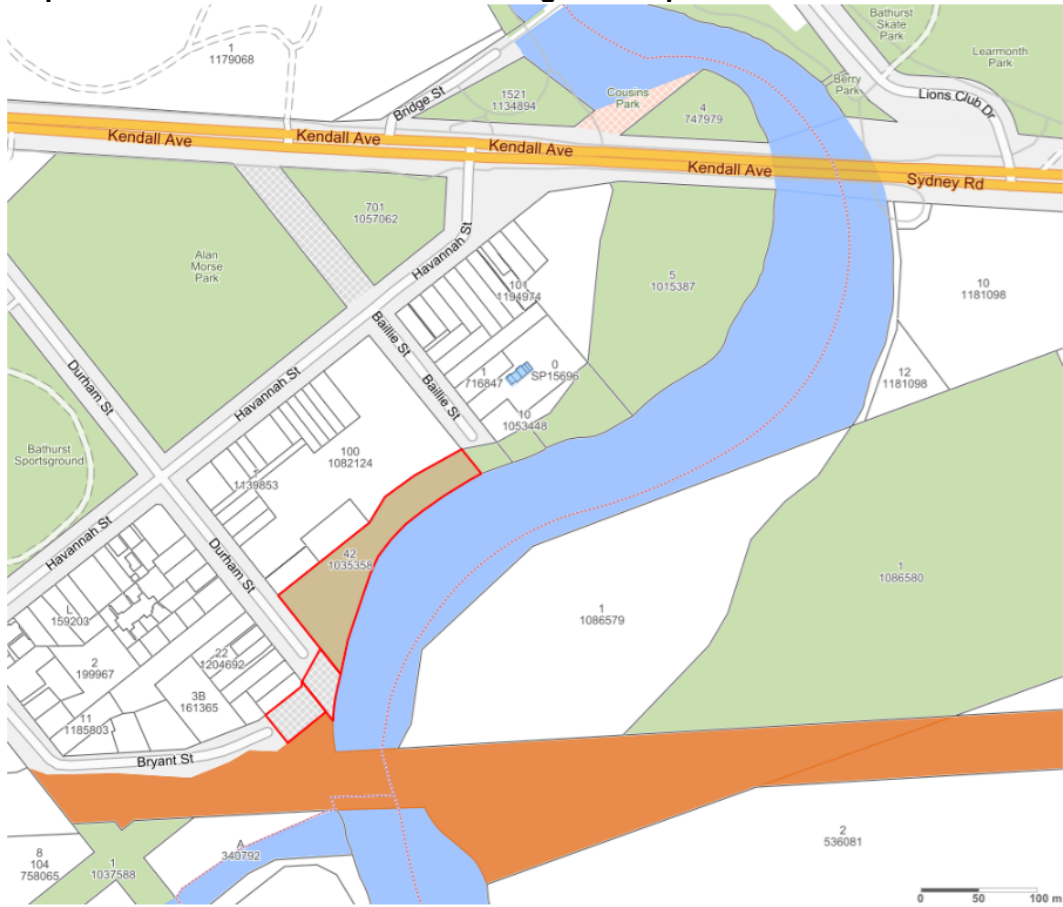
Map of Location 3. Eglinton parcels



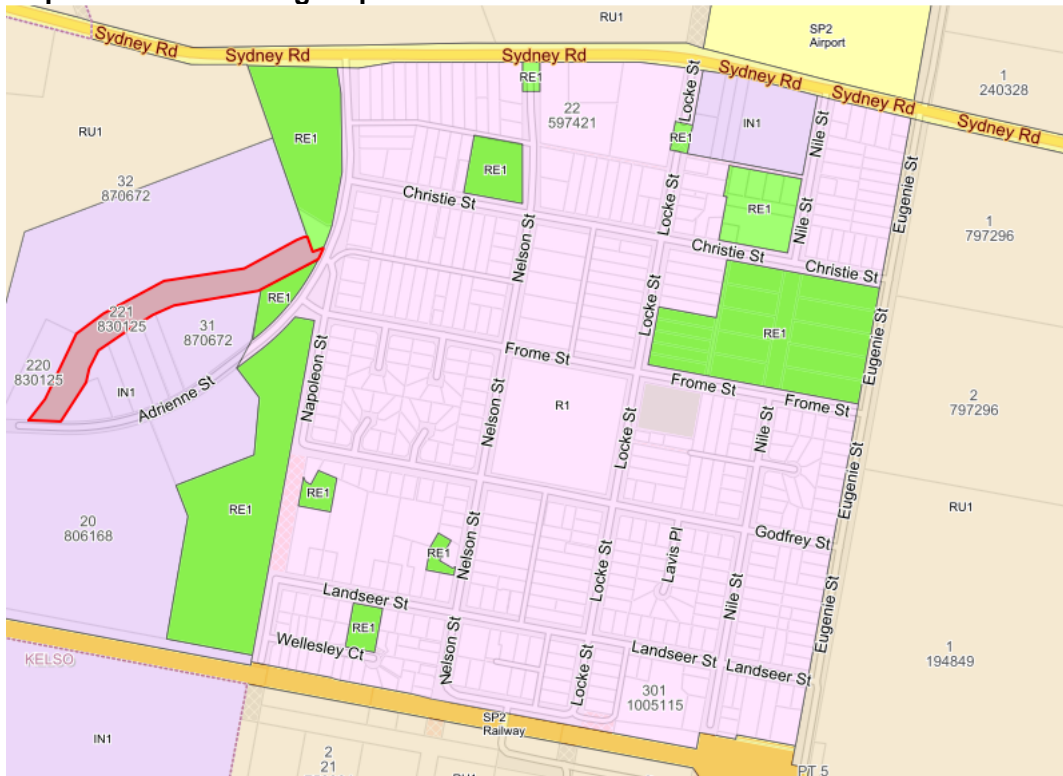
Map 2 of Location 4. Kelso North - Laffing Waters parcels



Map 3 of Location 4. Kelso North - Laffing Waters parcels



Map of Location 8. Raglan parcels



Map of Location 10. West Bathurst parcels



Map of Location 11. Gormans Hill parcels



2019/20 Annual Operational Plan

Bathurst 2040 Community Strategic Plan

As at 31st March 2020

Council's Vision:

Bathurst: A vibrant and innovative region that values our heritage, culture, diversity and strong economy.

As a community it is important to have a plan that outlines what we want and need as a community now and as the region grows. The NSW Government also requires all councils to have such a plan. The Bathurst 2040 Community Strategic Plan (CSP) is the highest level forward planning document of Bathurst Regional Council. It identifies the community's priorities and guides the direction for the Bathurst region over the next 20 years.

Six key objectives have been established in the CSP:

1. Our Sense of place and identity
2. A smart and vibrant economy
3. Environmental stewardship
4. Enabling sustainable growth
5. Community health, safety and well-being
6. Community leadership and collaboration

These objectives are supported by strategies, shown below, aimed at identifying the importance of each objective.

As a 20 year plan, the CSP is not able to be wholly implemented in one term of Council. The Delivery Program represents actions that the Council expects to achieve during the current term of election for the Council, typically four years. This [Annual Operational Plan](#) identifies the individual activities and projects that will be completed within the current financial year of the Delivery Program.

OBJECTIVE 1: Our sense of place and identity

- 1.1 Respect, protect and promote the region's Aboriginal heritage assets
- 1.2 Protect, enhance and promote the region's European heritage assets and character
- 1.3 Enhance the cultural vitality of the region
- 1.4 Protect and improve the region's landscapes, views, vistas and open space
- 1.5 Promote good design in the built environment

OBJECTIVE 3: Environmental stewardship

- 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River and other waterways
- 3.2 Protect the City's water supply
- 3.3 Minimise the City's environmental footprint, live more sustainably and use resources more wisely
- 3.4 Protect and improve the region's biodiversity
- 3.5 Increase resilience to natural hazards and climate change

OBJECTIVE 5: Community health, safety and well being

- 5.1 Provide opportunities for our community to be healthy and active
- 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life
- 5.3 Help build resilient, inclusive communities
- 5.4 Make our public places safe and welcoming
- 5.5 Plan and respond to demographic changes in the community

Bathurst 2040 Community Strategic Plan

OBJECTIVE 2: A smart and vibrant economy

- 2.1 Support local business and industry
- 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development
- 2.3 Develop Bathurst as a Smart City
- 2.4 Support agriculture, local manufacturing, food production and education as significant contributors to the region's economy
- 2.5 Support Mount Panorama as a premier motor sport and event precinct
- 2.6 Promote our City and Villages as a tourist destination

OBJECTIVE 4: Enabling sustainable growth

- 4.1 Facilitate development in the region that considers the current and future needs of our community
- 4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility
- 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region
- 4.4 Provide parking to meet the needs of the City
- 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region
- 4.6 Plan for, assess and regulate development activity

OBJECTIVE 6: Community leadership and collaboration

- 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst Region
- 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently
- 6.3 Advocate for our community
- 6.4 Meet legislative and compliance requirements
- 6.5 Be open and fair in our decisions and our dealings with people
- 6.6 Manage our money and our assets to be sustainable now and into the future
- 6.7 Invest in our people
- 6.8 Implement opportunities for organisational improvement

Attachment 8.3.1.1

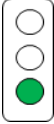

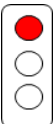
On the following pages, each of Council's principal activities is shown along with their four year Delivery Program actions and the Annual Operational Plan tasks that will be undertaken. These actions and tasks are linked back to the Bathurst 2040 CSP to show the community how its needs and wants are being delivered.

The table below is a guide to reading the Delivery Program and Annual Operational Plan.

Bathurst 2040 Objective reference	Delivery Program actions 2018-2022	Annual Operational Plan Projects / Tasks 2019/2020	Performance Measure	Responsible Officer
From the Objectives shown on Page 2	What actions will be delivered to achieve the objective	What specific projects will be undertaken this year to address the 4 year actions	Measurable KPI How we will know when we have achieved our plans	Position Title – Director, Manager, Team Leader

The Performance Measures in this Plan have been rated by the responsible Directors as to their status of completion.

Below is a summary of the Status of all Performance Measures:

<p>In progress – tracking as expected</p>  <p>155 / 165 94 %</p>	<p>Needs Attention</p>  <p>10 / 165 6 %</p>	<p>Urgent Attention</p>  <p>0 / 165 0 %</p>
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Engineering Services



The key to developing a sound foundation for growth and prosperity of the Bathurst Region is by ensuring infrastructure needs are keeping pace with demand. The Engineering Services Department has the responsibility to ensure the current needs of the community are met and the capacity exists to cater for future growth. A clean and safe water supply, a quality local road network, and environmentally responsible waste management systems are all high priorities for engineering the future of the Bathurst Region.

Asset Management




Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
4.1 4.2 5.1	Improve pedestrian access within the urban area.	Completion of additional concrete footpaths/cycleways in accordance with the Bathurst Regional Community Access and Cycling Plan 2011.	200 lineal metres of footpath and or cycleway completed.	Manager Works	Howick St – Bentinck to Havannah 320m Bentinck St – Howick to Durham 200m Durham St – Bentinck to Havannah 360m Durham St – Mitre to Commonwealth 175m Howick St – Mitre to Hope 200m Piper St – Mitre to Hope 200m	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Monitor condition of footpaths.	100% of urban footpath inspected	Manager Works	Ongoing maintenance as and when required.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
4.1 4.5	Maintain and improve the existing road infrastructure consistently throughout the network.	Improvement of road infrastructure to upgrade sub-standard sections of the sealed network.	Reconstruction and reseding works as per Council's 2019/2020 capital works and routine maintenance programs. Completion of 2019/2020 Roads to Recovery Program.	Manager Works	Turondale Rd widening – 2km completed Bathurst St Perthville – Complete Rural Reseal program – Complete Urban Reseal program – Complete Ophir Rd Reconstruction – 75% complete (base and seal remaining)	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>




Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		<p>Renewal of gravel road surface throughout the network.</p> <p>Undertake maintenance program in accordance with allocated budget.</p>	<p>Completion of 2019/2020 Unsealed Roads Gravel Resheeting program.</p> <p>Greater than 90% of the urban road network remains at condition index 3 or above.</p>	<p>Manager Works</p> <p>Manager Works</p>	<p>The Bridle Track – 8km from Hill End Houses Lane reconstruction – Complete Hen & Chicken Lane – 80% complete (to be sealed)</p> <p>As at 30/6/19:</p> <ul style="list-style-type: none"> • Condition 1 – 34% • Condition 2 – 38% • Condition 3 – 23% 	
4.1 4.3	Protection of urban areas on the Bathurst Floodplain	Completion of flood mitigation works as outlined in the Bathurst Flood Management Plan.	Complete construction of Perthville Levee.	Manager Technical Services	Tenders issued and construction well advanced.	




Mount Panorama



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.4 6.5 6.8 2.5	Increase profile of Mount Panorama as the premier motor racing venue in Australia.	Construction of additional spectator facility - Conrod Straight Development of the second circuit	Spectator debris fencing purchased and installed. Spectator mound at Conrod Straight complete. Development Consent obtained.	Director Engineering Services Director Engineering Services	Spectator fence purchased. Spectator mound earthworks complete. Grass coverage to be established. Masterplan Complete. Preliminary Design Complete Aboriginal Cultural Heritages Assessment commenced. Environmental Impact Assessment commenced. Community Consultation commenced.	 


Water, Sewer and Waste

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
3.2 3.3 3.5 4.3 6.2 6.6	Maintain and upgrade existing water and sewer infrastructure to meet the needs of all stakeholders into the future.	Operate, maintain, repair and upgrade Water Filtration Plant.	Achieve the Australian Drinking Water Standards 90% of the time.	Manager Water and Waste	Water Filtration Plant daily operations are ongoing, with maintenance and repairs conducted as required. The treatment processes are constantly monitored through a SCADA system and reviewed daily by staff. To the end of February, 1,609 tests were undertaken and there was 97.1% compliance with Australian Drinking Water Guidelines.	
		Operate, maintain, repair and upgrade water distribution system.	Customer complaints regarding flow and pressure are kept below 52 p.a.	Manager Water and Waste	Water distribution system operations are ongoing, with monitoring, maintenance and repairs conducted as required. Significant reservoir improvements have been completed, with further work planned, to continue to improve the integrity of the drinking water system around Bathurst. Complaints regarding flow and pressure to end of March is 0 (financial year to date 5). Work has commenced and is continuing on relaying/adjusting water mains at Suttor and Mitre Street Roundabout.	
	Respond effectively to discoloured water complaints		Respond to 90% of complaints within 4 hours.	Manager Water and Waste	Complaints regarding discoloured water are actioned within the required timeframe. 90% of customer calls are responded to within 4 hours. Complaints regarding discoloured water for March is 2 (financial year to date 35).	



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		Review, update and adhere to Drinking Water Management System (DWMS).	Australian Drinking Water Guidelines & DWMS compliance.	Manager Water and Waste	A Drinking Water Management System (DWMS) document has been completed and is in effect. Details on addressing the actions to ensure continuous improvement are being documented. A weekly internal review takes place, along with an external check of our water quality results through the NSW Health laboratory. Financial year to date 98.1% compliance.	
	Winburndale Dam Flood Security Upgrade	Project is constructed and commissioned	Project is constructed and commissioned	Manager Water and Waste	Work in progress and is currently 24% complete.	
	Eglington Village expansion – provision of trunk water mains and sewer mains for new subdivisions	Project is constructed and completed	Project is constructed and completed	Manager Water and Waste	In order to cater for the doubling in size of Eglington, a number of new water and sewer trunk mains were required. So far, for East Eglington 70% of the required new trunk mains for water and sewer are in place. Works will be completed once land acquisition is finalised. For West Eglington, 100% of the required new trunk mains for water and sewer are in place. Upgrade to the pumps, pumping station and operational flexibility have been completed.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
	Review and update existing Best Practice Guidelines plans as required.	Continue implementation of Trade Waste Policy.	Best Practice Guidelines compliance reported quarterly.	Manager Water and Waste	There are no new Best Practice Guidelines introduced since the 2007 Best Practice Guidelines. Compliance remains at 100%.	
			Maintain approvals at over 90% of active businesses	Manager Water and Waste	Trade Waste Policy is current, has been approved by NSW Office of Water, and adopted by Council. As at the end of February 2020 there are 321 approvals in place, with 345 active businesses (93%).	
	Monitor and action developments from State Government regarding changes in the Best Practice Guidelines		Review Guidelines monthly, then action as required.	Manager Water and Waste	The existing level of compliance with the Best Practice Guidelines is 100% for both Water and Sewer. The review of further initiatives will be commenced, once DPI Water advises the outcomes of their proposed review of the guidelines. As at the end of January 2020 DPI Water is yet to release their issues paper and monitoring of this continues.	






Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		<p>Prepare reports and studies for Winburndale Dam and Chifley Dam to achieve compliance with NSW Dams Safety Committee regulatory requirements.</p>	<p>Compliance with Dam Safety NSW requirements, reported quarterly.</p>	<p>Manager Water and Waste</p>	<p>For both Chifley and Winburndale, a Dam Safety Emergency Plan is in place, and has been updated.</p> <p>Chifley Dam is safe to withstand a 1 in 1,000,000 year flood event.</p> <p>A surveillance inspection of Chifley Dam was undertaken in August 2019. Winburndale Dam inspections are on hold for the next 12 months during the construction period.</p> <p>Winburndale Dam is not safe to withstand a 1 in 100,000 year flood event, however detailed design is complete, the tender has been awarded and construction has commenced to improve the dam safety.</p> <p>Grant funding was sought through the NSW Safe and Secure Water Program. Council has been successful in procuring \$2.225 million towards this project under the Program.</p> <p>A tender was awarded at the 3 July 2019 Council Meeting to EODO for Winburndale Dam Safety Upgrade. Work is currently 24% complete.</p>	
	<p>Work with CENTROC on Water Utilities Alliance goals</p>		<p>Meeting attended. Relevant projects supported. Goals delivered.</p>	<p>Manager Water and Waste</p>	<p>Work is continuing, through meetings and projects. Alliance Business Plan has been developed and adopted. Bi-monthly meetings attended, with other projects and correspondence dealt with as required.</p>	






Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		Operate, maintain, repair and upgrade Waste Water Treatment Works to comply with licence conditions.	Achieve over 90% compliance with EPA licence conditions.	Manager Water and Waste	<p>Waste Water Treatment Works operations are ongoing, with maintenance and repairs conducted as required.</p> <p>Plans for minor upgrades are underway. Daily and weekly sampling and monitoring of the plant's performance are continuing, with internal and external testing performed.</p> <p>An Annual Return is completed following the end of the licence year (1 April). In the year to date from 01/04/19 there has been 288 tests carried out with zero minor breaches > 99% compliant.</p> <p>Next report is due end of May 2020. The Annual Return for 2018/2019 has been completed and submitted.</p>	



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		Continue program of sewer main CCTV inspection, and lining if warranted	Mains where blockages or overflows occur are inspected	Manager Water and Waste	Identification of appropriate locations for CCTV is ongoing through customer issues, staff advice and development proposals. Any issues found are scheduled for repair or replacement as required. Financial year to date 920m sewer main inspected and relined.	
		Identify, plan and undertake water and sewer construction works.	Complete 2019/2020 capital works program	Manager Water and Waste	Liaison with Technical Services staff to obtain advice on road projects and / or developments is continuing. The aim is to ensure water and sewer services are relocated prior to RMS or BRC projects commencing, such as roundabouts (Mitre/Suffor Street roundabout being the current project).	
1.4 3.3 4.3 6.2 6.6	Maintain and upgrade existing waste infrastructure to meet stakeholder requirements.	Replace waste collection vehicles on a 4 yearly cycle.	One waste collection vehicle replaced in 2019/2020	Manager Water and Waste	The waste collection vehicle fleet is up to date.	
		Review Waste Management Centre filling plans to ensure the optimum long-term strategy is delivered, and to enable future planning timelines to be developed.	Survey and monitor the remaining air space of the landfill annually. Air space reduction minimised.	Manager Water and Waste	A stormwater management audit of the WMC has been conducted by EPA staff. A review has been conducted by an independent consultant. The final report has been received and recommendations are being put into effect. Planning is underway to conduct a future aerial survey, which is done annually to monitor actual fill and the final fill plan.	
2.2 3.3 6.1 6.2 6.6	Reduce waste to landfill.	Work with NetWaste on waste projects and opportunities, for greater diversion from landfill and increased efficiencies.	Meeting attended. Relevant projects supported and delivered.	Manager Water and Waste	Several ongoing projects are supported, with bi-monthly meetings attended. New projects or opportunities are assessed as they arise.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		<p>Council to continue education and promotion of appropriate WasteWise behaviours regarding green waste and recycling. Promote recycling to maximise diversion from landfill.</p>	<p>25 recycling promotion and education programs run. Combined diversion target is 5,000 tonnes.</p>	<p>Manager Water and Waste</p>	<p>All options available to Bathurst Regional Council through NetWaste are supported. Examples include recycling of waste tyres, mattresses, Household Chemical Cleanout, Waste 2 Art and collection and recycling of scrap metal. Recycling and organics collection service started in April 2016. The contract is proceeding well.</p> <p>The roll out of promotional information and education will continue throughout 2019/20.</p> <p>For 2019/20 to the end of February 2020, food and garden tonnage is 1,915 and recycling is 1,410 giving a total of 3,326 tonnes.</p> <p>14,008 tonnes of food and garden waste have been sent for composting in the first 47 months (April 2016 to February 2020).</p> <p>Combined with recycling totals show a diversion from landfill of over 23,522 tonnes, or 23.5 million kilograms over this time.</p> <p>WasteWise education works are continuing, and the recycling contract education strategies are also underway.</p>	
		<p>Identify, assess and implement appropriate diversion opportunities.</p>	<p>Opportunities reviewed to determine cost/benefit and reported quarterly.</p>	<p>Manager Water and Waste</p>	<p>Council participates in all 9 NetWaste Regional collection contracts being used - motor oil, scrap metal, E-waste, wood/timber processing, landfill environmental monitoring, regional waste services, tyres, household chemical cleanout, and mattress recycling new contract commencing.</p>	

Recreation

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
1.4 5.1 5.5	Plan for increasing population and aging population in the provision of suitable recreational projects	Construct additional facilities as determined in budget.	Construction of 2 x additional rugby league fields between Ashwood Park and Jack Arrow Complex.	Manager Technical Services	Project postponed for 2019/20 due to drought conditions and introduction of level 4-5 water restrictions. Due to small window of opportunity to construct new playing fields during the spring summer period. Project now to be considered for 2020/21 Management Plan, subject to water availability and funding.	
			Amenities / club room complex installed at the Bathurst Bike Park Precinct.	Manager Technical Services	Works completed February 2020. Minor defects to be attended to under contract.	
			Carrington Park Grandstand Design	Manager Technical Services	Tender for Design closed and report sent to Council in June 2019. CI rejected all tenders due to excessive tender costs. Design brief drafted for a consultancy to develop a Concept Plan and D&C documentation for future D&C tendering purposes. Severe drought conditions has placed priority for Engineering resources to be directed to other projects. Anticipate calling for consultancy to develop design concept end April 2020.	
		Update sporting venues, including associated infrastructure.	Construction of the Bathurst Skate Park extension	Manager Recreation	September 2019. Construction works completed mid March 2020 and facility opened to the public on 13 March 2020.	
			Construction of multi-purpose sports courts within the Perthville Village Square	Manager Recreation	Tenders called and closed 5 November 2019 and contract awarded in December 2019. On site works to commence in February 2020 and anticipate to be completed by May 2020.	

					Redevelopment of the Bathurst Sportsground	Manager Recreation	Project postponed for 2019/20 due to drought conditions and introduction to level 4-5 water restrictions. Due to small window of opportunity to construct new playing fields during the spring summer period. Project now to be considered for 2020/21 Management Plan, subject to water availability and funding.	
					Reconstruct fields at Proctor Park	Manager Recreation	Project postponed for 2019/20 due to drought conditions and introduction to level 4-5 water restrictions. Due to small window of opportunity to construct new playing fields during the spring summer period.	
1.4 5.1 5.5	Continue construction of new playgrounds in expanding residential areas and upgrade existing	Plan for the construction of new playgrounds in expanding residential areas.	Install new playground at Coates Drive, Mendel Drive and Keane Drive Open Space Parks.	Manager Recreation	Anticipate design and quotations to be finalised by May 2020, with on-site works to commence in June 2020. BRC have not been able to proceed further with works until notice of a number of grant applications had been made. All grant submissions have been unsuccessful. Council now preparing for reduced scope of playground equipment for the area.			
1.4 5.1 5.5	Maintain existing and future recreational areas.	Maintain existing levels of service to all parks, reserves, open space areas and other recreational facilities	Maintenance activities undertaken to all recreation Assets in accordance with adopted maintenance service levels in the Asset Management Plan.	Manager Recreation	Ongoing as part of adopted maintenance service levels and funding provisions of the current Council Operational Plan. The condition of all irrigated recreational facilities in Bathurst has been affected by the current drought. Council has agreed continue irrigation (at reduced rates) to keep these facilities open and usable for the community. Further assessment of such water use may change if Bathurst is required to implement higher water restrictions.			
1.4 5.1 5.5	Continue environmental programs identified within the Bathurst Vegetation Management Plan	To ensure that appropriate Environmental Management Plans for the Bathurst Region are current, relevant and provide long term strategies for the Region	Arrange for 10 Tree Planting and volunteer engagement activities.	Manager Recreation	Seven community planting day have been held this year. Further planting days had been programmed over the Autumn period, however significant restrictions have been required as a result of Covid-19 Pandemic, requiring cancellation of community planting programs.			

						
				Complete the revegetation component of the Macquarie River Corridor Grant Project	Manager Recreation	Plants have been ordered. Contract for works has been awarded. Planting works completed October. Ongoing weed control and maintenance to be performed over the next 2 years under contract & grant requirements.
				Complete revegetation project at Peppers Creek, Rockley	Manager Recreation	Plants for this project have been ordered. Weed removal and Weed control works completed. Planting to be undertaken in March/April 2020.
						

Corporate Services & Finance

Looking after its staff and ensuring open and transparent government is the main priority at Bathurst Regional Council. Council employs approximately 378 full time equivalent staff in 20 locations and attracting and keeping good people is our priority. For the fourth time in succession, in the bi-annual Employee Opinion Survey, Council rated above the Australian Local Government Industry Standard for employee satisfaction.

Human resources






Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
4.5 6.1 6.2	Establish and build on effective networks with other councils to identify areas for operational improvements and efficiencies.	Regularly participate in cross-functional teams with Centroc and Evocities councils to identify opportunities for efficiencies.	Review minimum 2 HR functions and outline how efficiencies will be made.	Manager Human Resources	Council regularly meets with other Councils within the CENTROC area as part of quarterly HR Group meetings, to discuss current HR issues and exchange ideas for improved service delivery.	
1.1 5.3 6.4 6.7	Ensure all staff complete induction training, ongoing compliance updates and professional development.	Review staff induction program and identify opportunities to streamline into HRIS onboarding and performance areas.	Induction program reviewed, new process developed and aligned with HRIS.	Manager Human Resources	As at the end of March all new staff have attended the appropriate induction training.	
6.2 6.7 6.8	Provide a range of education and training opportunities for Council's workforce.	Identify areas across Council to target education and training to support the achievement of the KPI's in the Workforce Plan	Education and training programs align to KPI's contained in Council's Workforce Plan.	Manager Human Resources	Council's annual Staff Appraisal process has been completed, with a number of learning & development opportunities being reviewed. After recent review this area requires review and further action.	
6.7 6.8	Develop and implement programs and initiatives to foster a strong leadership culture.	Review current framework that underpins leadership capability and identify areas for improvement.	Review completed and improvement areas highlighted.	Manager Human Resources	Review commenced with a trial of leadership capability assessments being undertaken.	

Governance

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.4 6.5 6.8	Ensure Council policies reflect community needs and organisational requirements.	Regular review of Council's policies (Policy Manual).	Individual Policies reviewed for relevance and compliance with statutory requirements	Manager Corporate Governance	Manual monitored regularly and updated as required. Last update issued January 2020. Council Code of Meeting Practice and Code of Conduct updated and placed on Council website.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
6.4 6.5	Implementation of the Government Information Public Access Act (GIPA Act)	Provision of Contract Register on Council's website. Action requests for information under GIPA Act.	Register updated monthly. Information requests (formal and informal) actioned in accordance with statutory guidelines.	Manager Corporate Governance Manager Corporate Governance	Updated to December Council meeting. New system of recording to be developed for website publishing. One formal application received in December. 12 formal application received year to date. 11 completed 1 application completed (from 2018/2019).	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/> <input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
4.3 6.4	Ensure Council's continuity of operations.	Review of Disaster Recovery Plan and Business Continuity Plan.	Plan reviews completed	Manager Corporate Governance	Civic Centre Business Continuity Plan (BCP) completed. Information Services (IS) BCP in draft form being reviewed.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>


Information Services

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
2.3 2.5 6.8	Improve long-term viability and availability of electronic data for both the current and long term.	Develop suite of IT Policies taking into account relevant information from Australian Signals Directorate and The Australian Privacy Act	Goals defined and suite of policies developed to match goals. Education program being delivered to facilitate staff understanding.	Manager Information Services	Policies have been developed. Workshops were run in September for relevant staff to ensure accuracy and relevance of policies. Policies will then be rolled out progressively with an education process for Council staff.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Develop strategy for the transition away from on premises file storage to use of Microsoft SharePoint cloud storage.	Strategy developed and implementation in process	Manager Information Services	Strategy is being developed. Budget has been identified in current year to facilitate a staff education and training program and to assist with the migration away from on premises file storage.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Renewal of Council's fleet of Desktop and Notebook computers.	Computers purchased and deployed.	Manager Information Services	The installation of new PCs has progressed passed the halfway mark This main rollout will be complete by end December 2019. Other specialist PCs (water filtration etc) will be deployed through first half of 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Develop Information Services Strategic Plan	Plan Completed	Manager Information Services	Sloan & Taylor Consulting have been retained to assist in the development of the strategic plan. Workshops are currently being run with staff of Bathurst Regional Council to gather data, with a view to having the strategy completed and in place by June 30, 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Develop Software Asset Management protocol including the implementation of a system to assist in software Budgeting, auditing and reporting.	Software installed staff trained and software assets being managed.	Manager Information Services	The SNOw Software Asset Management system has been procured through Data3. The implementation of this system will be complete by the end of February 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
2.2 2.6 5.2	Support the Smart Cities project.	Complete CCTV system for the Bathurst CBD.	System implemented staff and police trained.	Manager Information Services	The underboring company (PT&S) was successful in winning the tender for the second stage Pits & Pipe work. RFQ documents have been developed for the installation of Cameras, Cabling and network infrastructure. This RFQ is expected to be on tenderlink on 21/1/2020. with a view to having the system commissioned by June 30, 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Finance						
Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.1	Ensure Council's long term financial sustainability.	Review need for special variation in rate income.	Long Term Financial Plan complete and adopted by Council.	Manager Financial Services	Long Term Financial Plan completed for 2019/20.	
6.6		Improve Council's cash flows.	Special Rate Variation considered by Council.	Manager Financial Services	Council did not apply for a special rate variation for 2019/20 or 2020/21 Operating/Delivery Plan.	
		Ensure Council's level of debt is manageable.	Rates and Charges Outstanding Ratio less than 10%.	Manager Financial Services	As per 2018/19 Financial Statements achieved 6.30% (2017/18 6.17%). (2016/17 5.68%). (2015/16 5.85%). (2014/15 6.63%).	
		Maximise invested funds within prudential guidelines.	Debt service ratio less than 10%.	Manager Financial Services	As per 2018/19 Financial Statements achieved 2.17% (2017/18 3.66%). (2016/17 4.12%). (2015/16 3.95%). (2014/15 4.10%).	
			Outperform monthly 90 day bank bill swap rate.	Manager Financial Services	At 31 st March 2020 current year average: • Investment earnings – 1.83% (2018/19 average 2.63%) • 90 day Bank Bill Swap Rate – 0.89%	

Property	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
Bathurst 2040 Objective reference 1.5 6.4 6.5 6.8	Manage development of new residential land releases to ensure appropriate level of supply.	Complete development of residential land in accordance with Council plans.	Release of Sunnybright Estate	Property Manager	Release of Stage A completed in April 2019. 37 lots out of 95 sold as of 31 March 2020. Stage B – 39 lots planned for completion by Mid-2020. Stage C – 19 lots due for completion by end of 2020. Stage D – 75 lots due for completion by mid-2021. Stage E – 70 lots due for completion 2022.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
2.1 4.1 6.4	Manage development of new commercial and industrial land releases as required to meet the needs of new businesses.	Development in Bathurst Trade Centre and Kelso Industrial Park as required.	Provision of land to meet demands.	Property Manager	Registration in September 2019. 13 out of 15 Lots sold as at 31 Mar 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Corporate Communications						
Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.1	Communicate and engage with the community	Bathurst Regional Council Community Survey.	Overall satisfaction rating > 70%	Manager Corporate Communications	Report completed and submitted to Council. 90% of residents are at least somewhat satisfied with the performance of Council. (96% are at least somewhat satisfied with the courteousness of staff; 91% are at least somewhat satisfied with the helpfulness of staff; 93% are at least somewhat satisfied with the knowledge of staff & 84% are at least somewhat satisfied with the responsiveness of staff).	
		Ensure community consultation occurs	All consultation projects included on the "Your Say" platform Followers on social media > 9,000 BRC Website visits > 40,000	Manager Corporate Communications	As at 31 March 2020: 100% consultation projects on Your Say Bathurst (Mitre Suttor Lambert St roundabout, Bathurst Rail Museum, Irrigators Portal, BMEC User Survey, Bathurst Town Centre Master Plan, Bathurst Cycling Classic Participant & volunteer surveys, Inland Sea of Sound participant survey) Social media followers: July: 9,456 August: 9,609 September: 9,791 October: 10,079 November: 10,166 December: 10,376 January: 10,592 February: 10,872 BRC Facebook Page: February 9,396 BRC Twitter Page: 1,630 February Total: 11,026 (sum of FB & Twitter) Website visits July: 74,438 August: 46,713 September: 58,733 October: 128,538 November: 41,756 December: 41,884 January: 69,454	

Events Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
1.3 2.1 2.2 2.6 5.2 5.3 6.3	Coordinate and deliver events to enhance the cultural life of residents and promote the Bathurst Region	Deliver events including New Years Eve, Australia Day, Bathurst Cycling Classic, NRL game, Bathurst 1000 off track events.	90% or more of residents attend an event.	Events Manager	<ul style="list-style-type: none"> - Winter Festival planned and executed in July 2019. Overall successful year. Data still being collated, approx. 55% from inside 2795 postcode and 45% from out of region attended. - Squiz events scheduled and held to encourage business engagement - New course released for Bathurst Cycling Classic, major stakeholders notified prior to public launch, Little negative feedback to date. - Bathurst 1000 off track events was successful - event in October to support the race. - Garage sale is underway for 2019, however one month earlier and so far less stalls booked for this year. - Planning underway for NYE, Australia Day, Elton, Bathurst 12 Hour and Bathurst Cycling Classic - Business planning in place for a 3 year operational plan for annual events and two key owned events – Bathurst Cycling Classic and Bathurst Winter Festival. - Finalising run of events from Elton, Australia Day and 12 Hour track to town. - Working with Mojo events for BMX event - Planning underway for Cycling Classic - Planning underway for 2020 winter festival - Successfully executed Australia Day, Elton John concert and the Bathurst 12 Hour Town to track. - New staff have started. - Events and Promotions Officer jobs being reviewed to better represent the growing needs of the events team and annual event calendar <p>March</p> <ul style="list-style-type: none"> - Implemented Bathurst Cycling Classic. Numbers were low due to the start of Covid-19. - Staff in the process of reporting on previous events: BCC, Elton John, BMX event 	



					<ul style="list-style-type: none"> - Working on what can be implemented for the Winter Festival - EM has completed Strategic Plan for 2020 - 2025 and will commence implementation over coming weeks - Working on social strategies to engage the community and provide good news stories to followers. 	
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Cultural & Community Services





Bathurst Regional Council supports a vibrant culture and community. Lifestyle in the Bathurst Region is enriched by providing a diverse range of cultural facilities and programs and by promoting cultural diversity. Community well-being is promoted through social planning, community development and ensuring access to community services.



Community Services

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
5.1 5.2 5.3 5.5 6.3	Work in partnership with key stakeholders to develop administer and deliver community planning that reflects the strengths and needs of specific sectors and the community as a whole.	Undertake the actions identified in the Bathurst Community Safety Plan in partnership with the Bathurst Regional Community Safety Committee.	Provide administrative support to 4 meetings of the Bathurst Regional Community Safety Committee. Relevant campaigns /projects developed and implemented as per actions identified in the Bathurst Community Safety Plan.	Manager Community Services Manager Community Services	YTD four (4) Community Safety Committee meetings held. Community Safety Committee meeting scheduled for 26 March 2020 cancelled due to COVID-19. Red Bench project launched 26 September 2019 - Red Benches installed in Machattie Park and Kings Parade. Additional Red Bench installed at Kelso Community Hub 6 March 2020 "Avoid Being Scammed – Tips for Seniors" Campaign launched 5 March 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Implementation of the strategies and actions identified in the Disability Inclusion Action Plan (DIAP) that address each of the four focus areas of the plan 2017-2021.	Undertake annual review and evaluation of actions.	Manager Community Services	YTD 38 actions in progress. 50 actions exist across four areas. Therefore, tasks in the Plan are on track. Review of actions and strategies listed in the Disability Inclusion Action Plan undertaken.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
5.1 4.3 1.3 5.4 6.2	The provision of the Kelso Community Hub as a safe community hub and venue for outreach service	Continue to provide ongoing review of service delivery for future direction of Kelso Community Hub.	Ensure continuing public awareness raising and promotion of DIAP. Facilitate 2 meetings with Kelso Community Hub stakeholders.	Manager Community Services Manager Community Services	Public awareness raising and promotion items listed in Disability Inclusion Action Plan have continued during March YTD two (2) stakeholder meetings have been held. No Kelso Community Hub stakeholder meetings were held in March.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.3	provision that meet the needs of the community.	Encourage and facilitate the use of the Kelso Community Hub by outside services, organisations and businesses to meet the needs of the community.	Provide 3 Kelso Community Hub update reports to Council.	Manager Community Services	YTD two (2) update reports provided to Council. Kelso Community Hub Update Report was provided to Council in March.	
			10% increase on 2018/2019 utilisation by external services, organisations and businesses	Manager Community Services	YTD 169 services; being an average of 18.77 per month and 48.32% decrease in utilisation based on 2018/2019 figures. 19 individual uses by external one-off and repeated services and programs during March. Due to grants received, major capital works were delivered during July to November effectively closing the centre for six months. Capital works were completed December, growth in use was evident January-March 2020. Due to COVID-19, all hires except NSW Health suspended services from 16 March 2020. Therefore, performance measure is not expected to be achieved. YTD 4,696 people serviced, both through external programs, as well as drop-ins and Council programs, which is a decrease of 25.21% based on 2018/2019 figures.	
6.3	provision that meet the needs of the community.	Develop and provide programs and activities that meet the identified needs of the community	Deliver the breakfast program 3 days per week during school terms.	Manager Community Services	359 people serviced in the month of March. YTD 856 young people serviced and average of 10.19 during 84 days of operation.	
			15 young people accessing afterschool programs per session.	Manager Community Services	Breakfast program operated 9 days and serviced 103 young people during March. Remaining Breakfast program was cancelled from 19 March 2020 due to COVID-19. YTD 406 young people serviced, being an average of 14.5 per session during 28 days of operation.	
			10 young people accessing school holiday activities per session.	Manager Community Services	Two (2) after school programs were held, servicing 26 young people, with an average of 13 per session during March. After school programs were cancelled from 18 March 2020 due to COVID-19. YTD 318 young people have accessed school holiday activities, being an average of 15.14 per session during 21 sessions held.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
5.1 5.3 1.3 6.2 6.3 6.7	Value and support opportunities for young people to understand the processes of Local Government and be involved in relevant projects.	Providing support for the Bathurst Regional Youth Council and their related activities, programs and events	2 Community celebrations per year	Manager Community Services	No school holiday activities operated during the month of March. YTD three (3) Community Celebrations have been held YTD. 3 July 2019 – Playground Opening 6 November 2019 – Open Day 18 December 2019 – Christmas Party No community celebrations were held in March. YTD four (4) meetings have been held with a total attendance of 49 Youth Councillors. Youth Council meeting that was to be held 31 March 2020 was cancelled due to COVID-19	
5.1 5.2 5.3 5.4 6.3 6.4 6.7	Provision of high quality child care facilities to cater for children aged 0-12 years in the Bathurst Community	Update policies and procedures to ensure alignment with: 1. Education and Care Services National Quality Standards. 2. Education and Care Services National Regulations and Law 3. The Early Years Learning Framework	Undertake at least 2 youth initiatives, activities, programs and events including attendance numbers. 25% of policies reviewed.	Manager Community Services Manager Community Services	YTD twelve (12) initiatives, activities, programmes and events held and/or undertaken with overall Youth Councillor attendance being 79. Seven (7) Youth Councillors attended and assisted at International Women's Day on 6 March 2020. YTD 100% of policies for Children's Services (Sallywags and Family Day Care) have been reviewed. Sallywags/Family Day Care: Due to Covid-19, an amendment to the Arrival and Departure Policy for Children's Services was made in March to allow Educators to sign children in and out of care. The amendment reduces the cross contamination that could occur with use of devices and eliminates the need for families to enter classrooms or Family Day Care environments. Guidance sought from Government authorities' prior to amendments made.	
			Develop combined Quality Improvement Plan (QIP) for Council's	Manager Community Services	YTD three (3) review process occurred to the Services QIP – prior to and after Service amalgamations.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
	The provision of Council's Children Services, setting a benchmark for education and care in the Bathurst LGA	Ongoing review of service delivery for future growth of occupancy rates of all services.	combined Long Day Care service.		Sallywags: No updates to QIP in month of March. Family Day Care: No updates to service QIP in month of March.	
			7 National Quality areas to be reviewed.	Manager Community Services	YTD the seven quality areas have been reviewed Sallywags: Quality Area 2 was reviewed to reflect current COVID-19 requirements in Early Childhood Settings. Family Day Care: Quality Area 2 was reviewed to reflect current COVID-19 requirements in Early Childhood Settings.	
			Facilitate 1 survey for Family Day Care (FDC) for review of service delivery.	Manager Community Services	YTD one (1) survey for review of service delivery has occurred. Survey results provided to Family Day Care through delivery of draft Family Day Care review document.	
			Facilitate 1 survey for Long Day Care (LDC) for review of service delivery	Manager Community Services	YTD there have been no surveys distributed. Questions developed for Parent Satisfaction Survey during February. Survey to be distributed April 2020. Current COVID-19 conditions have altered release date.	
			Provide 2 Children's Services update reports to Council	Manager Community Services	YTD 1 report to Council. Children's Services Update Report presented to the March Council meeting.	
			>75% occupancy	Manager Community Services	YTD occupancy 80%.	
			Open and operate newly refurbished Long Day Care Services	Manager Community Services	YTD three (3) marketing strategies have been utilised for Family Day Care. Advertisement placed on Facebook promoting the availability of care for school age children during March.	
			Build profile of Family Day Care (FDC) scheme in the Bathurst Community	Manager Community Services		



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
	Promotion of Children's Services.	Communicate and engage with the community and stakeholders.	Undertake 3 promotional initiatives.	Manager Community Services	YTD four (4) promotional initiatives have been used for Children's Services. Sallywags and Family Day Care: Changes to Educator care provisions through COVID-19 was promoted on Facebook using hashtag #openforbusinessbutdifferently. The promotion emphasises the implemented changes to ensure safety of children and Educators through the early stages of pandemic period.	
			2% growth on 2018/2019 in followers on Council's Children's Services Social media platform – (Facebook)	Manager Community Services	YTD there has been a 12% growth of followers of the Children's Services Facebook page. 4 new individuals liked the Facebook page during March. Engagement of Sallywags families through period of changes in the centre due to COVID-19 has boosted interaction on the page in March from current followers.	
			Review and update Council's Children's Services website	Manager Community Services	YTD two (2) Children's Services website updates have occurred. No updates to the Children Services website occurred in March.	
	Connect and collaborate with Children's Services networks locally and regionally to ensure service provision reflects strengths and needs of the sector.	Participate in existing services and networks relevant to Council's Children's Services	Attendance/participation at 2 relevant forums	Manager Community Services	YTD four (4) networking forums have been attended Sallywags: Four (4) staff members with Coordinator held the Macquarie University Inclusion Working Party early March with an additional 3 child care services from Bathurst. Family Day Care: No networking has occurred in March primarily due to restrictions place on social gathering from COVID-19.	





Bathurst Library




Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
4.3	Develop a strategic approach to planning the next-practice library	Draft Strategic Plan reported to Council	Report to Council by August 2019	Manager Library Services	Draft Strategic Plan on Public Exhibition in September. Strategic Plan adopted at Council October meeting. Library Strategic Plan document completed. Complete	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Strategic Plan adopted by Council	Strategic Plan adopted by Council by September 2019	Manager Library Services	Draft Strategic Plan on Public Exhibition in September. Strategic Plan adopted at Council October meeting. Library Strategic Plan document completed. Complete	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
5.3	Maintain and improve community participation in the Library Services	Strategic Plan Implemented	September 2019 and ongoing	Manager Library Services	Implementation ongoing via Delivery and Operating Plan. reported on monthly.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Maintain and improve membership base	Membership is 25% or more of total population	Manager Library Services	Total active March membership is 13,082 = 30% of Bathurst population. March 2020 membership is 12,257 = 29% of Bathurst population (excludes non-2795 members). February 2020 membership for Reciprocal/Temporary (non-2795 postcode) is 825.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Maintain and improve visitations	Yearly visitations are 140,000 or more	Manager Library Services	YTD 106,797 visitations. 11,521 people visited the library in March 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Maintain and improve program and event delivery	Deliver 20 or more programs / events per month	Manager Library Services	YTD 220, being average >20 per month 24 events were held March 2020. Childrens programs have moved online due to COVID-19. In March, 6 programs were delivered online.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
5.3	Maintain and improve access to information and life-long learning	Maintain and improve attendance at programs and events	650 attendees or more to programs / events per month	Manager Library Services	YTD 6,676, being average >650 per month 287 people attended library programs March 2020. In addition, parents and children have joined us online for our virtual programs.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Maintain and increase circulation of all library material	Loans exceed 20,000 per month	Manager Library Services	YTD 196,444, being average >20,000 per month 22,072 items were borrowed during March 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Improve online information	Launch an online portal for kids and young adults on the library website	Manager Library Services	Online kids portal launched and promoted. Complete	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
6.1	Communicate and engage with the community	Improve adult digital literacy skills	Provide at least 20 tech sessions for adults	Manager Library Services	YTD 170 participants at 51 sessions 20 participants attended 6 Tech sessions in March 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Honour Wiradjuri History	Curate a Wiradjuri research collection	Manager Library Services	Research continues. Liaising with AIATIS. Moving titles from Local History to Wiradjuri research collection.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Growth in followers on the library social media platforms	More than 2,100 Facebook likes and more than 875 Twitter followers	Manager Library Services	Facebook: 2,536 as at March 2020 Twitter: 913 as at March 2020	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
6.2	Maintain and create partnerships with local organisations and neighbouring councils	Further the partnership with the Kelso Community Hub	Deliver at least 2 activities	Manager Library Services	YTD one (1) activity held. Planning Ahead session held on Thursday 25 July 2019 with 7 people in attendance.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Bathurst Regional Art Gallery

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
1.3	Provide a focus on the visual arts for the community by providing education and public programs that challenge thinking and stimulate creativity and promote cultural vitality in the region through the development and care of the permanent collection, temporary exhibitions and research facilities.	Develop community access and inclusion to the Gallery's exhibition program through the development education, outreach and public programs.	Staging of 6 education / public programs in conjunction with BRAG exhibitions	Art Gallery Director	<p>YTD: 98 education and public programs staged</p> <ol style="list-style-type: none"> YTD: Starstruck/Solness (July) Ed Programs: 4 Public Programs: 6 Total: 10 Rocolonial (Aug/Sept) Ed Programs: 11 Public Programs: 11 Total: 22 Threads through Art/Lyons/Dunn (Oct/Nov) Ed Programs: 9 Public Programs: 17 Total: 26 VOID / HOME/ Backyard Bila (DEC/JAN) Ed Programs: 6 Public Programs: 10 Total: 16 Marion Hall Best / Paul Davies Ed Programs: 7 Public Programs: 8 Total: 15 	
			At least 1,200 students from school and 15 community groups or organisations accessing BRAG education / outreach / public programs including the Art in a Suitcase program.	Art Gallery Director	<p>YTD 726 students have participated in programs YTD 72 community groups accessed programs</p> <ol style="list-style-type: none"> Starstruck/Solness (July) Ed Program participation: 43 Public Program participation: 177 Community Groups: 12 RocoColonial @ BRAG (Aug/Sept) Ed Program participation: 113 Public Program participation: 695 Community Groups: 18 Threads Through Art (Oct) Ed Program participation: 81 	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
					<p>Public Program participation; 385 Community Groups: 12</p> <p>4. Threads Through Art (Nov) Ed Program participation: 32 Public Program participation; 138 Community Groups: 8</p> <p>5. VOID / HOME (Dec/Jan) Ed Program participation: 295 Public Program participation; 488 Community Groups: 11</p> <p>6. Marion Hall Best / Davies (Feb) Ed Program participation: 47 Public Program participation; 274 Community Groups: 11</p> <p>Art in a Suitcase: March no activity</p>	
	Provide opportunities for the professional development of regionally based artists through exhibition.	Staging of 2 local artist projects with at least 3,250 attendees.	Art Gallery Director	<p>YTD four (4) local artist projects undertaken YTD 8,504 attendees.</p> <p>1. Bathurst Art Fair: 1,722 (163 local artists participated) Heather Dunn: Palette of Place (Oct): 2,483 attended</p> <p>3. Heather Dunn: Palette of Place: 2,850 attended</p> <p>4. Sarah O'Sullivan: Resilience: 2,323</p>		
	Develop community access to and understanding of contemporary indigenous art through exhibition and tour development.	Production of 2 exhibition catalogues.	Art Gallery Director	<p>YTD: four (4) catalogues produced</p> <p>1. Threads Through Art: Australian Tapestries</p> <p>2. Camie Lyons: A Physical Response</p> <p>3. Heather Dunn: Palette of Place</p> <p>4. Paul Davies: The Golden Days</p>		
		Staging of 2 exhibitions of contemporary indigenous art including the development of 1 touring exhibition.	Art Gallery Director	<p>1. VOID – Curated by Emily McDaniel</p> <p>2. HOME: GUNHIGAL NGUAMBANG WIRADYURI MAYINY (Plains Country Wiradyuri People)</p> <p>TOURING:</p>		

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		Develop community access to the permanent collection through exhibition, research, loans and touring exhibitions on an as needs basis.	Staging of 2 permanent collection exhibitions.	Art Gallery Director	1. VOID – TOURING to 8 venues in 2020/2021 Canberra Museum & Gallery: 15 Feb – 2 May 2020 2. Rococolonial: Lismore Regional Gallery 15 Feb – 19 April 2020. YTD: one (1) permanent collection exhibition staged 1. Jonathan Jones: From the Collection (DEC)	
			Improve database access through updating fields (20% p.a.) ready for transferring information to KEmU by 2022.	Art Gallery Director	At 31 March 10% NB: this project is on hold while Collections Team implement transition to KeEmu CMS	
			At least 5 works loaned to other galleries, and visitation of more than 2,500 per venue.	Art Gallery Director	YTD four (6) galleries have received seven (10) works from BRAG. YTD 269,970 total visitation, average >67,000 visitation. Virginia Cuppaige Dusk on Grand St 1989: NRG 11 May – 21 July Total Visitation: 17,287 Margaret Olley St Pauls Terrace: QAGOMA 15 June – 20 October 2019 Visitation @ 31 August: 231,036 (2,962 per day) Penrith Regional Gallery, Gifting (7 Sept – 17 Nov) Fred Williams, Bachus Marsh, Fred Williams, Red & Blue Landscape, William Robinson, Morning Light Total visitation: 18,905 Orange Regional Art Gallery: Ros Auld: Adventures in Ceramics (14 Dec - 27 Jan 2020) Ros Auld, Platter II, Ros Auld, Figure in Landscape Total visitation: 2742 VOID: Canberra Museum & Gallery 15 Feb – 2 May Thancoopie pot. Visitation TBC	



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status	
		Increase community engagement on social media platforms.	Instagram followers to 1,200	Art Gallery Director	Rococolonial: Lismore Regional Gallery 15 Feb – 19 April 2020; Danie Meilor <i>Fragments of anthropology I & II</i> 2016 Visitation TBC YTD: 1,989 Instagram followers Insta followers @ 31 July: 1,248 Insta followers @ 31 August: 1,308 Insta followers @ 30 September: 1,361 Insta followers @ 31 October: 1,421 Insta followers @ 26 November: 1,533 Insta followers @ 31 December: 1,579 Insta followers @ 31 January: 1,639 Insta followers @ 29 February: 1,742 Insta followers @ 31 March: 1,827 Hill End AIR Insta launched 14.2.2020 Insta followers @ 29 Feb: 88 Insta followers @ 31 March: 162 YTD: average 65.3% total bookings online @ 31 July: Deborah Kelly workshop: 50% Eventbrite @ 31 August: Deborah Kelly workshop: 44.4% Eventbrite @ 30 September: NAVA 'Valuing Your Work' 100% Eventbrite @ 31 October: Zimmi Forrest Workshop - 100% Facebook @ 26 November: Sciberas BRAGS Brunch 3% Eventbrite @ 31 December: VOID Ed Symposium 80% Eventbrite @ 31 January 2020 (Tom Ross event): 59.3% Eventbrite @ 29 February 2020 Tim Ross event: 51% Eventbrite March: no activity		
5.2	Promote cultural activity in the Bathurst CBD, neighbourhoods and the region's villages through the	Develop community understanding of the achievements of the Hill End Artists in Residency Program through	Engagement with online booking platforms by 5% of total bookings per event. Staging of 3 Hill End Artists in Residency exhibitions with at least 3,250 attendees.	Art Gallery Director	YTD: four (4) Hill End AIR exhibitions YTD: 8,478 attendees 1. Peter Solness: Lamplight Total Visitation: 4,337		

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
	development of inclusive and accessible satellite programs and events, and the promotion of Hill End as a significant site of contemporary and historic Australian art and culture.	exhibition and international participation.	Increase international exposure. Increase in international applications by 5%.	Art Gallery Director	<p>2. Heather Dunn: Palette of Place October Visitation (to 25 Nov): 1,346</p> <p>3. Camie Lyons: A Physical Response November Visitation (to 25 Nov): 1,346</p> <p>4. Paul Davies: The Golden Days Feb visitation: 2,323</p> <p>YTD: 20% increase on 2018 international applications</p> <p>July: Res Artist Hill End AIR page updated</p> <p>September: AGD met with French Cultural Attaché to discuss FAR 2020</p> <p>November: 114 Hill End AIR applications (33% increase on 2018 applications)</p> <p>International Applications: 5 (20% increase on 2018)</p> <p>December: Laura Clauzel announced as 2020 FAR artist.</p> <p>March: FAR cancelled</p>	
	Broaden access and inclusion to the Gallery's exhibition program through the development of a program of off-site and/or satellite programs.	Development of 2 off-site programs / events.	At least 1,000 participants per program / event.	Art Gallery Director	<p>YTD: four (4) off-site programs</p> <p>YTD: 8,390 participation, average >2,000 per program</p> <p>YTD: three (3) partnerships developed</p> <ol style="list-style-type: none"> July: Ways of Seeing BRC Events and ESEM August: RocoColonial @ Abercrombie September: RocoColonial @ Abercrombie November: BRAG @ Cementa19: Amala Groom March: A Hill End Soiree cancelled <p>July: Ways of Seeing launch: 50 in attendance</p> <p>Ways of Seeing reach: c. 2,500</p> <p>August: RocoColonial @ Abercrombie visitation: 1,515</p> <p>September: RocoColonial @ Abercrombie visitation: 1,825</p> <p>November: BRAG @ Cementa19: 2,500</p> <p>March: no activity</p>	
		Develop 2 new partnerships in the region to promote contemporary visual art.	Develop 2 new partnerships in the region to promote contemporary visual art.	Art Gallery Director	<p>YTD: three (3) partnerships developed in the region</p> <ol style="list-style-type: none"> July: BRC Events Team / ESEM collaboration August/September: Abercrombie House RocoColonial partnership developed (satellite BRAG exhibition) November: Cementa19: BRAG sponsored Wiradjuri artist Amala Groom to present work <p>March: no activity</p>	



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		Implement relevant activities within the Public Art Policy as resources permit	Develop Terms of Reference for Public Art Policy Advisory Panels (Review and Technical)	Art Gallery Director	March: completed	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
			Develop a Public Art Policy Asset Register	Art Gallery Director	March: in development	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>


Bathurst Memorial Entertainment Centre




Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
4.1 1.1 1.2 5.3 6.2	Implement a strategic approach to planning the next-practice Performing Arts Centre	Consultant to develop framework, provide timeline, and produce interim solution	Timeline & interim solution provided by April 2020.	Manager BMEC	A triumvirate of consultants, Virginia Ross, Craig Gamble and Rob Gebert have been appointed to deliver the second stage of the NPPAF, a framework of required facilities. The consultants made their initial visit to Bathurst on 22, 23 & 24 October 2019. The second visit to Bathurst planned for March was cancelled due to COVID-19. Online alternatives are currently being investigated. The consultants have provided the first draft of a Needs Analysis. Timelines and arrangements are currently being reviewed due to COVID-19.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
5.2 5.3	Maintain and improve community participation in BMEC services and activities	Maintain and improve average number of tickets purchased per Member	Framework provided by June 2020. Average of at least 5 tickets per Member	Manager BMEC	YTD average Tickets Purchased by Member: 9.7 however actual purchases for the financial year will decrease if refunds are required due to COVID-19 cancellations or postponements. YTD 148 current members The BMEC Annual Season is a calendar year program. The BMEC 2020 Annual Season went on sale to members mid-November 2019.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Maintain and improve venue attendance	Attendances exceed 55,000	Manager BMEC	YTD 44,048 people had attended BMEC in the 2019/20 financial year compared to 37,751 at this point in 2018/19. 4,137 people attended BMEC events in February 2020 compared to 2,246 in February 2019. March figures are still being collated but will be severely impacted by COVID-19.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
		Maintain and improve program and event delivery	Deliver approximately 17 Season and other events, 9 associated workshops and a Local Stages Program including LEAP program, local writers and other performing arts development	Manager BMEC	YTD 11 season events have been presented YTD 44 workshops and extensive community engagement have been held. The BMEC Annual Season is a calendar year program. Within the 2019 Annual Season there are 18 productions programmed with five associated workshops. Additional workshops are offered within the Local Stages program In 2020 Season there will be 17 productions programmed and one installation.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
					<p>All About Women live stream from Sydney Opera House was held or International Womens Day on Sunday 8 March, 52 people attended over the 3 sessions. Drama Classes cancelled.</p> <p>YTD 3,948 people have attended Season shows. This figure indicated that attendances were on track to meet the financial year target. However, now that performances have been cancelled due to Covid 19 the target will not be achieved. YTD 2,920 people have attended associated and Local Stages projects.</p>	
1.1 1.2 5.3	Communicate and engage with the community	<p>Maintain and improve attendance at programs and events</p> <p>Growth in community engagement</p>	<p>5,200 attendees or more to Season shows and 5,600 at associated and Local Stages projects per year</p> <p>At least one intrinsic impact study per year.</p> <p>2% growth in social media followers over 2018/2019</p>	<p>Manager BMEC</p> <p>Manager BMEC</p> <p>Manager BMEC</p>	<p>The intrinsic impact study for 2019 has been undertaken in association with Wolfe Brown marketing consultants and performing arts centres nationally. Dashboard access and results are available on request. 263 patrons responded to the survey.</p> <p>YTD 18% growth from 1 July 2019 BMEC currently has:</p> <ul style="list-style-type: none"> • 3,481 Facebook followers BMEC • 515 Twitter followers • 928 Instagram followers <p>This does not include IsoS (see below), Catapult Festival or Central West Short Play Festival followers. Inland Sea of Sound facebook likes have increased by 36% since 1 July 2019. Inland Sea of Sound Instagram followers have increased by 40.1% over the same period.</p>	

Museums

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
2.6 1.1 1.2 1.3 6.6	An increase in total visitor numbers to the Bathurst Regional Council managed museums of 8% over 4 years	An increase on 2018/19 total visitor numbers to: <ul style="list-style-type: none"> Australian Fossil and Mineral Museum National Motor Racing Museum Chifley Home and Education Centre Bathurst Rail Museum 	Total 4% increase in visitor numbers	Manager Museums	<p>The Museums were closed to visitors on Monday 23 March 2020 at 1.00 pm.</p> <p>Year to date (YTD) total visitors to Council Museums is 46,686 which is 6% increase from 44,117 YTD 2018. Total number of visitors across the Museums in March 2020 was 4,200 which is a 15% increase on March 2018 numbers of 3,644.</p> <p>Australian Fossil and Mineral Museum 840 which is a 41% decrease on March 2018 visitor numbers of 1,428.</p> <p>National Motor Racing Museum 1,215 which is a 43% decrease on March 2018 visitor numbers of 2,126.</p> <p>Chifley Home and Education Centre 36 which is a 40% decrease on March 2018 visitor numbers of 90.</p> <p>Bathurst Rail Museum 2,109 visitors in March.</p>	
2.6 1.1 1.2 1.3 6.6	An increase in the total educational/schools engagement with the Bathurst Regional Council managed museums of 8% over 4 years	An increase on 2018/19 total education/ schools engagement at: <ul style="list-style-type: none"> Australian Fossil and Mineral Museum National Motor Racing Museum Chifley Home and Education Centre Bathurst Rail Museum 	Total 4% increase in education/ schools engagement	Manager Museums	<p>The Museums were closed to visitors on Monday 23 March 2020 at 1.00 pm.</p> <p>Year to date (YTD) total education/school visitors to Council Museums was 4,238 which is a 36% increase from 3,115 YTD 2018.</p> <p>The number of education/school engagement across the Museums in March 2020 was 346 which is a 5% increase on March 2018 numbers of 328.</p> <p>Australian Fossil and Mineral Museum 215 education/school visits which is a 11% increase on March 2018 visitor numbers of 243.</p> <p>National Motor Racing Museum 131 education/school visits which is a 157% increase on March 2018 visitor numbers of 51.</p> <p>Chifley Home and Education Centre 0 education/school visits which is a decrease on March 2018 visitor numbers of 34.</p> <p>Bathurst Rail Museum 0 education/school visits in March.</p>	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
<p>2.6 1.1 1.2 1.3 6.6</p>	<p>The provision of a range of public programs, exhibitions and community events at the Bathurst Regional Council managed museums</p>	<p>Undertake exhibitions, public programs and community events across the Bathurst Regional Council managed museums</p>	<p>Minimum six exhibitions, five public programs and two community events</p>		<p>Year to date (YTD) the following exhibitions, public programs and community events were held across the Museums:</p> <ul style="list-style-type: none"> (6) Exhibitions The Albert Chapman Collection – AFMM Chifley Album – CHIFLEY Gathering Thread – CHIFLEY 'Under the Tree: Peter Williamson and 40 years of Racecam – NMIRM 'Around the Clock' - NMIRM Local Stories – The Cole family - RAIL (5) Community Event Father's Day Sept 2019 – NMIRM Grandparents Day Oct 2019 – AFMM All Aboard Art Project No. 1 – RAIL All Aboard Art Project No. 2 – RAIL Selfie Day – Jan 2020 – AFMM, NMIRM, CHIFLEY (2) Public program Somerville Lecture Oct 2019 – AFMM Explore Minerals Day, after the Chapman Collection opening - AFMM <p>In March 2020 the following has occurred:</p> <p>Australian Fossil and Mineral Museum</p> <ul style="list-style-type: none"> The Albert Chapman Collection: remarkable minerals from the Australian Museum. <p>National Motor Racing Museum</p> <ul style="list-style-type: none"> Arrival of 1967 Mustang and 1972 Monaro cars. <ul style="list-style-type: none"> Chifley Home and Education Centre Exhibition: Chifley Album Gathering Thread – Digital exhibition. Reflections on objects from the Chifley Home in partnership with Charles Sturt University. <p>Bathurst Rail Museum</p> <ul style="list-style-type: none"> Exhibition: The Cole family Local Stories Cabinet ongoing. 	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
2.6 1.1 1.2 1.3 6.6	An overall increase in revenue generated from museum retail outlets and venue hire across the Bathurst Regional Council managed museums	An increase on 2018/19 total revenue generated from museum retail outlets and venue hire across the Bathurst Regional Council managed museums	Total 4% increase in retail and venue hire revenue	Manager Museums	<p>The Museums were closed to visitors on Monday 23 March 2020 at 1.00 pm.</p> <p>Year to date (YTD) total gross revenue for Council Museums was \$326,489 which is a 15% increase from \$283,756 YTD 2018.</p> <p>Total retail and venue hire gross income across the Museums in March 2020 was \$21,088 which is an 3% increase on March 2018 income of \$20,483.</p> <p>Australian Fossil and Mineral Museum \$4,477 which is a 25% decrease on March 2018 income from \$6,043.</p> <p>National Motor Racing Museum \$12,437 which is a 14% decrease on March 2018 income of \$14,391.</p> <p>Chifley Home and Education Centre \$111 which is an 249% increase on March 2018 income of \$48.</p> <p>Bathurst Rail Museum \$4,063 retail sales.</p>	
2.6 1.1 1.2 1.3 6.6	Bathurst Rail Museum	Complete construction and begin operations of the Bathurst Rail Museum	Complete construction and begin operations of the Bathurst Rail Museum, December 2019. Design completed May 2020	Manager Museums	<p>The Bathurst Rail Museum opened on 21 February 2020. Completed.</p>	
1.1 1.2 1.3 6.6	Central Tablelands Collection Facility	Commence and complete design stage of facility including input from a range of stakeholders	Design completed May 2020	Manager Museums	<p>In March 2020 the following occurred:</p> <ul style="list-style-type: none"> Recommendation for negotiation with preferred contractor accepted by Council at 18 March 2020 Council meeting. 	

Tourism

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
2.1 6.1	Grow the number and engagement of businesses associated with the Visitor Economy	Work with local operators in the provision of visitor services	Experience packages and new product developed	Manager BVIC	Working with multiple operators on development of virtual experiences to maintain continuity and brand awareness during the COVID-19 shutdown period.	
		Grow Regional Tourism Partnership program	Number of tourism partners increased by 10%	Manager BVIC	YTD 1% increase, 139 Tourism Partners reviewed to end March 2020. Growth has been below performance measure due to key tourism marketing coordinator position not filled until 2 nd Qtr. of FY and closure or sale of several previous partner businesses.	
		Increase stakeholder advertising in Destination Planner	Advertising revenue increased 20%	Manager BVIC	COMPLETED. YTD 40.7% increase in revenue and 38.2% increase in total number of all ad types.	
2.6	Provide visitors and prospective visitors to the area with quality information and services.	Increased optimisation of tourism website	SEO rating increases from 83-88%	Manager BVIC	YTD 83% SEO rating No SEO review in March. YTD 67.3% increase in total pageviews. All recommendations of SEO audit were implemented by Tourism Manager. Subsequent review by Wisdom commissioned. New 'Bathurst region corporate' (industry site) now live	
		Develop new engaging content for Bathurst Step Beyond App	2 new tour products added	Manager BVIC	YTD preliminary discussion regarding additional tour(s) to provide interpretation for the new Mount Panorama boardwalk. Interpretation concept meeting held December. Draft report received February. No additional actions in March. YTD Bathurst Step Beyond App has had 5,254 uses.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
		Increase online booking capability	Increase of 20% bookings through online portal	Manager BVIC	YTD decrease of 19% in total overall bookings including events/fairs. YTD decrease 56.5% decrease in overall revenue. \$2,530 bookings March 2020 through Bookeasy. Figure impacted negatively by an 88% reduction in Chifley Dam Cabin Bookings compared to 2018/19. During 2019/2020 the region has experienced the effects of national fires, drought and COVID-19 outbreak that have impacted upon the delivery of this performance measure.	
		Develop annual Destination Planner	2020 Destination Planner published	Manager BVIC	COMPLETED. Destination Planners printed and distributed locally and via AVIC Network. Planner also available online as flipbook or download	
		Develop new Bathurst Region Villages Guidebook	Village committees engaged; guidebook published	Manager BVIC	Work underway on design – March 2020	
		Create focused local range of retail products at BVIC	Retail sales at BVIC increase by 10% over previous year	Manager BVIC	YTD 6.1% sales above 2018/19 result YTD \$728.50 sales from 'The Cotswolds Store' launched in October. February retail of \$5135, was 28% below 2019 period result of \$7,116. BVIC Closed to all visitors on 25 March due to COVID 19	
2.6	Effectively promote and market the Bathurst Region as a key destination	Implement 2019-2021 marketing plan	75% of Plan outcomes achieved	Manager BVIC	YTD 91.2% outcomes achieved. 31 of 34 action items in plan either completed, commenced or ongoing as at 31 March 2020.	
		Implement online content strategy	Destination website page views increase 15%	Manager BVIC	YTD increase of 54.7% 18,177 pageviews in March 2020	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
			Total social media following increase 20%	Destination website page views increase 15%	YTD 23.2% increase Total of 14,849 followers across all platforms	
		Develop Bathurst region conferencing guide and planner	Planner published	Manager BVIC	COMPLETED. Bathurst Region conferencing and business event planner completed and published February 2020. Bathurst attended AIME 18-19 February 2020. 39 meetings with PCOs and buyers.	
2.6	Increase total number of visitors and overnight stays in the Bathurst region	Promote Bathurst region to niche and specialist markets as identified in Destination Management Plan and Brand strategy	Overnight visitors increase by 8%	Manager BVIC	Bathurst LGA profile report issued in August (most recent) by Tourism Research Australia shows: <ul style="list-style-type: none"> • 5.9% rise in total visitors 2017-2018 • During 2019/2020 the region has experienced the effects of national fires and drought that may impact upon the delivery of this performance measure. Promotions during March included: <ul style="list-style-type: none"> • Advertising in True Blue and Tigertales • Advertorial in 'Mindfood' niche publication • Launch of COVID 19 response and #TakeAMoment campaign 	
			Average length of stay increases by 10%	Manager BVIC	Bathurst LGA profile report issued in August (most recent) by Tourism Research Australia shows; <ul style="list-style-type: none"> • 26.5% increase in total visitor nights 2017-2018 	
		Promote BVIC as essential step off point for Bathurst region.	Annual visitation to BVIC increases 5%	Manager BVIC	YTD 9.3% decrease in visitation. Visitor numbers affected YTD by bushfire situation in NSW and Centre closure on 24 March 2020 due to COVID-19 outbreak. 2,905 visitors to BVIC in March 2020. During 2019/2020 the region has experienced the effects of national fires, drought and COVID-19 that impact upon the delivery of this performance measure.	



Destination Management

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
2.6	Utilise the Destination Management Plan as a basis for marketing, promotion and tourism development	Develop new Bathurst region Destination Management Plan Implement 3 Year Marketing Plan	DMP adopted by Council 75% of Plan outcomes achieved	Manager BVIC Manager BVIC	Destination Management Plan was adopted by Council at December meeting. Complete. YTD 91.2% of Plan outcomes achieved 31 of 34 action items in plan either completed, commenced or ongoing as at March 2020.	
2.6	Support the Tourism Reference Group, which consists of a cross section of the industry	Improved collaboration between industry groups and Council.	4 meetings held annually >75% attendance at Tourism Reference Group	Manager BVIC	YTD three (3) meetings held YTD 88% attendance at two (2) meetings. Five (5) responses to EOI for new membership. New group not constituted as at 31 December 2019. Statistics sent on monthly basis to TRG via online portal.	
2.6	Connect with industry	Commence monthly industry eDM Host minimum of 4 industry gatherings	Minimum of 12 eDMs issued. Minimum of 4 events held.	Manager BVIC Manager BVIC	YTD ten (10) industry eDMs. Average open rate 35.4% Industry eDMs provided 3 industry eDMs in March 2020. YTD three (3) industry gatherings held Meeting held 10 March	
2.6	Set and measure benchmarks	Publish annual market intelligence report to strengthen knowledge and guide investment.	Report produced	Manager BVIC	WRI commissioned to undertake LGA specific research. Bathurst most numerous response rate of all participating LGAs Working with specialist agency on developing brand health tracking metrics	

Environmental, Planning & Building Services

Council will manage growth and development in alignment with Council's and the NSW Government's planning instruments and controls, and continue forward planning through reviews of the Housing Strategy, Open Space Strategy and Transport and Parking Strategy. Adoption of a new Economic Development Strategy will identify opportunities for continued growth, mindful of Council's obligations to environmental stewardship, heritage conservation and good urban design.


Environmental

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.4 5.2 5.4	Meet Council's responsibilities under the Companion Animals Act 1998 by continuing to provide community programs relating to responsible pet ownership	Complete Responsible Pet Ownership community programs Maintain and enhance areas for off-leash recreation for dogs	Two Community desexing programs conducted Pet Education event held Educational radio interviews conducted weekly Educational social media posts conducted monthly Maintain Kefford Street Off Leash areas fortnightly	Team Leader Regulatory Services	The first desexing program commenced on 18 November 2019 with 110 dogs and cats desexed. The next program is scheduled for June 2020. The pet education event was scheduled for 21 April 2020, but was cancelled due to social distancing regulations. Educational radio interviews held weekly with Senior Ranger between July and December 2019. Interviews re-commenced in March 2020 on a weekly basis. One educational post uploaded in February 2020 (Reach 3,600, clicks 107, engagement 52). Fortnightly maintenance undertaken during March 2020. The solar LED light was also replaced as the original lamp (which was 10 years old) had failed.	
6.4 5.4	Meet Council's responsibilities under the Companion Animals Act 1998 and Impounding Act 1993 by promptly responding to customer requests and implementing enforcement action for breaches	Investigate animal related complaints, including matters reported after hours Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches	95% of customer requests responded to within adopted corporate standards 100% response to customer requests reported out of hours	Team Leader Regulatory Services	98.29% of customer requests responded to within the service standard between 1 July 2019 and 31 March 2020. 100% of customer requests responded to out of hours between 1 July 2019 and 31 March 2020.	


Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.4	Meet Council's responsibilities under the Prevention of Cruelty to Animals Act 1979 and the Impounding Act 1993 in the operation of the Small and Large Animal Impounding Facilities	Operate Small Animal Pound at Vale Road site	Implement electronic impounding register by December 2019 Implement social media program to promote rehoming of impounded dogs and cats Increase the % of impounded dogs returned to owner or sold or released to welfare organisation Increase the % of impounded cats returned to owner or sold or released to welfare organisation	Manager Environment	Discussions ongoing with IT regarding an electronic impounding register. No solution provided to date. One adoption post uploaded in February 2020, with a reach of 7,100, clicks of 1,400 and engagement of 104. Three Feel Good Friday (stories of successful adoption posts) were uploaded in February 2020, with an average reach of 3000, average clicks of 239 and average engagement of 83. Monitoring ongoing	
		New Small Animal Impounding Facility designed and construction commenced Large Animal Impounding Facility relocated to Hampden Park Road site	Design 100% complete by December 2019 Construction 50% completed by 1 April 2020		Grant applications submitted to both Commonwealth and State government to provide funding assistance to the proposed facility. The architect is continuing works to finalise the design. This additional funding will be needed for budget to meet design standards.	
6.4 4.4 5.2 5.4	Meet Council's responsibilities under the Road Rules 2014 and Fines Act 1996	Monitor and enforce parking regulations on public roads	Daily monitoring undertaken	Team Leader Regulatory Services	Daily monitoring undertaken.	
		Implement a community education program regarding the Australian Road Rules	Educational social media posts conducted monthly		One educational post uploaded in February 2020 relating to parking signage. YTD monthly updates have been provided as a minimum.	
6.4 5.2	Meet Council's contractual obligations under the Local Government Act 1993 in monitoring and enforcing parking regulations in off street car parks	Monitor and enforce parking regulations in off street car parks in accordance with contractual obligations	100% compliance with contractual obligations	Team Leader Regulatory Services	Car parks regularly monitored in accordance with contractual requirements.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
3.1 3.2 3.3 3.4 6.4 1.4	Meet Council's responsibilities under the Protection of the Environment Operations Act	Investigate customer requests and pollution incidents Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches	95% of customer requests responded to within adopted corporate standards	Manager Environment	99.42% of customer requests responded to within the service standard during 1 July 2019 and 31 March 2020. Regulatory actions initiated as and when required in accordance with Council's Enforcement Policy. Six PINs issued for POEO Act offences between 1 July 2019 and 31 March 2020.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
3.3 3.5 6.1	Continue to improve the community's awareness and capacity regarding environmental sustainability	Undertake educational programs to enhance community knowledge Communicate sustainability messages via a range of on-line and traditional media sources Conduct sustainability education programs	Monthly posts on the @sustainablebathurst Facebook page Weekly posts on the @sustainablebathurst Facebook page Conduct Sustainable Living Expo in March 2020 Conduct a sustainability education program targeting primary school aged students by December 2019	Manager Environment	Sustainable Schools program projects were all finalised during October, with some schools opting to receive site visits from an experienced horticulturalist to assist in managing their gardens during extreme water restrictions. The final newsletter was issued in November 2019. Planning underway for the 2020 program in February 2020. @sustainablebathurst page had a reach of 1105, post engagement of 297, and the top post was "Watch out for Bunya Pines" regarding trees and their pine cones in Mochattie Park. Likes at end of January 2020 was 1157. The Sustainable Living Expo and Friday evening event "An Evening with Fast Ed" were cancelled due to social distancing regulations. Resources developed for the 2020 event will be rebranded for a great event in 2021. Enviromentors program was delivered in October and November 2019 with a focus on Water conservation and catchments. Positive feedback has been received regarding the presentations.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>
3.1 3.2 6.4	Implement Council's Onsite Sewage Management Strategy and meet Council's obligations under the Local Government Act 1993	Conduct inspections and issue approvals for existing onsite sewage management systems without approvals or requiring renewal	Increase the number of onsite sewage management systems with a current approval to operate	Manager Environment	288 approvals to operate were issued between 1 July 2019 and 29 February 2020. This is compared with a total of 198 approvals to operate issued in 2018/19. Liaison with the community is ongoing. An article appeared in Council's community newsletter in October 2019 encouraging residents to ensure their system had an approval to operate and was regularly maintained.	<input type="radio"/> <input type="radio"/> <input checked="" type="radio"/>



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
3.1 3.4 3.5 1.4	Meet Council's obligations under the Local Government Act 1993 and community expectations to manage, restore, enhance and conserve the natural environment	Implement the Urban Waterways Management Plan Implement the Biodiversity Management Plan Implement the Pest Bird Management Plan Implement the Roadside Vegetation Management Plan	Implement a priority project identified in the Urban Waterways Management Plan. Implement a priority project identified in the Biodiversity Management Plan. Implement a priority project identified in the Pest Bird Management Plan Implement a priority project in the Roadside Vegetation Management Plan	Manager Environment	Project planning underway for a priority project from the Urban Waterways Management Plan. The project identified at the Brick Pit wetlands has been put on hold until assessments can be conducted to determine if an Aboriginal Cultural Heritage Report is required. Pigeon surveys undertaken in July 2019. Control activities during February 2020 resulted in the removal of 185 birds. Trapping of Indian Myna birds undertaken at one site in November and December 2019 with limited success. Construction of 30 nest boxes completed in March 2020. Project planning underway for a priority project from the Roadside Vegetation Management Plan. Council has received a grant of \$8000 from Local Land Services in January 2020 for a project on parts of Duramana Road and the Bridle Track road reserves. Quotations sought for weed contractors to complete the works in March 2020.	
3.5 3.3 6.6	Implement energy efficiency and renewable energy projects at Council facilities	Identify and prioritise energy efficiency projects at Council facilities Identify and prioritise renewable energy projects at Council facilities	Implement an energy efficiency upgrade at a Council facility Implement a renewable energy project through the Revolving Energy fund	Manager Environment	The installation of a 100kWh solar array at the Bathurst Manning Aquatic Centre was completed on 11 July 2019 and is fully operational. Since the installation was completed 14.0% of electricity use has been supplied by the solar array. The installation of a 25.7kW solar system at the National Motor Racing Museum was completed in late November 2019. To date the system has produced 62% of the site's electricity requirements and fed more than 4.7MWh to the grid.	
3.1 3.4 6.4 1.4 4.6	Meet Council's obligations under the Biodiversity Conservation Act 2016, Fisheries Management Act 1994 and Water Management Act 2000	Ensure the assessment of development applications meets all of the requirements of the Biodiversity Conservation Act 2016, Fisheries Management Act 1994 and other relevant planning policies	Number of development applications assessed and professional advice provided. Council policies and plans are reviewed and updated where required to ensure	Manager Environment	Council has now adopted changes to its Development Control Plan (DCP) which provide protection to native vegetation through the Vegetation SEPP. Environmental Staff were assigned 17 DAs for assessment in March 2020 and provided specialist	

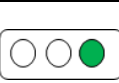
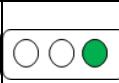
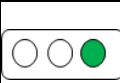
Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
	Meet Council's obligations under SEPP55 and related planning policies	<p>Ensure that Council activities are compliant with the requirements of the Biodiversity Conservation Act 2016</p> <p>Ensure the assessment of development applications meets all of the requirements of SEPP55 and Council's Contaminated Land Policy</p>	<p>consistency with current legislation</p> <p>Assess vegetation removal applications in urban zones in accordance with the vegetation SEPP in Council's DCP.</p>		<p>advice on a range of current and proposed development matters.</p> <p>Liaison with other departments is ongoing to ensure that activities are compliant with relevant legislation. Training with rural works crews was completed in September 2019.</p> <p>Environmental Staff have continued investigations into alleged illegal clearing of vegetation and managed applications for tree removal and roadside grazing permits.</p> <p>Environmental Staff provided specialist advice and updated Council's land use information system to ensure ongoing compliance with the Contaminated Land Policy during the reporting period.</p>	
2.3 3.3 5.2	Contribute to the development of Bathurst as a Smart City	<p>Identify the optimum efficiency LED luminaires for the street lighting upgrade</p> <p>Identify the optimum technology for smart controls to be incorporated into LED street lighting upgrade</p> <p>Establish the Bathurst Region as an EV charging destination</p>	<p>Complete upgrade of all standard P3, P4 and P5 street lights to LED luminaires</p> <p>Complete upgrade of all V category lights to LED luminaires</p>	Manager Environment	<p>The bulk lamp replacement for P & V category lighting commenced in late November 2019 with luminaires replaced in Raglan, Kelso, Eglinton and West Bathurst on residential streets. Approximately 2600 luminaires were replaced by 31 March 2020. Essential Energy stood down all of its contractors in March 2020 in accordance with it's Pandemic Emergency response plan. This has resulted in some delay to the BLR, however negotiations are ongoing.</p> <p>List of luminaires to be quarantined from BLR until Zhaga enabled luminaires are available was provided to Essential Energy in September 2019. A total of 210 luminaires will be quarantined until Zhaga is available.</p>	




Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
3.3 3.5 6.4 3.1	Meet Council's statutory reporting obligations under the Local Government Act 1993	Monitor the operational footprint of Council's operations and report on trends identified. Measure and collate the trends in environmental condition across the Local Government Area	Identify and install universal EV charge stations at two rural villages Collate data to allow for preparation of the State of Environment report as required by the Local Government Act 1993	Manager Environment	Grant application made for placement of EV charge stations in three rural villages in mid 2019. Outcome not yet known; Council has made repeated requests for an update on the progress of the application. The Regional SOE and Bathurst SOE were presented to Council at it's ordinary meeting in November 2019 and are now available on Council's website. Data collection for the 2020 report is ongoing.	
6.4 5.4	Meet Council's obligations in the Food Regulation Partnership and the Food Act 2003	Conduct a program of inspections of food premises including home-based food premises and Bed & Breakfast establishments to ensure compliance with regulations	Conduct an inspection of all high and medium risk food premises by June 2020 Implement a risk based inspection program for B&B and home-based food premises Prepare and distribute educational material on food safety three times annually 95% of customer requests responded to within adopted corporate standards	Manager Environment	11 inspections of food premises and 6 inspections of temporary food premises undertaken in March 2020. 683 inspections were undertaken between 1 July 2019 and 31 March 2020. Five improvement notices, one prohibition order and no PINs were issued between 1 July 2019 and 31 March 2020. B & B premises a low priority at present as many are low risk premises. Food safety newsletter was distributed to all food businesses in October 2019 and in December 2019. The December 2019 edition included a food safety calendar. 100% of customer requests responded to within the service standard between 1 July 2019 and 31 March 2020.	

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
6.4 5.4	Meet Council's obligations under the Public Health Act 2010 and associated regulations	Conduct a program of inspections of skin penetration premises, public swimming and spa pools and cooling towers	Conduct an inspection of all skin penetration premises Conduct an inspection of all public swimming pools and spa pools Implement the activities identified as Council's role in Legionella management and the inspection of cooling towers 95% of customer requests responded to within adopted corporate standards	Manager Environment	Four inspections of skin penetration premises conducted between 1 July 2019 and 31 March 2020. All public swimming pools and spa pools in operation were inspected between 1 September 2019 and 31 December 2019. Re-inspections were undertaken where necessary. No further inspections will be scheduled until Public Health orders are lifted. Liaison with the owners and operators of cooling towers ongoing. Register is up to date with requests made to owners to provide certificates of compliance where they have not already been provided. 95.23% of customer requests responded to within the service standard 1 July 2019 and 31 March 2020.	



Planning

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
1.5 2.1 3.3 4.6 5.5 6.4	Prepare relevant planning proposals to ensure Council's planning controls remain relevant and up to date.	Prepare draft LEP and DCP amendments.	Planning proposals referred to NSW Department of Planning & Environment for gazettal	Manager Strategic Planning	<ol style="list-style-type: none"> 1. Moveable and Monumental Heritage LEP Amendment – Planning Proposal being prepared. 2. Health Services LEP Amendment to the RE2 Private Recreation Zone. Adopted by Council. Gazetted. 3. Housekeep LEP Amendment. Adopted by Council. Awaiting gazettal. 4. Laffing Waters Master Plan LEP and DCP Amendment – design guidelines for the new R3 zone prepared. Public exhibition of Master Plan completed to inform the LEP amendment. 5. Bathurst DCP Amendment – repeal chapter 2 and refer to the Community Participation Plan. DCP amendment adopted by Council. 6. Community Participation Plan is in force. 7. Heritage Conservation Area Review LEP Amendment – Planning Proposal being prepared. 8. Eglinton (West) DCP Amendment – Reduce amount of land reserved for school purposes – adopted by Council. 9. Open Space LEP Amendment – recommendations of Bathurst 2040 Open Space Strategy being integrated to determine planning proposal requirements. Draft planning proposal being prepared. 10. Heritage Item update LEP Amendment – research being undertaken on 75 items being considered for heritage listing under the LEP. 	
1.5 2.1 3.3 4.6 5.5 6.4	Investigate relevant land use and planning issues of the Bathurst Region.	Prepare studies and plans. 1. Local Strategic Planning Statement 2. Bathurst Integrated Transport Plan.	Draft studies/plans are well underway by 30 June 2020	Manager Strategic Planning	<ol style="list-style-type: none"> 1. Local Strategic Planning Statement – community consultation completed. Preparation of draft statement completed. To be presented to April Council meeting for public exhibition. 2. Bathurst 2040 Open Space Strategy – final report received. Public exhibition completed. 	



Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status	
					<p>To be presented to April Council meeting for adoption.</p> <ol style="list-style-type: none"> Bathurst City Traffic Model and Traffic Options Report. Final reports completed. Aboriginal Cultural Heritage Assessment – 2nd circuit lands. Draft final ACHA referred to Registered Aboriginal Parties for final comment. Duramana Master Plan – adopted by Council. Bathurst Town Centre Master Plan – Preparation of masterplan underway. Visioning consultation completed. Review of Rainwater tank policy to reference latest exemption criteria – new draft policy being prepared. Health and Knowledge Precinct Plan (being led by Department of Planning) - Preparation of masterplan underway. Consultation delayed due to COVID-19. Bathurst Region Heritage Plan 2020-2024 – Bathurst Region Heritage Reference Group asked for feedback on the current plan. Village Plans – investigations and background research underway. Rainwater Tank Discussion Paper and Policy Review – Discussion paper being prepared. 		
4.1 4.6 6.4	Review and update Council's section 7.11 plans.	Review existing or prepare new s7.11 Plans.	Draft plans considered and adopted by Council	Manager Strategic Planning	<ol style="list-style-type: none"> Stormwater drainage – draft plan being prepared. Peer review of draft plan completed. 		
1.1 1.2 1.5 4.6 5.5	Implement the Bathurst Regional Heritage Strategy.	Provide a Heritage Advisory Service. Provide heritage incentive funding programs to protect, maintain, enhance and promote the regions heritage assets.	Number of site visits undertaken by the heritage advisory service. Value of works generated from Council's incentive funds.	Manager Strategic Planning	<ol style="list-style-type: none"> Site visits to date: 102 Site visits postponed from 9 March due to COVID-19 – referrals to heritage advisor occurring on-line. 		

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
					<p>1.5 projects offered funding. Projects underway. Applications called for funding under the 2020/21 program.</p> <p>3. Bathurst CBD Main Street improvement program – 19 applications received. 17 projects offered funding. Projects underway. Applications called for funding under the 2020/21 program.</p> <p>4. Bathurst Macquarie Medal Heritage Project/Scholarship 2018 – the Church Block Eglinton. Project underway. Applications for the 2020 Medal closed. One application received for 2020 Medal and being assessed.</p>	
	Prepare and implement projects for the interpretation and display of cultural heritage and history information.	New interpretative / promotional information made available.	Manager Strategic Planning	<p>1. Interpretation sign installed at Alan Morse Park</p> <p>2. Interpretation sign designed for Centennial Park. Sign being manufactured. Delivery delayed due to COVID-19.</p> <p>3. Interpretation sign prepared for the Wambuul Ceremonial Ground. Sign being manufactured. Delivery delayed due to COVID – 19.</p> <p>4. Aboriginal Heritage Interpretation Strategy referred to the Wiradyuri Elders and the BLALC for consideration and ongoing discussions.</p> <p>5. Plaques for 2020 Pillars of Bathurst completed. Proclamation Day event for 2020 cancelled due to COVID-19.</p> <p>6. Mount Panorama Boardwalk interpretation – strategy for Aboriginal interpretation completed.</p>		
	Prepare research/studies into the region's heritage values	Studies/plans considered and adopted by Council. Number of local heritage items included in the Local Environmental Plan.	Manager Strategic Planning	<p>1. Bathurst Heritage Conservation Area Review – referred adopted by Council.</p> <p>2. Archaeological Assessment 128 Bentinck Street – awaiting advice from engineering.</p>		

Development Assessment

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date			Status
1.5 4.1 4.6 6.4	Ensure the assessment of development and other applications, in accordance with planning instruments, development control plans and policies, occurs within appropriate timeframes.	Process all development applications within statutory time frames set out in the Environmental Planning and Assessment Act 1979.	To be at or below the state average for determination times of development applications	Manager Development Assessment	NSW State Average 2015-2016	Bathurst Regional Council March 2020	Bathurst Regional Council year to date average	
					Average gross days taken to determine a DA	75	71.12	
					Average nett days taken to determine a DA	52	51.26	42.28
					NSW State Average 2014-2015	Bathurst Regional Council March 2020	Bathurst Regional Council year to date average	
					Average days taken to determine a CDC	22	4.38	3.59

Economic Development

Bathurst 2040 Objective reference	Delivery Program Actions 2018-2022	Annual Operational Plan 2019/2020	Performance Measure	Responsible Officer	Action Year to Date	Status
2.1 2.2 2.3 2.4 2.6 4.1 4.5 5.5 6.3	Implementation of the Economic Development Strategy 2018-2022 and associated actions.	Nurture economic infrastructure development by supporting the development of the aerodrome, industrial precincts and telecommunications. Market-leading promotional campaigns and events through continued participation in Evocities, destination marketing, and maintenance of promotional assets.	Seek funding for economic infrastructure projects. Representation at all Evocities meetings. All 4 entrance billboards updated/maintained, and entrance signs erected in selected villages. New Bathurst Lifestyle promotional prospectus developed.	Manager Economic Development	\$4.9M GLE/Drought Stimulus Package application successful for expansion of Keiso Industrial Estate Airport application for Growing Local Economies/Drought Stimulus Fund still under assessment – additional information supplied Submission for Round 5 of the Federal Mobile Black Spots Program (MBSP) Evocities participation extended to June 2020. Alternative relocation campaigns under investigation with NSW Regional Cities Group. Discussions underway with selected villages for the installation of new entrance signs. Existing entrance signs updated to include "European" New lifestyle promotional "post card" under development. AIME Trade Show attended (Melbourne) to sell Bathurst as a business events/conference location.	
		Support local business growth, partnerships and skill development through management of Councils business database (eNewsletters), business cluster	12 eNewsletters issued. Cluster Strategy developed and cluster groups activated.	Manager Economic Development	All monthly eNewsletters sent out to date. Consultants for Cluster Strategy selected; Bremer & Co. Initial industry consultation workshops held.	

			Promote Bathurst as a Smart Community through marketing campaigns and speaking at events.		Smart Community Plan adopted by Council. Ooh! Media Smart Community marketing campaign completed with digital billboards at Mascot and Eastlakes. Presentation at the KPMG/Public Sector Network Smart Cities Workshop in Sydney on 3 rd September.	
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**BATHURST REGIONAL COUNCIL
INVESTMENT PERFORMANCE**

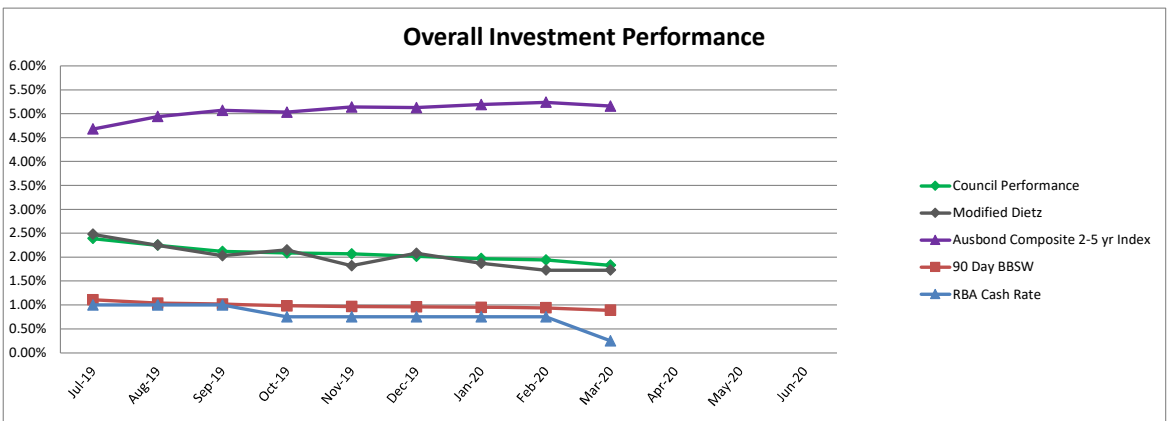
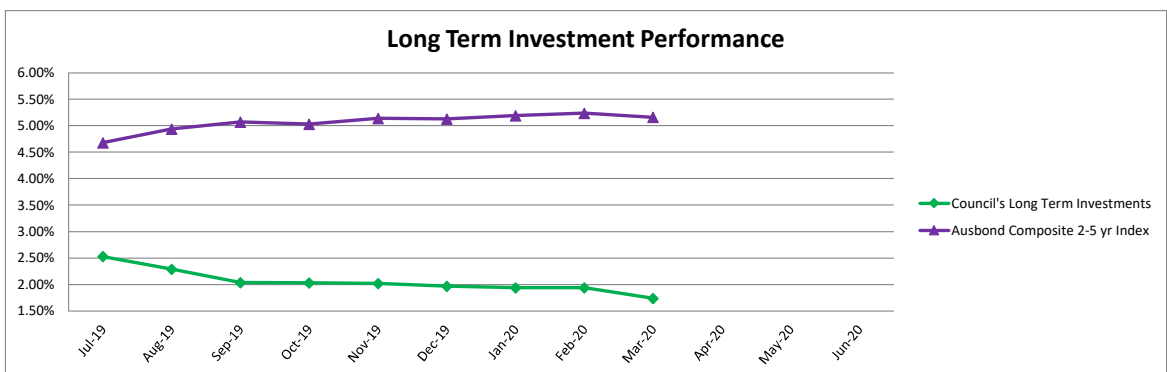
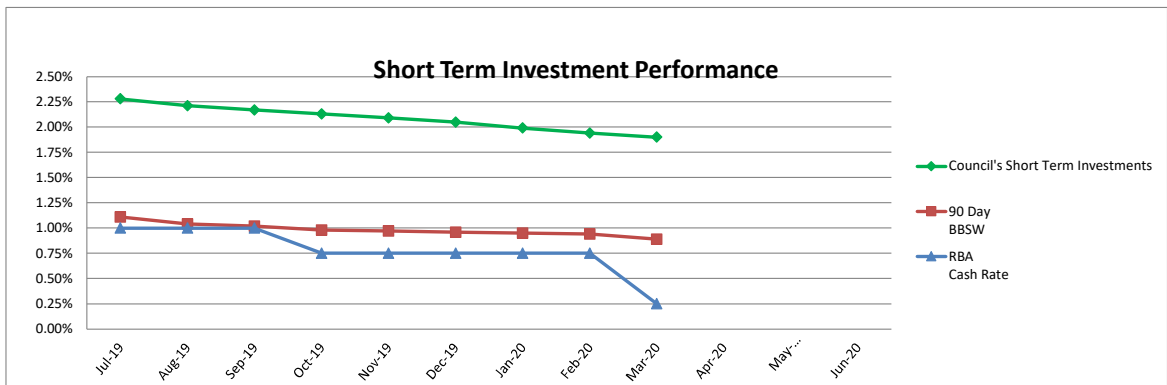
Investment Policy Benchmarks

Benchmark 1 - The performance of the portfolio shall be against the industry standard 90 Day Bank Bill Index or the official RBA Cash Rate

Council's current year to date performance compared to the two benchmarks is shown below. Council has outperformed both benchmarks.

Reserve Bank of Australia - Cash Rate	0.25%
AFMA - 90 Day Bank Bill Swap Rate (BBSW) Avg Mid	0.89%
Ausbond Composite 2-5 yr Index	5.16%
Modified Dietz Calculation	1.73%

	Short Term			Long Term		Overall Performance	
	RBA Cash Rate	90 Day BBSW	Council's Short Term Investments	Ausbond Composite 2-5 yr Index	Council's Long Term Investments	Modified Dietz Calculation	Council Performance
Jul-19	1.00%	1.11%	2.28%	4.68%	2.53%	2.48%	2.39%
Aug-19	1.00%	1.04%	2.21%	4.94%	2.29%	2.25%	2.25%
Sep-19	1.00%	1.02%	2.17%	5.07%	2.04%	2.03%	2.12%
Oct-19	0.75%	0.98%	2.13%	5.03%	2.03%	2.15%	2.09%
Nov-19	0.75%	0.97%	2.09%	5.14%	2.02%	1.82%	2.07%
Dec-19	0.75%	0.96%	2.05%	5.13%	1.97%	2.08%	2.02%
Jan-20	0.75%	0.95%	1.99%	5.19%	1.94%	1.87%	1.97%
Feb-20	0.75%	0.94%	1.94%	5.24%	1.94%	1.73%	1.94%
Mar-20	0.25%	0.89%	1.90%	5.16%	1.74%	1.73%	1.83%
Apr-20							
May-20							
Jun-20							



**BATHURST REGIONAL COUNCIL
INVESTMENT PERFORMANCE**

Benchmark 2 - Credit and Maturity Benchmarks

2a - Overall Portfolio Credit Framework

To control the credit quality on the entire portfolio, the following credit framework limits the percentage of the portfolio exposed to any particular credit rating. AMP was recently downgraded from A- to BBB+ on the 27 Aug 2019. Council will reinvest into a complying rated institution at the maturity of these investments.

Short Term	Ratings	Maximum Holding %	Actual Holding %	
	A-1+	100	44%	Complies
	A-1	100	0%	Complies
	A-2	40	38%	Complies
	A-3 or unrated	Note*	18%	Complies
			100%	
Long Term	Ratings	Maximum Holding %	Actual Holding %	
	AAA	100	0%	Complies
	AA+ AA AA- A+ A	100	67%	Complies
	A-	40	0%	Complies
	BBB+ BBB	20	29%	Does not comply
	BBB- & unrated	Note *	4%	Complies
			100%	

*Note: For reasons of practicality the number of these investments should be kept to a minimum.

2b - Institutional Credit Framework

To limit single entity exposure each individual institution will be limited by their credit rating. AMP was recently downgraded from A- to BBB+ on the 27 Aug 2019. Council will reinvest into a complying rated institution at the maturity of these investments.

	Ratings	Maximum Holding %	Actual Holding %	
CBA	AA-	40	10%	Complies
National Australia Bank Limited	AA-	40	27%	Complies
Westpac	AA-	40	11%	Complies
Bankwest	AA-	30	0%	Complies
HSBC	AA-	30	2%	Complies
Suncorp Metway	A+	30	2%	Complies
Rabobank	A+	30	1%	Complies
Macquarie Bank Limited	A	30	1%	Complies
AMP	BBB+	5	10%	Does not comply
Bank of Queensland Limited	BBB+	5	6%	Does not comply
Bendigo & Adelaide	BBB+	5	1%	Complies
IMB	BBB	5	2%	Complies
Newcastle Permanent	BBB	5	3%	Complies
Members Equity Bank	BBB	5	5%	Complies
Greater Building Society	BBB	5	1%	Complies
Credit Union Australia	BBB	5	0%	Complies
Auswide Bank	BBB	5	6%	Does not comply
Railways Credit Union Limited	ADI	Note*	0%	Complies
Maritime Mining & Power Credit Union	ADI	Note*	12%	Complies
			100%	

*Note: For reasons of practicality the number of these investments should be kept to a minimum.

*Credit rating to Auswide Bank issued by Fitch Ratings, equivalent Rating by S & P shown

2c - Maturity Profile

The Investment Portfolio is to be invested within the following maturity constraints, Council has successfully met this criteria.

	Short Term	FRTD	TCD	FRN	Min %	Max %	Actual %	
Within one year	40,500,000	6,500,000	2,000,000	5,750,000	40	100	76%	Complies
One to three years	1,500,000	6,000,000	0	6,100,000	0	60	19%	Complies
Three to Five Years	0	1,230,000	0	2,700,000	0	30	5%	Complies
Over Five Years	0	0	0	0	0	15	0%	Complies
	42,000,000	13,730,000	2,000,000	14,550,000			100%	

Recommendation: That the report be noted.

Responsible Accounting Officer

.....
Aaron Jones
Director Corporate Services & Finance

.....
Prepared By Lesley Guy 2-Apr-20

.....
Reviewed By Tony Burgoyne

**9.3.1. PROPOSED COMPULSORY ACQUISITION FOR
EASEMENT RIGHTS - LOT 701 IN DP1057340 - UPFOLD
STREET, BATHURST**

File No: 22.00270

MINUTE

RESOLUTION NUMBER: ORD2020-40

MOVED: Cr W Aubin SECONDED: Cr J Rudge

RESOLVED:

RECOMMENDATION:

That:□

- (a) Council make application to the Minister and/or Governor for the compulsory acquisition of the interest in Crown land identified as Lot 701 in DP1057340, Upfold Street Bathurst, for the creation of an Easement for Water Supply 3 wide, and
- (b) The application follow the provisions of the Local Government Act 1993 and the Land Acquisition (Just Terms Compensation) Act 1991 and does not include mineral rights

as detailed in the Director Engineering Services' report.

ATTACHMENTS:

1. Attachment 1 - Council Report Portrait [8.3.4.1 - 1 page]

MINUTE

RESOLUTION NUMBER: ORD2020-20

MOVED: Cr J Jennings SECONDED: Cr J Rudge

RESOLVED:

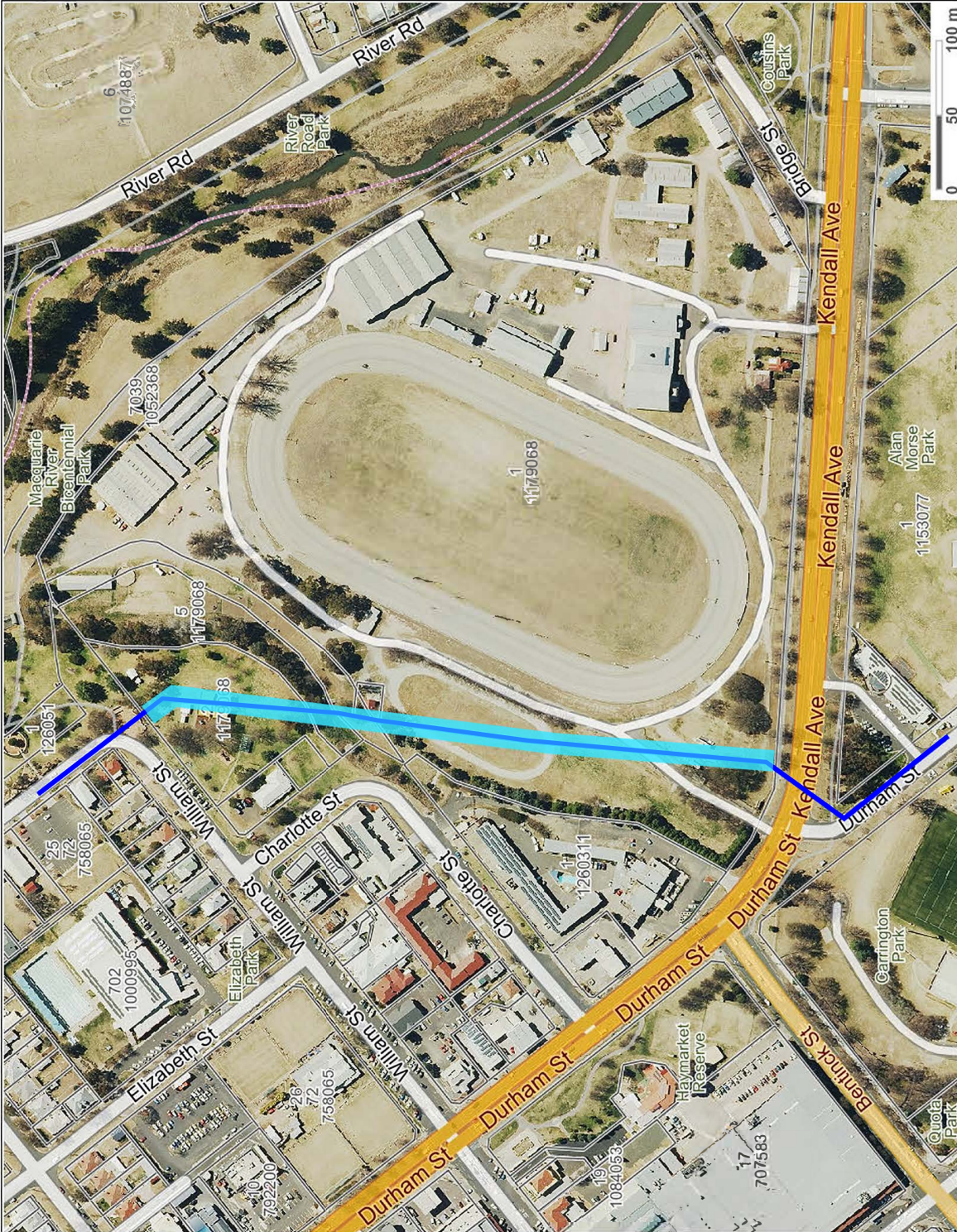
That:

- (a) Council make application to the Minister and/or Governor for the compulsory acquisition of the interest in Crown land located within the banks of the Macquarie River adjacent to Lot 1, Section 21A in DP758065, Lot 4 in DP6444, Lot 7039 in DP1052368, Lot 1521 in DP1134894 and River Road, Kelso for the creation of an Easement for Water Supply 3 wide, and
- (b) The application follow the provisions of the Local Government Act 1993 and the Land Acquisition (Just Terms Compensation) Act 1991 and does not include mineral rights

as detailed in the Director Engineering Services' report.

Created on 25/03/2020 11:06 AM

- Proposed Pipeline
- Proposed Easement for Water Supply 3 wide



Feature Report

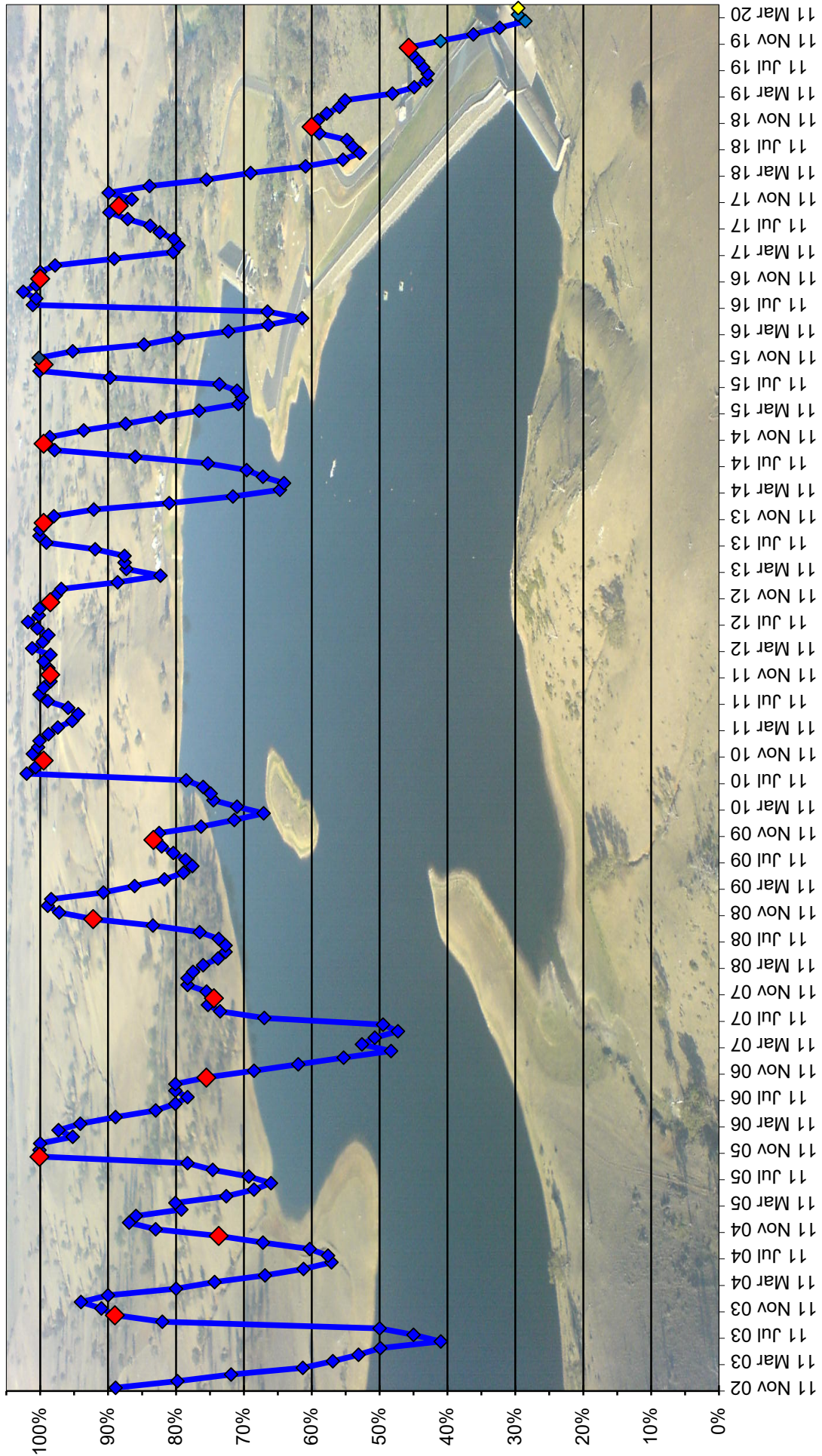
Drawn By: David Luck
 Date: 25/03/2020
 Projection: GDA94 / MGA zone 55
 Map Scale: 1:4000 @ A4



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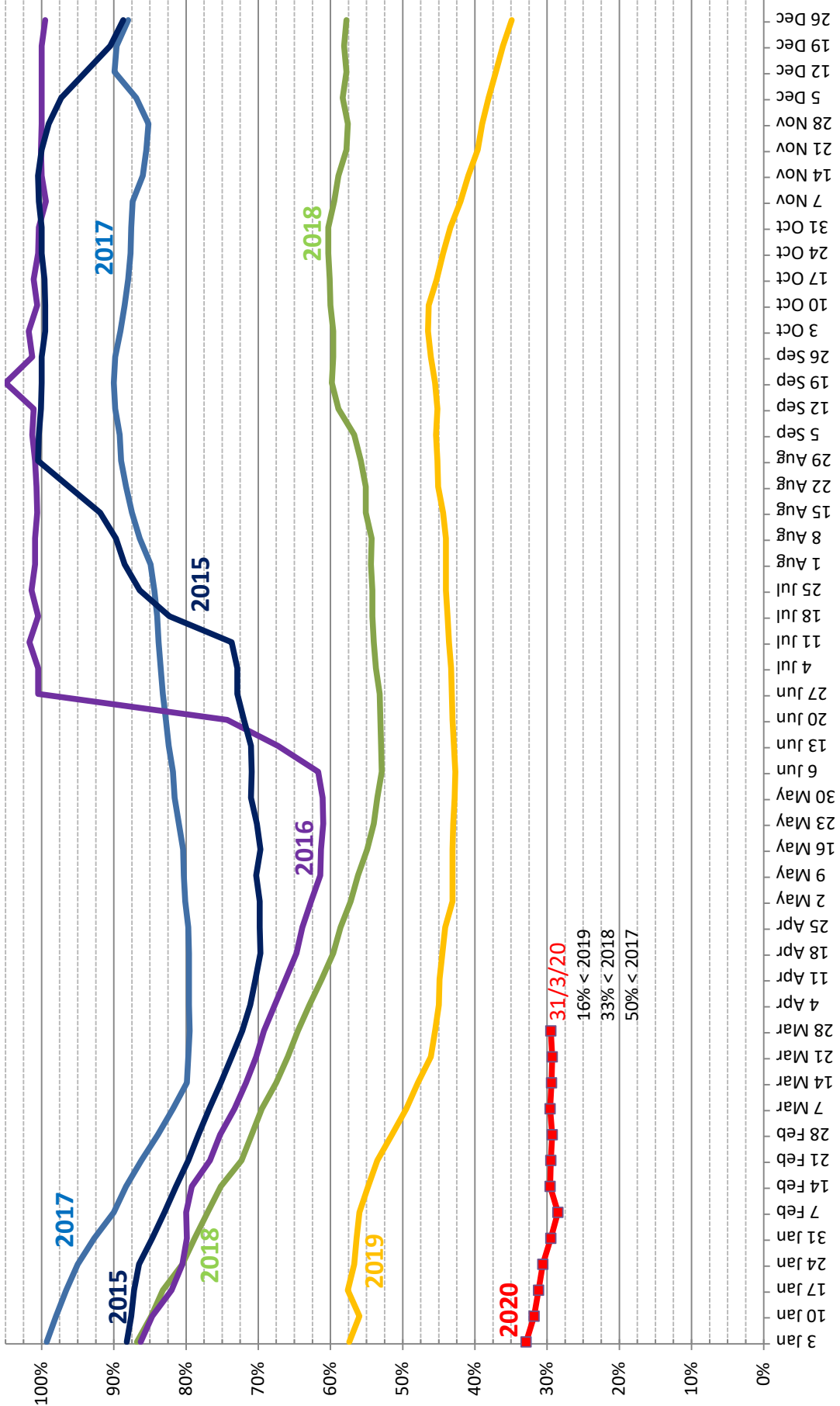
BATHURST REGIONAL COUNCIL
 Bathurst Regional Council
 159 Russell Street
 BATHURST NSW 2795
 Telephone: 02 6333 0111
 Fax: 02 6333 7211
 Email: bastrust@bathurst.com.au

Bathurst Regional Council: Monthly Chifley Dam Volume (%)



Red markers indicate October

Chifley Dam - Yearly Comparison



Proposal for the Management of the Perthville Multipurpose Courts Perthville Village Square

The Perthville Development Group Incorporated (PDGI), later called Perthville Neighbourhood Group, was formed to liaise with Bathurst Regional Council and other bodies to enhance and improve the local community in the districts of Perthville, Georges Plains, The Lagoon, Wimbledon and Ben Chiefly Dam, through effective management, community involvement and commitment to services.

The PDGI propose that an agreement be reached with Council that would allow for the PDGI to oversee the management, running and maintenance (non-structural) of the newly constructed multipurpose courts.

It is envisioned that a "Perthville Tennis Club", name to be confirmed, be established as a sub-committee of the Perthville Development Group. This club would be responsible for the general running of the Courts (booking, advertising, maintenance) and with a committee that consists of an Executive as well as General Committee Members, who shall report to both the Members of the club and to the Perthville Neighbourhood Group Committee. The Treasurer would be responsible for the banking, invoicing and receipting of all monies for and on behalf of the club and they would be credited to a separate account that was connected to the PDGI and require two executive signatures for any expenditure that is passed by the committee.

Potential Users:

- Local residents (individuals, families) and members of the broader community
- School groups
- Social tennis club and other social groups
- Tennis coaching/clubs

Main Objectives:

- To make the courts easily accessible to the local and broader community at a reasonable and affordable cost.
- To ensure that booking is both easy and readily accessible
- Conduct, encourage, promote, advance and administer the use of the courts whilst acting in the best interests of our local community, broader community and other potential users of the facility.
- Maintain and ensure the courts to a highest standard to ensure the longevity and preservation of the courts.
- Advertise and encourage the potential of having a coaching program for both adults and children.

Booking and Access:

The suggested booking time would be at 1 hour intervals and would likely be done online or with the assistance of a member of the group for those requiring help. We have discussed the potential of key pick up and drop off with the owner of Perthville Metro Petroleum, who would be happy to provide this service to our Group and the community. They are open daily between the hours of 6.30am to 7.30pm allowing for easy access and potentially encouraging support of our local businesses.

Schedule of fees:

It has been advised that have a fee structure for the use of the courts to cover incidentals and future maintenance cost. Although not yet discussed in detail, it is unanimous that we provide a fee structure that is both workable and affordable, most especially to our local community who have up until now been able to access the old courts without any fees or restrictions.

Insurance:

As advised by Mark Kimbel, Manager Recreation in consultation with Councils Insurance Officer, Casual hirers would not need to have PLI cover for general use of the courts. However, any organisation, business, or professional club wishing use of the multi courts should be required to provide your association with a \$20M PLI cover. For example, residents down the street wanting use of the courts for a hit up would not be required to have PLI cover. A company wishing to hire the courts for their social gathering, or a coach wishing to use the courts for one of his classes which he charges his students, should be made to provide an appropriate PLI cover to your organisation covering use of the court facilities.

The PDGI also hold the following insurances that cover our group and volunteers working under the strict instruction of the PDGI in regard to extending our management to the courts but does not extend to the participation of activity on the courts. A small fee is payable by the PDGI, should we choose to go ahead and establish a sub-committee (social club) and that fee would be borne by the PDGI.

Insurances held with Local Community Insurance Services:

- Associations Liability
- Business Pack
- Personal Accident
- Public & Products Liability

For Council consideration:

Finally, we would ask that the following two matters are taken into consideration:

1. To ensure the users of the courts are able to keep the area clean we would like to request the provision of bins and a weekly collection within the court precinct.
2. If Council would like the group to be affiliated with Tennis NSW, that council would consider factoring in these charges into their annual budget to assist us in being able to keep the fees affordable to our local community.

Prepared on behalf of the Perthville Neighbourhood Group incorporated as Perthville Development Group by Sharon-Lee Stonestreet, Secretary/Treasurer.

**MINUTES OF THE POLICY COMMITTEE MEETING OF
BATHURST REGIONAL COUNCIL
HELD ON WEDNESDAY 1 APRIL 2020**

1. MEETING COMMENCES

MINUTE

Meeting commenced at 6.00pm.

Present: Cr W Aubin, Cr B Bourke, Cr A Christian, Cr J Fry, Cr G Hanger, Cr J Jennings,
Cr M Morse, Cr I North, Cr J Rudge

2. RECORDING OF MEETING

3. PRAYER AND ACKNOWLEDGEMENT OF COUNTRY

4. APOLOGIES

MINUTE

MOVED: Cr I North SECONDED: Cr J Rudge

RESOLVED: Nil

5. MINUTES

5.1. Confirmation of Minutes

File No: 07.00064

MINUTE

RESOLUTION NUMBER: POL2020-8

MOVED: Cr I North SECONDED: Cr J Fry

RESOLVED:

That the Minutes of the Policy Committee Meeting of Bathurst Regional Council held on 4 March 2020 be adopted.

6. DECLARATION OF INTEREST

6.1. DECLARATION OF INTEREST

Declaration of Interest

MINUTE

RESOLUTION NUMBER: POL2020-9

MOVED: Cr I North SECONDED: Cr J Jennings

RESOLVED: That the Declaration of Interest be noted.

7. RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

DIRECTOR ENVIRONMENTAL, PLANNING AND BUILDING SERVICES

7.1.1. LIGHTING - WHITE WAY LIGHTING UNDER AWNINGS IN THE CBD

File No: 28.00014

MINUTE

RESOLUTION NUMBER: POL2020-10

MOVED: Cr A Christian SECONDED: Cr I North

RESOLVED:

That Council:

- (a) revoke Policy "Lighting - White Way Lighting Under Awnings in the CBD."
- (b) note additional information regarding the status of existing under-awning lighting in the CBD

DIRECTOR CULTURAL AND COMMUNITY SERVICE'S REPORT

7.2.1. POLICIES - BATHURST MUSEUMS

File No: 21.00144, 21.00150

MINUTE

RESOLUTION NUMBER: POL2020-11

MOVED: Cr J Rudge SECONDED: Cr G Hanger

RESOLVED:

That Council adopt the following policies:

- (a) Museums Collections Management Policy (reviewed)
- (b) Collection Care and Preservation Policy
- (c) Museums Acquisition and Deaccessioning Policy
- (d) Museums Loans Policy

8. GENERAL BUSINESS

MINUTE

1. Wendy MacDougall Retirement - 35.00945-04

Cr Morse - Wished to pay tribute to the 49 years service given by Wendy to the Council. Requested Council acknowledge this.

2. Business Disadvantaged Mitre/Suttor/Lambert - 25.0095-03

Cr Morse - Requested what assistance could be provided for these businesses.

Mayor - Requested Cr Morse make an appointment to see General Manager.

3. Carillon - Clavier - 04.00021-11

Cr Morse - Spoke to history of the recent and proposed upgrades. Noted practice clavier is with Mitchell Conservatorium and this is now locked up due to COVID-19. Plans for this year have been knocked sideways.

4. COVID-19 Matter and Health - 14.00764

Cr Jennings - How is Council dealing with this and spoke of bed numbers at the Hospital. Requested further information from Health District. Spoke to reduction in anaesthetists. Also feels Bathurst Health Committee should be reinstated.

General Manager - Spoke of recent meetings held with Minister and Dr Chant. Will be meeting with Local Health District tomorrow.

5. Economic Recovery Strategy - 13.00027-04

Cr Jennings - Do we have one in place?

General Manager - Currently staff are working on a strategy.

6. Local Distilleries in region - response to COVID-19 - 14.00764

Cr Jennings - Congratulations on their response to providing hand sanitiser. Could we look at putting it in public spaces?

7. Water Security - 32.00046

Cr. Jennings - Requested an updated on this matter.

Director Engineering Services - Working with state government, gave update on stormwater harvesting and pipeline project. Still working on listing on critical infrastructure Act. Liaising with government on funding options.

8. Library/ Art Gallery operations - 21.00054-07/ 21.00039-04

Cr Aubin - How are these going?

Director Cultural Community Services - Spoke to staffing regimes; e-books, mobile library service village and aged persons service. Service is adapting to the COVID-19 matter.

9. Anaesthetists at Bathurst Hospital - 18.00035-04

Cr Aubin - The numbers have reduced from 8 down to 2. This is an appalling situation. Awaiting Clinical Services Review release. Hospital Services are being cancelled.

10. Critical Water List - 32.00046

Cr Aubin - Cannot see why Council is not on the list. Council needs to take action.

11. Water Security Update - Government money - 32.00046

Cr Fry - Understands have \$10 million allocated, with Government shut down where are we at with extra \$10 million?

General Manager - Provided information of current funding streams and proposals.

12. CSU - Health Precinct - 20.00337

Cr Fry - Spoke to discussions on use of Pit Complex for various disaster scenarios ie a health precinct. Could infrastructure be built in the location to satisfy this need.

General Manager - Noted temporary proposals for Mt Panorama.

Director Environmental Planning Building Services - Spoke to current CSU facility proposals.

13. Bathurst Business Chamber Request for assistance - 18.00027-03

Cr Christian - Business Chambers seeking assistance/ relief during COVID-19.

General Manager - Matter is being looked into by staff.

14. Lower Keppel Street - median strips - 25.00039-05

Cr Christian - Could we get these mowed and maintained?

Critical Infrastructure Listing - 32.00046

Cr Christian - Very frustrated at the delay in Bathurst Regional Council being listed.

B. Trimming Funding Request - 07.00031-13

Cr North - Could funding for Council works not being undertaken be utilised for access projects.

17. Water Matters - 32.00046

Cr North - Critical infrastructure listing, has fine print details been completed?

18. Business Support - 14.00764

Cr North - Small businesses are the backbone of the community. Requested look at options for rates to be deferred on businesses that have gone into hibernation?

19. Skate Park - 04.00037-04

Cr North - Who polices COVID-19 restrictions at parks etc.

General Manager - The police are the regulatory authority.

20. Virtual Tours of Museums - 21.00144

Cr North - Are we looking at these?

Director Cultural Community Services - Currently developing virtual tours, noted library Sim-City project.

21. COVID-19 Social Distancing - 14.00764

Cr North - Should we be looking at closing our doors, utilising web casting for meetings.

General Manager - Noted current Government guidelines, Council will adhere to these. It is a matter for Councillors to determine their attendance.

22. Policy - Water Infrastructure - 32.00046

Cr North - Requested when resources are available that Council look at developing policy as requested by Cr Fry.

23. Playground/ Outdoor Gym areas - 14.00764

Cr Rudge - People are expressing concerns at people still using playgrounds and gym equipment. Can we put signs up to assist the police.

24. Panorama Clinic - 14.00764

Cr Rudge - Concerns about changes to Services due to COVID-19 have been raised. Cr Rudge has spoken to Ministers Office and a media release will be issued in the near future, hopefully protecting the service.

9. MEETING CLOSE

MINUTE

The Meeting closed at 6.43pm.

CHAIR:

**MINUTES OF THE TRAFFIC COMMITTEE MEETING
HELD ON TUESDAY 3 MARCH 2020**

1. MEETING COMMENCES

MINUTE

Meeting commenced at 2.20 pm.

Members: Cllr Warren Aubin (BRC), Ms Jackie Barry (Transport for NSW), Senior Constable Steve Chaplin (Police), Senior Constable Jason Marks (Police) Mr David Veness (MP Representative)

Present: Mr Bernard Drum (Manager Technical Services), Mr Paul Kendrick (Traffic & Design Engineer), Mr Andrew Cutts (Road Safety Officer)

2. APOLOGIES

MINUTE

Nil

3. REPORT OF PREVIOUS MEETING

3.1. Report of Previous Meeting

File No: 07.00006

MINUTE

RESOLVED:

That the Minutes of the Traffic Committee held on 4 February 2020 be adopted.

4. DECLARATION OF INTEREST

Declaration of Interest

MINUTE

RESOLVED: That the Declaration of Interest be noted.

5. RECEIVE AND DEAL WITH DIRECTOR'S REPORTS

5.1.1. MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD

File No: 07.00006

MINUTE

RESOLVED:

That the information be noted.

5.1.2. MONTHLY REPORT FOR LOCAL GOVERNMENT ROAD SAFETY PROGRAM

File No: 28.00002

MINUTE

RESOLVED:

That the information be noted.

5.1.3. ALEXANDER STREET EGLINTON - P20 MINUTE PARKING

File No: 25.00180

RECOMMENDATION:

That Council approve the installation of "P20 Minute Mon-Fri 7.30am-4.30pm" across the front of the premises at 27 Alexander Street, Eglinton.

MINUTE

MOVED: Ms Jackie Barry (Transport for NSW) **SECONDED:** Senior Constable Steve Chaplin

RESOLVED:

That Council approve the installation of "P15" Minute Mon-Fri 7.30am-4.30pm" across the front of the premises at 27 Alexander Street, Eglinton.

5.1.4. ANZAC DAY SERVICES 2020

File No: 23.00076

MINUTE

RESOLVED:

That the combined:

- (a) Bathurst Central Business District 2020 Anzac Day Service and March
- (b) Rockley Commemorative Service and Anzac Day March
- (c) Memorial Cairn Service on Limekilns Road, Forest Grove

to be held on Saturday 25 April 2020 be classified as a Class 2 event subject to conditions as detailed in the Director Engineering Services' Report.

5.1.5. BUS ROUTE WHITE ROCK ROAD

File No: 25.00111

MINUTE

RESOLVED:

That Council approve the installation of a "School Bus Route" sign on White Rock Road.

5.1.6. CLASSIC OUTBACK TRIAL 2020

File No: 23.00026

MINUTE

RESOLVED:

That the Bathurst Regional Council section of the Classic Outback Trial, to be held 9-15 August 2020 be classified as a Class 2 event, and the traffic management for the event be approved subject to conditions as detailed in the Director Engineering Services' report.

5.1.7. LATE REPORT – TOUR De CURE CHARITY RIDE

File No: 23.00026

MINUTE

MOVED: D Veness (MP Representative) **SECONDED:** Senior Constable Jason Marks (NSW Police).

That the Committee accept and deal with the Late Report from the Tour De Cure Charity Ride to be held from Sunday 8 March to Monday 9 March 2020, at the Traffic Committee Meeting on 3 March 2020.

RESOLVED:

That the Tour De Cure Charity Ride to be held from Sunday 8 March 2020 to Monday 9 March 2020, be classified as Class 2 event and the traffic management for this event endorsed subject to conditions as detailed in the Director Engineering Services' Report.

5.1.8. LATE REPORT - BATHURST CYCLING CLASSIC CHANGES

File No: 23.00128

MINUTE

MOVED: D Veness (MP Representative) **SECONDED:** Senior Constable Jason Marks (NSW Police).

That the Committee accept and deal with the Late Report for the 2020 Bathurst Cycling Classic to be held 14 & 15 March 2020, at the Traffic Committee Meeting on 3 March 2020.

RESOLVED:

That the modified event forming the 2020 Bathurst Cycling Classic to be held 14 & 15 March 2020 be classified as

- (a) the B2B - Class 1
- (b) the Criterium and Hill Climb - Class 2,

and the traffic management for the event endorsed, subject to conditions as detailed in the Director Engineering Services' report.

6. TRAFFIC REGISTER

6.1. Traffic Register

File No: 07.00006

MINUTE

RESOLVED:

That the information be noted.

8. MEETING CLOSE

MINUTE

The Meeting closed at 2.45pm.
